

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 24, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the September 10, 2024 Planning and Zoning Commission meeting.

(3) **P2024-030 (ANGELICA GUEVARA)**

Consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Replat for Lot 1, Block B, Lake Rockwall Estates East Addition being a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

(4) **P2024-032 (BETHANY ROSS)**

Consider a request by Kartavya Patel of Triangle Engineering, LLC on behalf of Shane Keilty of Structured REA-Rockwall Land, LLC for the approval of a Replat for Lots 12 & 13, Block B, Fit Sport Life Addition being a 4.624-acre parcel of land identified as a Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing [FM-549] and Fit Sport Life Boulevard, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(5) **Z2024-035 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these

cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is October 15, 2024.

(6) **Z2024-041 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Quadri Akamo of QJ Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive, and take any action necessary.

(7) **Z2024-042 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Nadia Ramos for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 515 S. Clark Street, and take any action necessary.

(8) **Z2024-043 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Russ and Kim Dignam for the approval of a Specific Use Permit (SUP) to allow more than the permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and take any action necessary.

(9) **Z2024-044 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Trenton Austin for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street, and take any action necessary.

(10) **Z2024-045 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Inocencio Barron on behalf of Ariel Palacios for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 910-A0 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive, and take any action necessary.

(11) **Z2024-046 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 108 Reliance Court, and take any action necessary.

(12) **Z2024-047 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Eric Heideloff of Enterprise Rental Car for the approval of a Specific Use Permit (SUP) for Automobile Rental on a 1.1540-acre parcel of land identified as Lot 1, Block 1, HJG Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1801 S. Goliad Street, and take any action necessary.

(13) **Z2024-048 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 536.4297-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

(14) **P2024-031 (HENRY LEE)**

Discuss and consider a request by Kiew Kam of Triangle Engineering, LLC on behalf of Ibrahim Ballout for the approval of a Preliminary Plat for a Shopping Center on an 11.78-acre tract of land identified as Tract 5-3 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, located at the southeast corner of the intersection of John King Boulevard and SH-276, and take any action necessary.

(15) **SP2024-040 (HENRY LEE)**

Discuss and consider a request by Mckenzie Joseck of BGE, Inc. on behalf of Shawn Valk of Saro Partners, LLC for the approval of a Site Plan for two (2) *Office Buildings* on a 2.72-acre tract of land identified as Tract 26-4 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 5543 Horizon Road [FM-3097], and take any action necessary.

(16) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- Z2024-035: Zoning Change (C to PD) for Rockwall Heights **(REMANDED BACK TO PLANNING AND ZONING COMMISSION)**
- Z2024-036: Specific Use Permit (SUP) for a *Detached Garage* at 921 N. Alamo Street **(1ST READING; APPROVED)**
- Z2024-039: Specific Use Permit (SUP) for a *Short-Term Rental* at 610 Christian Court **(DENIED)**
- Z2024-040: Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* for 403 E. Kaufman Street **(1ST READING; APPROVED)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on September 20, 2024 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
SEPTEMBER 10, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

I. CALL TO ORDER

8 Chairman Deckard called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Womble, Dr. Jean Conway, Jay Odom,
9 Ross Hustings, Kyle Thompson and John Hagaman. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry
10 Lee, Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant
11 City Engineer Jonathan Browning. Absent from the meeting was Civil Engineer Madelyn Price.

II. OPEN FORUM

15 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*
16 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*
17 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*
18 *Act.*

20 Chairman Deckard explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being
21 no one indicating such Chairman Deckard closed the open forum.

III. CONSENT AGENDA

25 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code*
26 *(UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

28 1. Approval of Minutes for the August 13, 2024 Planning and Zoning Commission meeting.

30 2. Approval of Minutes for the August 27, 2024 Planning and Zoning Commission meeting.

3. SP2024-039 (HENRY LEE)

32 Consider a request by Cody Johnson of Johnson Volk Consulting on behalf of Kyle Tressler of Qualico Development, Inc. for the approval of a Site Plan for
33 an Amenity Center for the Peachtree Meadows Subdivision situated on a 1.06-acre portion of a larger 45.95-acre tract of land identified as Tract 5 of the J.
34 R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [Ordinance No. 23-11]
35 for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive,
36 and take any action necessary.

39 Commissioner Conway made a motion to approve the Consent Agenda. Commissioner Hustings seconded the motion which passed by a vote of 7-
40 0.

IV. PUBLIC HEARING ITEMS

44 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please*
45 *submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning*
46 *Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments*
47 *to three (3) minutes out of respect for the time of other citizens.*

4. Z2024-035 (RYAN MILLER)

50 Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of Rockwall 549/I-30
51 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for
52 Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition,
53 City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest
54 corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

56 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the applicants request. It's a 67.475-acre tract of land situated
57 on the Northwest corner of the intersection of Stodghill road and I-30 frontage road. It is currently zoned Commercial (C) District located within our
58 I-30 overlay district. This property was originally annexed back in 1985. Last year this was rezoned to Commercial (C) District and is currently vacant.
59 The applicant is requesting to rezone the subject property from Commercial (C) District to a Planned Development District for limited commercial
60 district land use. The applicant has submitted a concept plan that shows that the subject property will be subdivided into four (4) different
61 subdistricts. Subdistrict A will be for a large retailer that'll be 18.70 acres. Sub district B will be for a future regional center on 33.215 acres. Subdistrict
62 C is for a 250-unit urban residential style condominium building on 4.64 acres. Subdistrict D is marked for a 25-unit townhome development and 225-
63 unit low rise residential community on 10.92 acres. On sub district A the applicant is proposing a 161,000 SF large format retailer with 650 parking

64 spaces. The proposed PD ordinance allows limited commercial district land use. What staff means by limited is it removes any land use that would
65 be inconsistent with the proposed development. The concept plan and building elevations are contained in the PD ordinance itself. What that means
66 is that if the zoning case is approved by the City Council the development for this proposed subdistrict can move straight from the zoning phase
67 into the site planning phase. It would not have to go through that interment PD development plan. The applicant is requesting a couple deviations
68 from the zoning code as part of the PD ordinance for this subdistrict. Specifically, the building materials. In the previous meeting they were requesting
69 IMP panels. Since then they have changed that to a tilt wall. That does require a special exception typically, but in this case that would be tied into
70 the zoning ordinance. They're also requesting deviations for the articulation and roof design standards and the number of architecture elements.
71 Staff should point out that since this is in the I-30 overlay district most of these variances would be variances if this was taken into a site plan process
72 but they're tried to corporate branding. In the I-30 overlay district does give the Planning and Zoning Commission the ability to look at corporate
73 branding when looking at buildings and how they fit into the overall development scheme. In addition, they're also requesting a couple deviations to
74 the municipal code of ordinances. These are exclusively related to the signage requirement. In this case they're requesting a poll sign that exceeds
75 the maximum height and size. Specifically, to allow the 120-foot tri-wing sign. That sign will incorporate phases that will be 700 SF on each side.
76 They're also requesting wall signage in excess of the 10% permitted by the City codes. Specifically, they're proposing all signage that ranges from
77 5% to 20% for each façade. They're also requesting two (2) digital signage signs. In addition to the wall sign each sign would be 700 SF and that
78 would be on the sign phases. They're also requesting traffic signs that are larger and taller than what is permitted. They're also proposing to
79 incorporate fourteen (14) promotional signs that can be 44 SF in size and 10 feet in height and be located along major roadways. In subdistrict B the
80 applicant has provided a concept plan and has stated that it is subject to change depending on the user ultimately identified for the subject. To
81 address this staff has included language in the Planned Development District ordinance that will require subdistrict B to go through a PD development
82 plan. In the land uses the applicant requested the ability to establish four (4) restaurants with less than 2,000 SF with drive-through and drive-in.
83 Typically, in those case they require a Specific Use Permit (SUP) but in this case they're looking to establish these by right. Any subsequent
84 restaurant less than 2,000 SF with drive-through and drive-in would continue to require that SUP. Other than the deviations to the land use the only
85 other deviation are to the municipal code of ordinance. Specifically, to the signage requirements. The applicant is requesting to be able to establish
86 three (3) shopping center signs. These would be located within the entry ways. In addition, they're also requesting to allow some off-premise signage.
87 Subdistrict C will also only allow the condominium land use and will be subject to the requirements of the Commercial (C) District and Overlay
88 District. The elevations provided by the applicant do appear to meet the design standards for those districts. Subdistrict D shows that it will contain
89 225-unit low rise residential community and 25 townhome units. Now, the low-rise residential community will be required to be built to a condominium
90 standard. The district will only allow the townhomes and low-rise residential units. As with subdistricts A and C the concept plan and building
91 elevations are being tied down in the Planned Development District ordinance, this will be able to move straight through site plan if approved. The
92 applicant has also requested to abandon a portion of a conveyor street. They're doing this in order to get a private street essentially. The other
93 aspect is the applicant has requested to reduce the amount of open space proposed for the development. According to the Unified Development
94 Code (UDC) these developments require a minimum of 20% of the gross land area be dedicated to open space. In this case, the applicant has included
95 language in the Planned Development district ordinance that would limit this to 13½%. The subject property is located within the I-30 Corridor District
96 and is designated for special commercial corridor land use. This being a zoning case staff mailed out 43 notices to property owners and occupants
97 within 500 feet of the subject property. Staff received two (2) notices in favor of the applicants request.
98

99 Vice-Chairman Womble asked if there was only one public street and if the rest would be private.

100
101 Chairman Deckard asked if they need to come back for a Site Plan approval.

102
103 Mike Avalon
104 8222 Douglass Avenue
105 Dallas, TX 75225
106

107 Jeannie DeFazio
108 311 Lois Street
109 Roanoke, TX 76262
110

111 Mr. Avalon came forward and provided a presentation with his team.

112
113 Commissioner Odom asked how many Ikea stores does Texas currently have.

114
115 Commissioner Odom asked how many Ikea stores have multi-family.

116
117 Chairman Deckard asked about the directional signage.

118
119 Vice-Chairman womble asked about the signage for the entry. .

120
121 Commissioner Hagaman asked in regards to the density for the apartment acre.

122
123 Chairman Deckard opened the Public Hearing and asked if anyone who wished to speak to come forward at this time.

124
125 Carol Crow
126 504 Williams Street
127 Rockwall, TX 75087
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129 Mrs. Crow came forward and expressed her concerns in regards to the 500 units of multi -family in the store and does not allow stone and disregard
130 signage ordinance.
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Melba Jeffus
2606 Cypress Drive
Rockwall, TX 75087

Mrs. Jeffus came forward and expressed her concerns in regards to the signage and multi-family.

Jessica Lamb
331 Fox Hollow Drive
Rockwall, TX 75032

Mrs. Lamb came forward and expressed her concerns in regards to the multi-family. Explained that more multi-family homes would bring crime rate up and traffic issues.

Chairman Deckard asked if anyone else who wished to speak to come forward at this time, there being no one indicating such Chairman Deckard closed the Public Hearing and brought the item back for discussion or action.

Mr. Avalon wanted to explain that there is no crime at the harbor from the multi-family.

Commissioner Conway asked if instead of 500-unit apartments it could be half the size or townhomes entirely.

Commissioner Hagaman explained that he will not vote for multi-family.

Commissioner Hastings asked what would be allowed in there by right.

Director of Planning and Zoning Ryan Miller answered and explained that anything in a commercial district would be allowed there right now.

Vice-Chairman Womble made a motion to approve Z2024-035. Commissioner Hastings seconded the motion which failed by a vote of 2-5 with Chairman Deckard, Commissioner Conway, Thompson, Odom and Hagaman dissenting.

5. Z2024-036 (BETHANY ROSS)

Hold a public hearing to discuss and consider a request by Travis Block for the approval of a Specific Use Permit (SUP) for a Detached Garage on a 0.53-acre tract of land identified as a portion of Block 4 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 921 N. Alamo Street, and take any action necessary.

Planner Bethany Ross provided a brief summary in regards to the applicants request. The applicant requested a Specific Use Permit (SUP) for a detached garage that exceeds the maximum of allowable number of accessory structures. The site plan provided by the applicant indicated that the garage will have a building footprint of 748 SF exceeding the allowable size by 123 SF. It will be 21-feet behind the front façade of the home. In review of the surrounding properties staff found one other detached garage of 615 SF. Given this the proposed detached garage will be the largest existing accessory structure along this portion of North Alamo only to be second to the recently approved SUP for a 910 SF detached garage at 911 North Alamo. A Specific Use Permit (SUP) is a discretionary decision for City Council pending recommendation from Planning and Zoning Commission. On August 21, 2024 staff mailed out notices to property owners and occupants within 500 feet of the subject property. Staff also notified The Preserve, Lakeview Summit and Caruth Lakes Homeowners Association. At this time staff had received three (3) notices in favor of the applicants request.

Vice-Chairman Womble asked if both existing structures would remain on the property.

Travis Block
921 N. Alamo
Rockwall, TX 75087

Mr. Block came forward and provided additional details in regard to his request.

Chairman Deckard opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating such Chairman Deckard closed the Public Hearing and brought the item back for discussion or action.

Commissioner Conway made a motion to approve Z2024-036. Vice-Chairman Womble seconded the motion which passed by a vote of 7-0.

6. Z2024-039 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Scott Popescu of Brookhaven Media for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.25-acre parcel of land identified as Lot 2, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 4153 Panther Ridge Lane, and take any action necessary.

Senior Planner Henry Lee provided a brief summary in regards to the applicants request. The applicant is requesting approval for a Specific Use Permit (SUP) for a short-term rental. The request is due since they're within 1,000 ft of another short-term rental non-owner occupied. It should be roughly 795 feet of another property, which is less than the 1,000 feet that is permitted by right. That being said, there was a grace period that was offered for short-term rentals that were in operation before April 1, 2024 when the ordinance was passed. This property did change hands in May of 2023 therefore it had been operating before that. They did not meet the deadline and is why they're being considered a new short-term rental since

200 they did not apply within that grace period. Staff did look into to see if the property owners had payed local hotel tax and it showed that they have
201 not paid. In addition, staff did get in touch with the Police Department to see if there was any report or calls on the property and they found none.
202 Staff mailed out notices to property owners and occupants within 500 feet of the subject property. Staff did receive sixteen (16) notices in return
203 being opposed to the applicants request.
204

205 Chairman Deckard asked if once the property owners got a notice stating that they were not in compliance did they continue to operate.
206

207 Senior Planner Henry Lee stated that the listing was still shown on the website on August 27, 2024.
208

209 Chairman Deckard opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating
210 such Chairman Deckard closed the Public Hearing and brought the item back for discussion or action.
211

212 Commissioner Hustings made a motion to deny Z2024-039. Chairman Deckard seconded the motion which was denied by a vote of 7-0.
213

214 **7. Z2024-040 (ANGELICA GUEVARA)**

215 Hold a public hearing to discuss and consider a request by Carol A. Byrd for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established
216 Subdivision on a 0.2850-acre parcel of land identified as Lot 5B, Block 5, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7
217 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 403 E. Kaufman Street, and take any action necessary.
218

219 Planning Technician Angelica Guevara provided a brief summary in regards to the applicants request. The applicant is requesting approval of a
220 Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property. The proposed home will be a two story 2,273
221 SF residence that will incorporate brick, siding and trim, various wood columns and railings along the front and rear porch along with the masonry
222 chimney. Staff should not that the applicants request appears to meet all the density and dimensional requirements for a home in a Single-Family 7
223 (SF-7) District. In addition, the Historic Preservation Advisory Board (HPAB) reviewed the architecture of the proposed home and approved a
224 Certificate of Appropriateness (COA) for the home sending a recommendation for approval to the Planning & Zoning Commission and City Council.
225 On August 21, 2024 staff mailed out notices to property owners and occupants within 500-feet of the subject property. At that time staff had not
226 received any notices in return in regards to the applicants request.
227

228 Carol Byrd
229 707 Cullins Road
230 Rockwall, TX 75032
231

232 Mrs. Byrd came forward and provide additional details in regards to the applicants request.
233

234 Chairman Deckard opened the Public Hearing and asked if anyone who wished to speak to come forward at this time, there being no one indicating
235 such Chairman Deckard closed the Public Hearing and brought the item back for discussion or action.
236

237 Commissioner Conway made a motion to approve Z2024-040. Commissioner Odom seconded the motion which passed by a vote of 7-0.
238

239 V.DISCUSSION ITEMS
240

241 8. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
242

- 243 •P2024-028: Replat for Lots 3 & 4, Block A, Rockwall County Courthouse Addition (APPROVED)
- 244 •P2024-029: Final Plat for Lot 1, Block A, Revelation Addition (APPROVED)
- 245 •MIS2024-018: Alternative Tree Mitigation Settlement Agreement for Lakepoint Church (APPROVED)
- 246 •Z2024-031: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 510 W. Kaufman Street (2ND READING; APPROVED)
- 247 •Z2024-032: Amendment to Planned Development District 13 (PD-13) (2ND READING; APPROVED)
248

249 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the outcomes of the cases listed above.
250

251 VI.ADJOURNMENT
252

253 Chairman Deckard adjourned the meeting at 7:48PM.
254

255 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
256 _____, 2024.
257

258 _____
259 Derek Deckard, Chairman

260 Attest:
261 _____
262 Melanie Zavala, Planning Coordinator
263



TO: Planning and Zoning Commission
DATE: September 24, 2024
APPLICANT: Paul Arce; *Projects & Constructions Araque*
CASE NUMBER: P2024-030; *Replat for Lot 1, Block B, Lake Rockwall Estates East Addition*

SUMMARY

Consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Replat for Lot 1, Block B, Lake Rockwall Estates East Addition being a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Replat of a 0.248-acre parcel of land (*i.e. a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition*) for the purpose of establishing one (1) lot for the development of a single-family home on the subject property.
- Background. The subject property was originally platted as Lots 1180 & 1179 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*i.e. Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. On May 6, 2024, the City Council approved *Ordinance No. 24-16* [*i.e. Case No. Z2024-013; SUP No. S-331*] to allow the construction of a single-family home on the subject property.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for Lot 1, Block B, Lake Rockwall Estates East Addition, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to the filing of this Replat; and,

- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/18/2024

PROJECT NUMBER: P2024-030
PROJECT NAME: Replat for 340 Evans Road
SITE ADDRESS/LOCATIONS: 340 EVANS RD

CASE CAPTION: Consider a request by Paul Arce of Projects & Constrictions Araque on behalf of Shirley Soto for the approval of a Replat for Lot 1, Block B, Lake Rockwall Estates East Addition being a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single- Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	09/17/2024	Approved w/ Comments

09/17/2024: P2024-030: Replat for Lot 1, Block B, Lake Rockwall Estates East Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 1, Block B, Lake Rockwall Estates East Addition being a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single- Family 7 (SF-7) District, addressed as 340 Evans Road.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2024-030) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

FINAL PLAT
LOT 1, BLOCK B
LAKE ROCKWALL ESTATES EAST ADDITION
BEING A REPLAT OF
A PORTION OF LOT 1180 AND ALL OF LOT 1179
LAKE ROCKWALL ESTATES # 2 ADDITION
BEING ONE (1) RESIDENTIAL LOT
0.248-ACRES OR 10,803 SF
SITUATED IN THE
GLOVER WELLS SURVEY, ASTRACT NO. 219
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please provide the square footage of the lot on the plat. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please correct the building lines on the subject property. (Subsection 10.05, Chapter 38 of, Subdivisions, of the Municipal Code of Ordinances)

M.7 Please label all existing and proposed easements relative to the site and include the type, purpose, and width. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Please provide and label the street centerline along Evans Road. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Please indicate ownership information on the adjacent parcels. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please change the subdivision name from "Rockwall Lake Estates Development No. 2, Lot 1179-R" to "Lot 1, Block B, Lake Rockwall Estates East Addition on all areas of the plat. (Subsection 10.07, Chapter 38 of, Subdivisions, of the Municipal Code of Ordinances)

M.11 Please remove the second notary block underneath the Surveyors Certificate.

M.12 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CHAIRMAN

CITY SECRETARY

CITY ENGINEER

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.14 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Meeting: September 24, 2024

City Council Meeting: October 7, 2024

I.15 Please note that a representative is required to be present for the meeting to answer any questions the Planning and Zoning Commission may have regarding your request. Once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

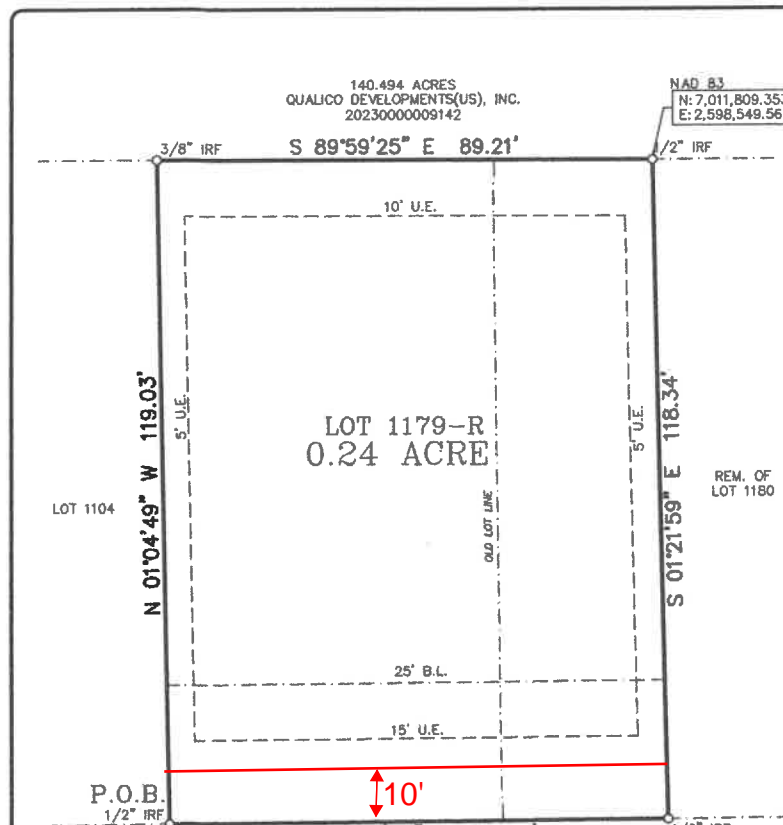
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved w/ Comments

09/17/2024: 1. 10' Utility easement along Evans required.

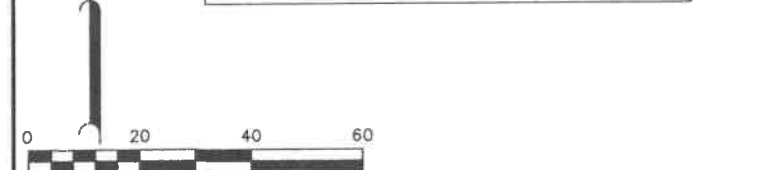
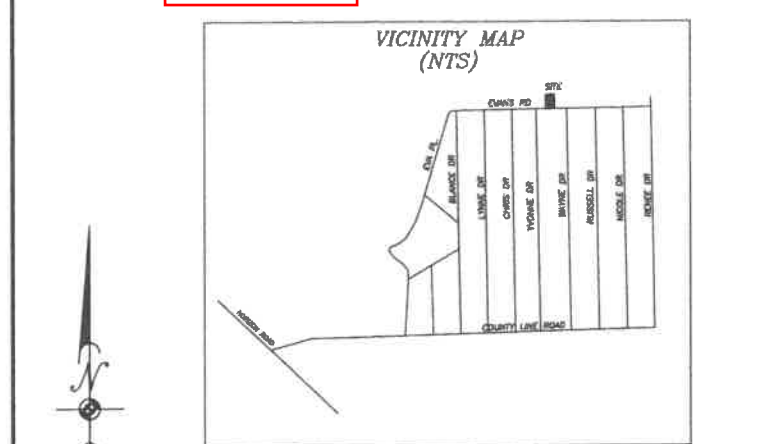
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Approved w/ Comments

09/18/2024: FRONT BUILD LINE IS ONLY REQUIRED TO BE 20 FEET PER THE PD ORDINANCE

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/09/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/09/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved
No Comments			



10' Utility easement along Evans Road required.



LEGEND

○ PROPERTY CORNER	● WATER VALVE	△ TELE. PEDESTAL	○ MAILBOX	---X--- WIRE FENCE	---C--- GAS
# POWER POLE	□ FIRE HYDRANT	▽ FIBER OPTIC MARKER	□ HVAC	---O--- CHAINLINK FENCE	---W--- WATER
← GUY WIRE	○ GAS METER	△ CATV CABLE TV PEDESTAL	□ TRAFFIC SIGN	---//--- WOOD FENCE	---FC--- FIBER OPTIC
⊠ ELEC. TRANS.	○ GAS VALVE	○ CLEANOUT	□ SAN. SEWER MANHOLE	---□--- IRON FENCE	---SS--- SANITARY SEWER
⊠ ELEC. METER	○ GAS VALVE	○ SEPTIC	○ STORM SEWER MANHOLE	---E--- ELECTRIC	---ST--- STORM SEWER
○ WATER METER	○ PIPELINE MARKER	○ AEROBIC	○ LIGHT POLE	---UGF--- UNDERGROUND ELEC.	

I further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Shirley Soto Hernandez
STATE OF TEXAS
COUNTY OF _____
Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this the _____ day of _____
Notary Public in and for the State of Texas

STATE OF TEXAS
COUNTY OF _____
Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this the _____ day of _____
Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE
NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
THAT I, Donald S. Holder, Registered Professional Land Surveyor, State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
"Preliminary; this document shall not be recorded for any purpose and shall not be used, viewed or relied upon as a final survey document."
Donald S. Holder
Registered Public Land Surveyor No. 5266

STATE OF TEXAS:
COUNTY OF _____
BEFORE ME, the undersigned authority, a Notary Public in and for _____ County, Texas, on this day personally appeared the person(s) whose name(s) is (are) subscribed to the foregoing instrument and they acknowledge same for the purposes and considerations therein expressed and, in the capacity, therein stated.
GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 20____
Notary Public in and for _____ County, Texas

STANDARD CITY SIGNATURE BLOCK
APPROVED:
I hereby certify that the above and foregoing subdivision plat of REPLAT OF LOT 1179-R OF THE REPLAT OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 SECTIONS EAST OF LAKE BEING AN ADDITION TO THE CITY OF ROCKWALL, TEXAS was approved by the Director of Planning and Zoning and the City Engineer of the City of Rockwall, Texas on the _____ day of _____, 20____
Director of Planning & Zoning
City Engineer

General Notes:
1. Bearings are based North Central Texas State Plane 4202 NAD83.
2. According to the Flood Insurance Rate Map No. 48397C0040L dated September 26, 2008, published by The Federal Emergency Management Agency, the subject property lies within Flood Zone "X" and is not shown to be within a special flood hazard area. This statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
3. Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
4. Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
5. Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
6. Fire Lanes. All Fire Lanes will be constructed, maintained, repaired, and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

OWNER'S CERTIFICATE
STATE OF TEXAS
COUNTY OF ROCKWALL
WHEREAS Shirley Soto Hernandez, are the sole owner of a tract of land within the County of Rockwall, State of Texas, said tract being described as follows:

LEGAL DESCRIPTION
All that certain lot, tract, or parcel of land situated in Rockwall County, Texas, being all Lot 1179 and part of Lot 1180 of ROCKWALL LAKE PROPERTIES DEVELOPMENT #2, on addition to Rockwall, Texas, according to the Map thereof recorded in Side A at Pages 79-80 of the Plat Records of Rockwall County, Texas, being all of the property as described in a General Warranty Deed from Patricia Karen O'Shea to Shirley Soto Hernandez as recorded in/under Document No. 20230000017334 of the Official Public Records of Rockwall County, Texas and being further described as follows:
BEGINNING at a 1/2 Inch Iron rod found for a corner at the southwest corner of Lot 1179 on the north line of Evans Road; THENCE N 01°04'49" W joining and along a fence and along the west line of Lot 1179, a distance of 119.03 feet to a 3/8 inch iron rod found for a corner at the northwest corner of Lot 1179, said corner being in the existing south line of 140.494 acre tract as conveyed to Qualico Developments (US), Inc as recorded in/under Document No. 2023000009142 of the Official Public Records of Rockwall County, Texas;
THENCE S 89°59'25"E along the south line of said 140.494 acre tract, a distance of 89.21 feet to a 1/2 inch iron rod found for a corner;
THENCE S 01°21'59"E a distance of 118.34 feet to a 1/2 inch iron rod found for a corner on the north line of Evans Road; THENCE S 89°33'39"W along the north line of Evans Road, a distance of 89.79 feet returning to the Point of Beginning and containing 0.24 acre tract of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL
I the undersigned owner of the land shown on this plat and designated herein as the REPLAT OF LOT 1179-R OF THE REPLAT OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 SECTIONS EAST OF LAKE, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the REPLAT OF LOT 1179-R OF THE REPLAT OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 SECTIONS EAST OF LAKE, subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and ditches, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

**REPLAT
LOT 1179-R OF ROCKWALL LAKE
PROPERTIES DEVELOPMENT NO. 2
SECTIONS EAST OF LAKE
BEING 1 RESIDENTIAL LOT
0.24 ACRES
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
AUGUST 2024**

Owner:
Shirley Soto Hernandez
433 Lynn Drive
Rockwall, Texas 75087

Surveyor:
Eyncon Engineering & Surveying
2816 Stonewall St., P.O. Box 1025
Greenville, Texas 75401
(903) 450-9837



DATE: X X, 20	JOB NO.: 20
DRAWN BY:	DWG:
SCALE: 1" = 100'	FIRM REG. CERT. #10022400



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

2024-040

NOTE: THE APPLICANT IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 340 EVANS RD. #2
 SUBDIVISION: Rockwall Lake Properties LOT 1179/1180 BLOCK
 GENERAL LOCATION: 340 EVANS

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: PD 75 CURRENT USE: S. F. R.
 PROPOSED ZONING: SFR. PROPOSED USE: Residential
 ACREAGE: 0.24 LOTS [CURRENT]: 0.24ac LOTS [PROPOSED]: 0.24ac

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	Shirley Soto	<input type="checkbox"/> APPLICANT	Projects & Construction Araque.
CONTACT PERSON	Shirley Soto	CONTACT PERSON	PAUL ARCE
ADDRESS	453 Lynne Dr	ADDRESS	18601 LBJ FWY SUITE 250
CITY, STATE & ZIP	Rockwall TX 75082	CITY, STATE & ZIP	MESQUITE TX 75150
PHONE		PHONE	(972) 365 6823
E-MAIL	Shirley.soto@hptmail.com	E-MAIL	projectsaraque41@gmail.com

NOTARY VERIFICATION [REQUIRED]

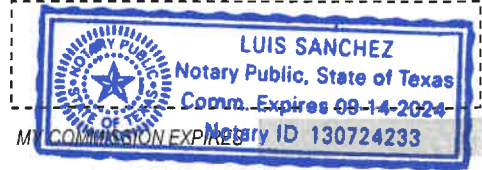
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shirley Soto [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF August, 2024

OWNER'S SIGNATURE: Shirley Soto

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]



0 5 10 20 30 40 Feet

P2024-030: Lot 1, Block B, Lake Rockwall Estates East Addition

PD-101

PD-75

EVANS RD

Case Location Map = 

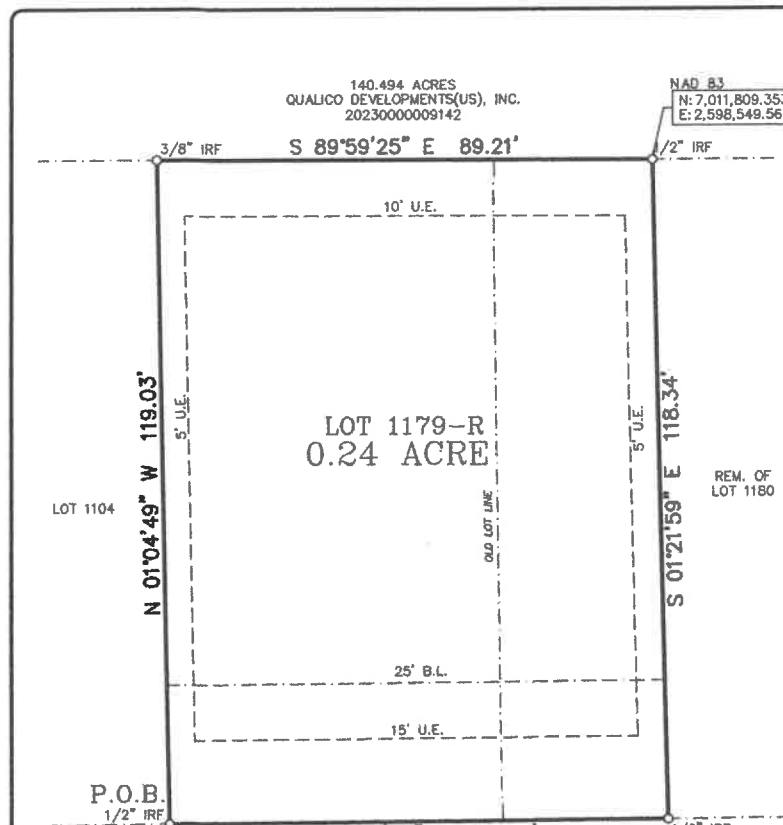


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





140.494 ACRES
 QUALICO DEVELOPMENTS(US), INC.
 2023000009142

NAD 83
 N: 7,011,809.353
 E: 2,598,549.569

STATE OF TEXAS
 COUNTY OF _____

Shirley Soto Hernandez

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this the _____ day of _____

Notary Public in and for the State of Texas

STATE OF TEXAS
 COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this the _____ day of _____

Notary Public in and for the State of Texas

I further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

STATE OF TEXAS
 COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this the _____ day of _____

Notary Public in and for the State of Texas

STATE OF TEXAS
 COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this the _____ day of _____

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Donald S. Holder, Registered Professional Land Surveyor, State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"Preliminary; this document shall not be recorded for any purpose and shall not be used, viewed or relied upon as a final survey document."

Donald S. Holder
 Registered Public Land Surveyor No. 5266

STATE OF TEXAS:
 COUNTY OF _____

BEFORE ME, the undersigned authority, a Notary Public in and for _____ County, Texas, on this day personally appeared the person(s) whose name(s) is (are) subscribed to the foregoing instrument and they acknowledge same for the purposes and considerations therein expressed and, in the capacity, therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 20____.

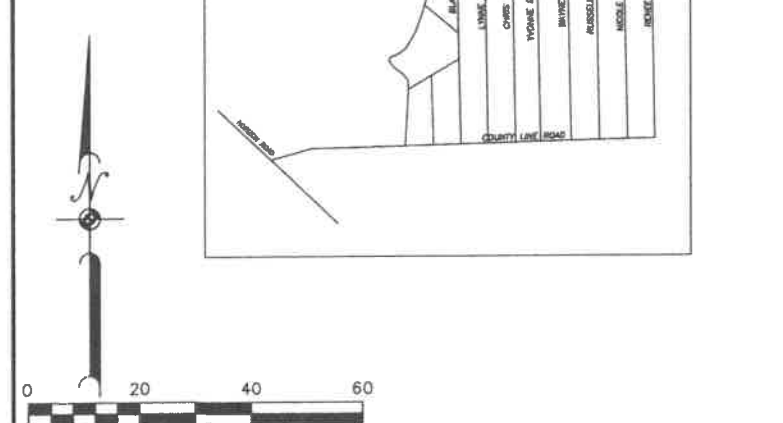
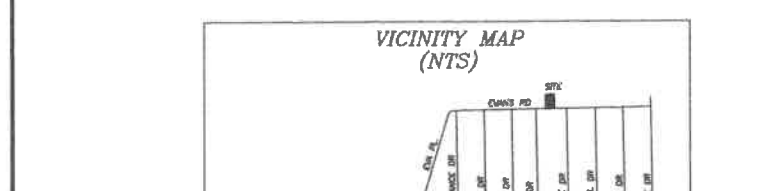
Notary Public in and for _____ County, Texas

STANDARD CITY SIGNATURE BLOCK

APPROVED:

I hereby certify that the above and foregoing subdivision plat of REPLAT OF LOT 1179-R OF THE REPLAT OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 SECTIONS EAST OF LAKE BEING AN ADDITION TO THE CITY OF ROCKWALL, TEXAS was approved by the Director of Planning and Zoning and the City Engineer of the City of Rockwall, Texas on the _____ day of _____, 20____.

Director of Planning & Zoning _____ City Engineer _____



LEGEND

○ PROPERTY CORNER	● WATER VALVE	△ TELE. PEDESTAL	○ MAILBOX	---X--- WIRE FENCE	---C--- GAS
# POWER POLE	⊕ FIRE HYDRANT	▽ FIBER OPTIC MARKER	HVAC	---O--- CHAINLINK FENCE	---W--- WATER
← GUY WIRE	⊙ GAS METER	△ CATV CABLE TV PEDESTAL	TRAFFIC SIGN	---//--- WOOD FENCE	---FC--- FIBER OPTIC
⊠ ELEC. TRANS.	⊙ GAS VALVE	⊙ CLEANOUT	SAN. SEWER MANHOLE	---□--- IRON FENCE	---SS--- SANITARY SEWER
⊙ ELECTRIC METER	⊙ GAS VALVE	⊙ SEPTIC	STORM SEWER MANHOLE	---E--- ELECTRIC	---ST--- STORM SEWER
⊙ WATER METER	⊙ PIPELINE MARKER	⊙ AEROBIC	○ LIGHT POLE	---UGF--- UNDERGROUND ELEC.	

OWNER'S CERTIFICATE

STATE OF TEXAS
 COUNTY OF ROCKWALL

WHEREAS Shirley Soto Hernandez, are the sole owner of a tract of land within the County of Rockwall, State of Texas, said tract being described as follows:

LEGAL DESCRIPTION

All that certain lot, tract, or parcel of land situated in Rockwall County, Texas, being all Lot 1179 and part of Lot 1180 of ROCKWALL LAKE PROPERTIES DEVELOPMENT #2, on addition to Rockwall, Texas, according to the Map thereof recorded in Side A at Pages 79-80 of the Plat Records of Rockwall County, Texas, being all of the property as described in a General Warranty Deed from Patricia Karen O'Shea to Shirley Soto Hernandez as recorded in/under Document No. 20230000091334 of the Official Public Records of Rockwall County, Texas and being further described as follows:

BEGINNING at a 1/2 Inch Iron rod found for a corner at the southwest corner of Lot 1179 on the north line of Evans Road; THENCE N 01°04'49" W joining and along a fence and along the west line of Lot 1179, a distance of 119.03 feet to a 3/8 inch iron rod found for a corner at the northwest corner of Lot 1179, said corner being in the existing south line of 140.494 acre tract as conveyed to Qualico Developments (US), Inc as recorded in/under Document No. 2023000009142 of the Official Public Records of Rockwall County, Texas;

THENCE S 89°59'25"E along the south line of said 140.494 acre tract, a distance of 89.21 feet to a 1/2 inch iron rod found for a corner;

THENCE S 01°21'59"E a distance of 118.34 feet to a 1/2 inch iron rod found for a corner on the north line of Evans Road;

THENCE S 89°33'39"W along the north line of Evans Road, a distance of 89.79 feet returning to the Point of Beginning and containing 0.24 acre tract of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
 COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat and designated herein as the REPLAT OF LOT 1179-R OF THE REPLAT OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 SECTIONS EAST OF LAKE, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the REPLAT OF LOT 1179-R OF THE REPLAT OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 SECTIONS EAST OF LAKE, subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and ditches, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

REPLAT
LOT 1179-R OF ROCKWALL LAKE
PROPERTIES DEVELOPMENT NO. 2
SECTIONS EAST OF LAKE
BEING 1 RESIDENTIAL LOT
0.24 ACRES
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
AUGUST 2024

Owner:
 Shirley Soto Hernandez
 433 Lynn Drive
 Rockwall, Texas 75087

Surveyor:
 Eyncon Engineering & Surveying
 2816 Stonewall St., P.O. Box 1025
 Greenville, Texas 75401
 (903) 450-9837



DATE: X X, 20	JOB NO.: 20
DRAWN BY:	DWG:
SCALE: 1" = 100'	FIRM REG. CERT. #10022400



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 24, 2024
APPLICANT: Kartavya Patel; *Triangle Engineering, LLC.*
CASE NUMBER: P2024-032; *Replat for Lots 12 & 13, Block B, Fit Sport Life Addition*

SUMMARY

Consider a request by Kartavya Patel of Triangle Engineering, LLC on behalf of Shane Keilty of Structured REA-Rockwall Land, LLC for the approval of a Replat for Lots 12 & 13, Block B, Fit Sport Life Addition being a 4.624-acre parcel of land identified as a Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing [FM-549] and Fit Sport Life Boulevard, and take any action necessary.

PLAT INFORMATION

- ☑ Purpose. The applicant is requesting the approval of a Replat of a 4.624-acre tract of land (*i.e. Lot 6, Block B, Fit Sport Life Addition*) for the purpose of establishing the required easements for the purpose of constructing a *Retail Store with Gasoline Sales (i.e. 7-eleven)* on a portion of the subject property (*i.e. Lot 12, Block B, Fit Sport Life Addition*).
- ☑ Background. The subject property was annexed by the City Council on July 21, 1997 by *Ordinance No. 97-14 [Case No. A1997-001]*. Based on the City's historical zoning maps, the subject property was zoned from an Agricultural (AG) District to a Commercial (C) District at a time between annexation and April 5, 2005. On April 9, 2024, the Planning and Zoning Commission approved a site plan (*i.e. Case No. SP2024-015*) for the construction of a *Retail Store with Gasoline Sales (i.e. 7-eleven)* on a portion of the subject property.
- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the Conditions of Approval section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 12 & 13, Block B, Fit Sport Life Addition* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Replat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/19/2024

PROJECT NUMBER: P2024-032
PROJECT NAME: Replat for Lot 12 & 13, Block B, Fit Sport Life Addition
SITE ADDRESS/LOCATIONS: 1200 CORPORATE CROSSING

CASE CAPTION: Consider a request by Kartavya Patel of Triangle Engineering, LLC on behalf of Shane Keilty of Structured REA-Rockwall Land, LLC for the approval of a Replat for Lots 12 & 13, Block B, Fit Sport Life Addition being a 4.624-acre parcel of land identified as a Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing [FM-549] and Fit Sport Life Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	09/19/2024	Approved w/ Comments

09/19/2024: P2024-032: Final Plat for Lots 12 & 13, Block B, Fit Sport Life Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a a Replat for Lots 12 & 13, Block B, Fit Sport Life Addition being a 4.624-acre parcel of land identified as a Lot 6, Block B, Fit Sport Life Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the southeast corner of the intersection of Corporate Crossing [FM-549] and Fit Sport Life Boulevard, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2024-032) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following:

Final Plat
Lots 12 & 13, Block B;
Fit Sport Life Addition
Being a Replat of
Lot 6, Block B, Fit Sport Life Addition
Being two (2) lots
4.768-Acres Or 207,694.08 SF
Situated within the
R. B. Irving Survey, Abstract No. 120
City of Rockwall, Rockwall County, Texas

M.5 Please update the Owner's Certificate, General Notes, and Standard Plat Wording to be in conformance with the subdivision ordinance (i.e. Section 38-7(1)(A)(1)). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances).

I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.7 All meetings will be held in the Rockwall City Council Chambers at 385 S. Goliad Street at 6:00 PM. The meeting schedule for this case is as follows:

Planning and Zoning Work Session: September 24, 2024
 City Council Meeting: October 7, 2024

I.8 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

I.9 Prior to submitting the required materials for filing, please send or submit a digital copy of the plat to allow staff to ensure that all outstanding comments have been addressed. Once staff has verified all comments have been addressed you will be required to submit -- at a minimum -- the following:

- (1) One (1) set(s) of mylar copies of the plat.
- (2) One (1) tax certificate for each property being platted that demonstrates that the current years taxes have been paid.
- (3) A check for the filing fees (See below) made out to the Rockwall County Clerk's Office.

FILING FEES:

Mylars: \$50.00 per page for the 1st set only (No charge for additional sets).

Tax Certificates: \$30.00 for the 1st certificate and \$4.00 for each additional certificate.

Please note that the filing fee amount above is only an estimate and that filing fees are subject to change based on the requirements of the Rockwall County Clerk's Office. In addition, if you are submitting mylars between September 1st and December 31st, you will be required to submit the current year's tax receipt showing that all assessed taxes have been paid. If taxes have not been assessed on the property being platted, a statement/letter from the Rockwall Central Appraisal District (RCAD) and an additional \$4.00 filing fee will be required to be submitted to staff.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved w/ Comments

- 09/17/2024: 1. Sewer pro-rata = \$2,773.07/acre
- 2. Need the correct City language on the signature page
- 3. Call out ROW width
- 4. Call out NTMD Easement
- 5. Call out drainage easement and 100-yr WSEL
- 6. Remove. Not reviewed with Plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/16/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/16/2024	Approved

No Comments

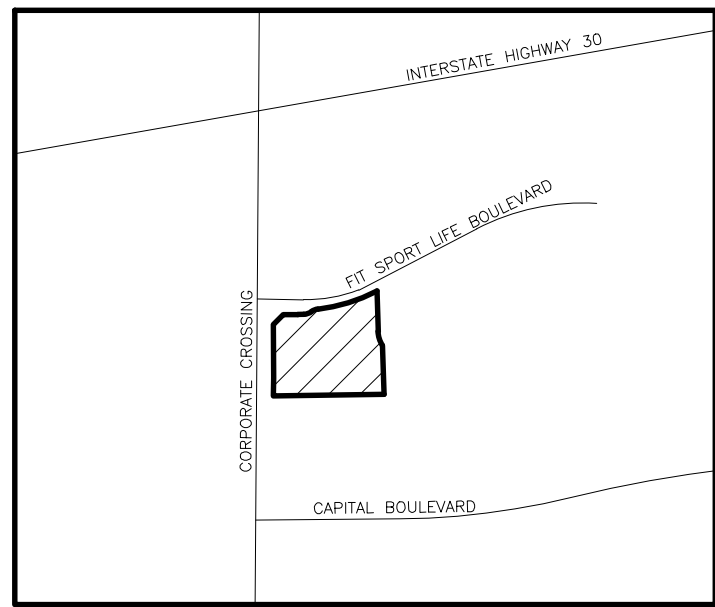
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved

No Comments

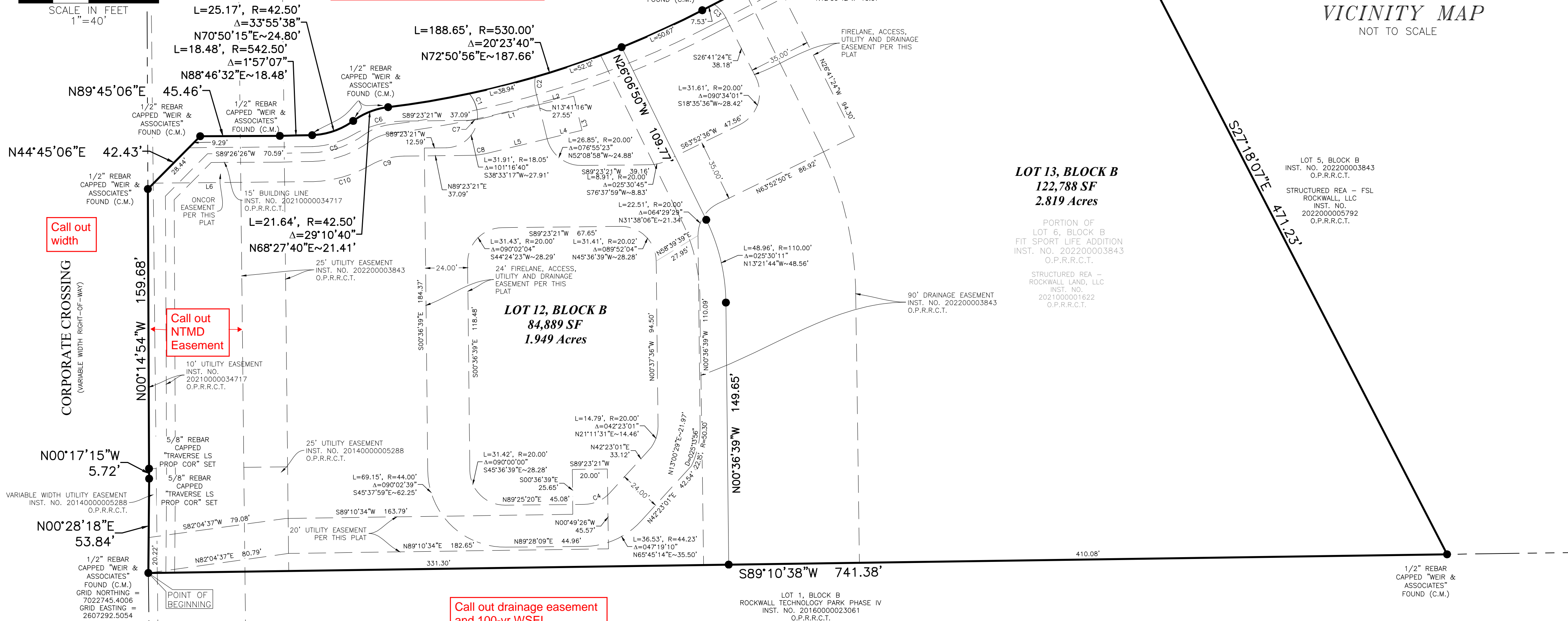
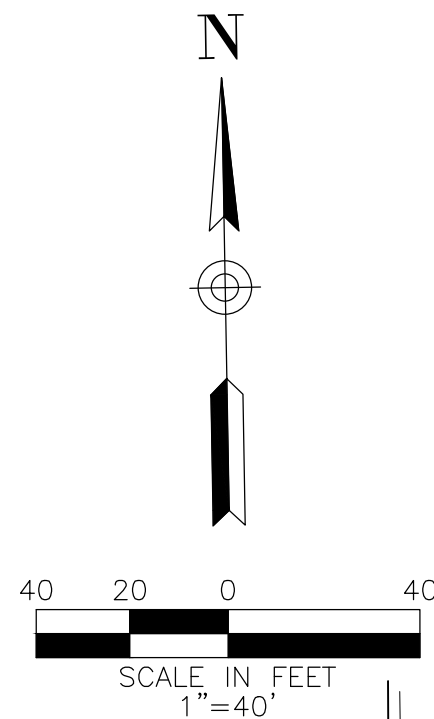
GENERAL NOTES

1. The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Allterra RTK Network and adjusted to surface using a scale factor of 1.000146135.
2. Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
3. The purpose of this plat is to create two recorded lots out of a previously recorded lot.
4. Property Owner is responsible for maintenance, repair and replacement of all drainage systems in easements on the property.

- Sewer pro-rata = \$2,773.07/acre
 - Need the correct City language on the signature page



VICINITY MAP
 NOT TO SCALE



Call out width

Call out NTMD Easement

Call out drainage easement and 100-yr WSEL

Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	10.20'	20.00'	029°12'42"	S25°42'11"E	10.09'
C2	8.56'	20.00'	024°31'44"	N01°25'24"W	8.50'
C3	10.31'	20.00'	029°32'28"	S41°27'38"E	10.20'
C4	16.44'	20.00'	047°05'08"	N65°55'35"E	15.98'
C5	23.91'	49.00'	027°57'14"	S73°59'10"W	23.67'
C6	30.77'	60.00'	029°22'48"	S74°41'57"W	30.43'
C7	6.85'	30.00'	013°04'37"	S82°51'02"W	6.83'
C8	11.41'	50.00'	013°04'37"	N82°51'02"E	11.39'
C9	20.51'	40.00'	029°22'48"	N74°41'57"E	20.29'
C10	33.94'	69.00'	028°11'11"	N74°06'08"E	33.60'

Line #	Distance	Bearing
L1	34.75'	S76°18'44"W
L2	20.00'	S76°18'44"W
L3	20.00'	N13°41'16"W
L4	20.00'	N76°18'44"E
L5	34.75'	N76°18'44"E
L6	91.04'	N89°26'26"E

OWNER/DEVELOPER
 Structured REA - Rockwall Land, LLC
 171 N Aberdeen Street, Suite 400
 Chicago, Illinois 60607

ENGINEER
 Triangle Engineering
 1782 W McDermott Drive
 Allen, Texas 75013



14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321
 W: TraverseLandSurveying.com | Texas Firm No. 10194631
Surveying | Construction Staking | Platting
 Date: 2024.04.30 Project No.: TR-101-24

REPLAT
LOT 12 AND 13,
BLOCK B
FIT SPORT LIFE
ADDITION

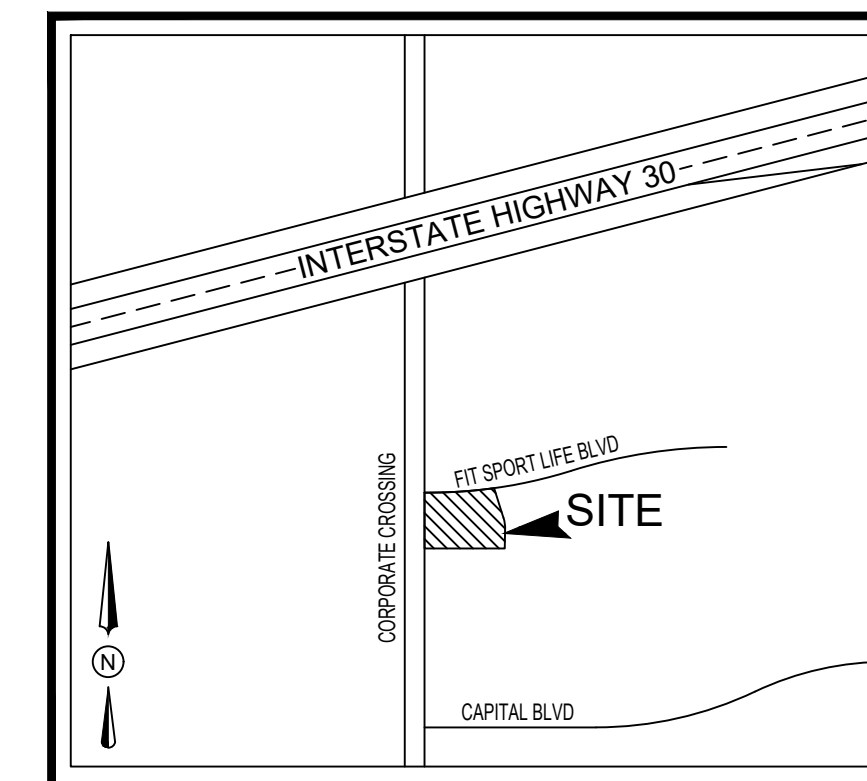
BEING A REPLAT OF LOT 6, BLOCK B OF FIT SPORT LIFE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, AS RECORDED IN INST. NO. 202200003843, P.R.R.C.T. BEING 4.768 ACRES SITUATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 APRIL 2024



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



07.25.2024

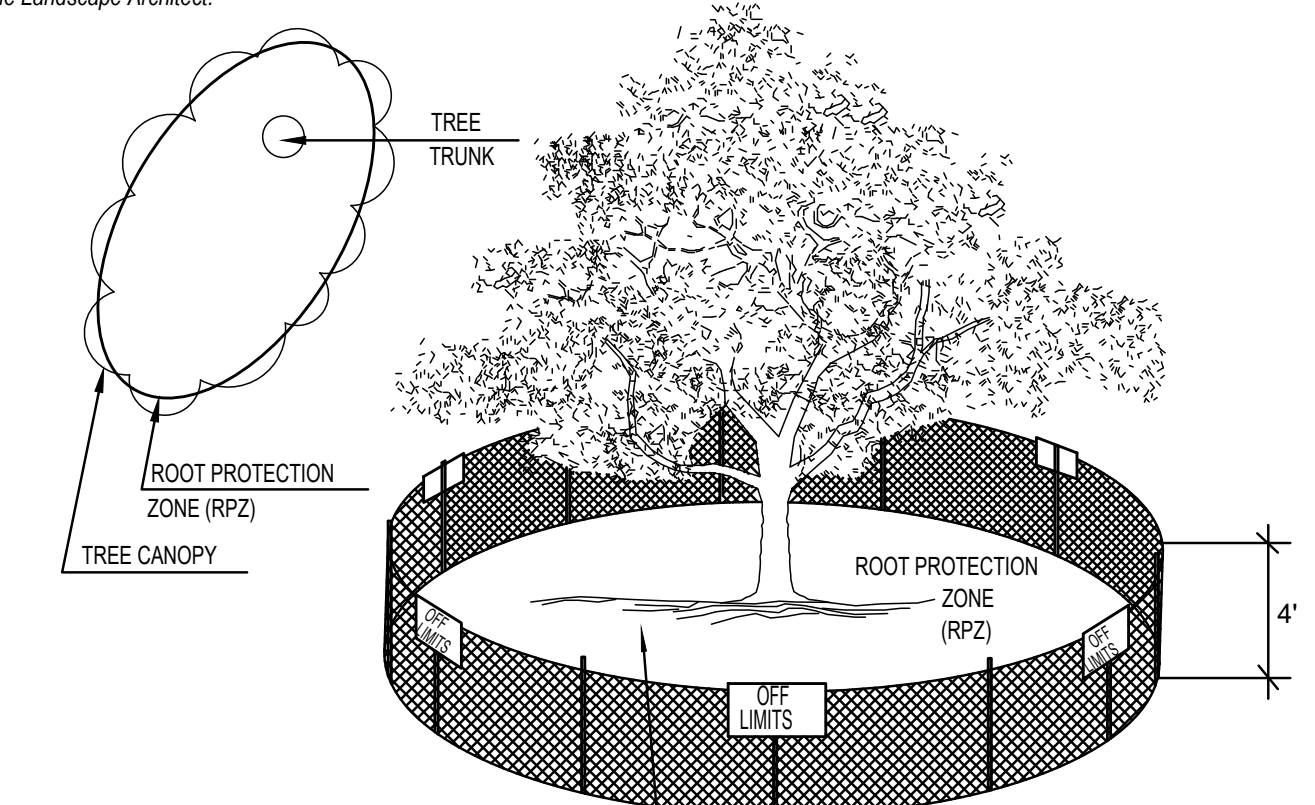


VICINITY MAP
N.T.S.

EXISTING TREE NOTES

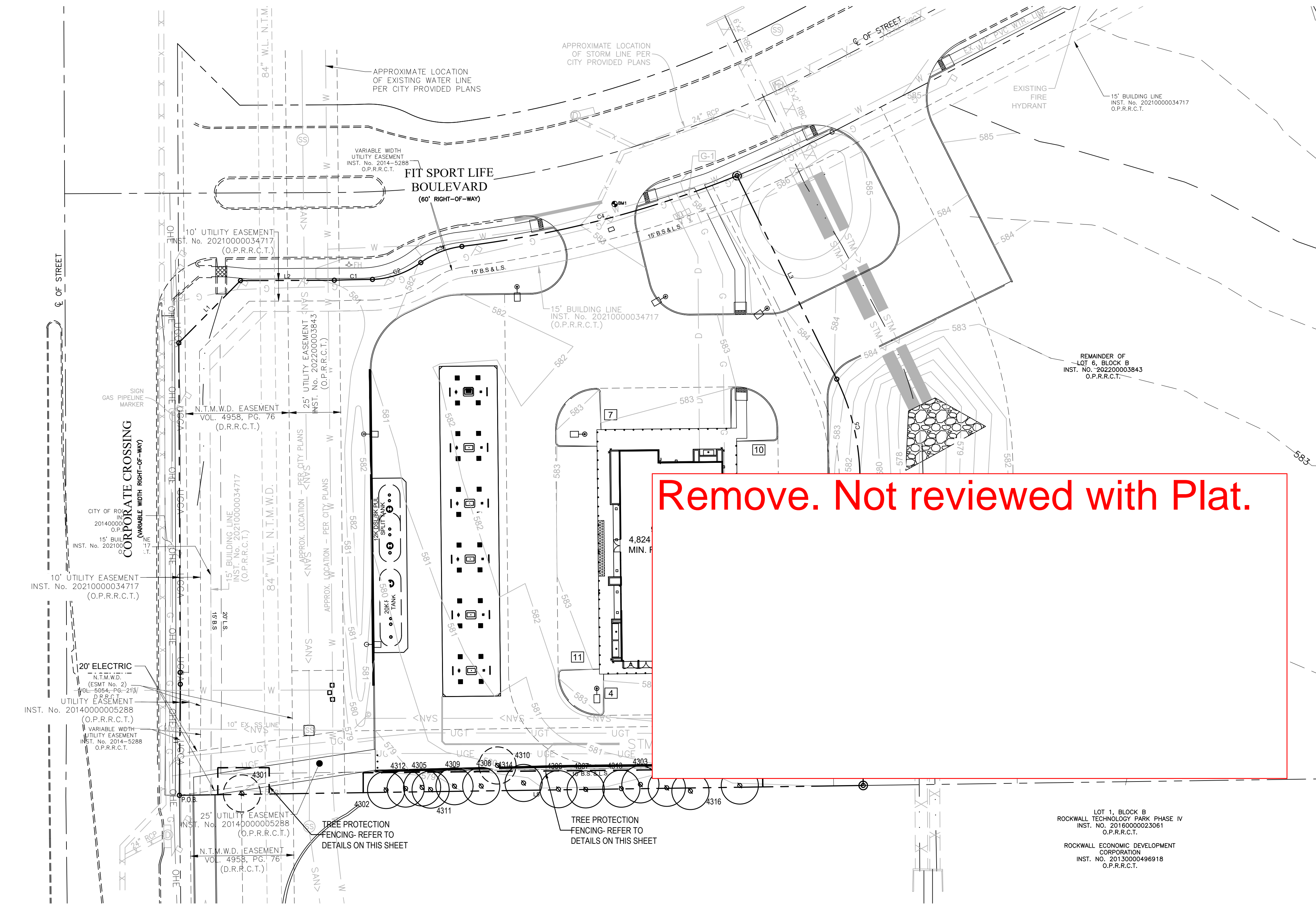
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

Remove. Not reviewed with Plat.



NOTE:
FENCING SHOWN ABOVE IS DIAGRAMMATIC ONLY
AND WILL CONFORM TO THE DRIP LINE AND LIMITED
TO PROJECT BOUNDARY

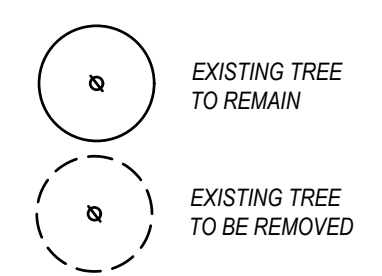
01 TREE PROTECTION FENCE A
NOT TO SCALE



LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'26" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

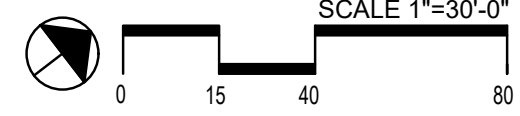
EXISTING TREE LEGEND



TREE SURVEY FIELD DATA

NO.	SIZE (IN DIA)	SPECIES (COMMON NAME)	PROTECTED/ UNPROTECTED	REMARKS
4301	36	WILLOW	UNPROTECTED	TO BE REMOVED
4302	6	HACKBERRY	UNPROTECTED	TO REMAIN
4303	6	HACKBERRY	UNPROTECTED	TO REMAIN
4304	12	HACKBERRY	UNPROTECTED	TO REMAIN
4305	7	HACKBERRY	UNPROTECTED	TO REMAIN
4306	16	HACKBERRY	UNPROTECTED	TO REMAIN
4307	12	HACKBERRY	UNPROTECTED	TO REMAIN
4308	7	HACKBERRY	UNPROTECTED	TO REMAIN
4309	7	HACKBERRY	UNPROTECTED	TO REMAIN
4310	6	CEDAR	UNPROTECTED	TO BE REMOVED
4311	7	HACKBERRY	UNPROTECTED	TO REMAIN
4312	14	HACKBERRY	UNPROTECTED	TO REMAIN
4313	6	HACKBERRY	UNPROTECTED	TO REMAIN
4314	8	HACKBERRY	UNPROTECTED	TO REMAIN
4315	14	HACKBERRY	UNPROTECTED	TO REMAIN
4316	14	HACKBERRY	UNPROTECTED	TO REMAIN

01 TREE PRESERVATION PLAN



7-ELEVEN AT CORPORATE CROSSING
FIT SPORT LIFE BLVD. / CORPORATE CROSSING
ROCKWALL, TEXAS

ISSUE:
FOR APPROVAL 04.01.2024
FOR APPROVAL 07.25.2024

DATE:
07.25.2024

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

L.1
CASE NO:
SP2024-015

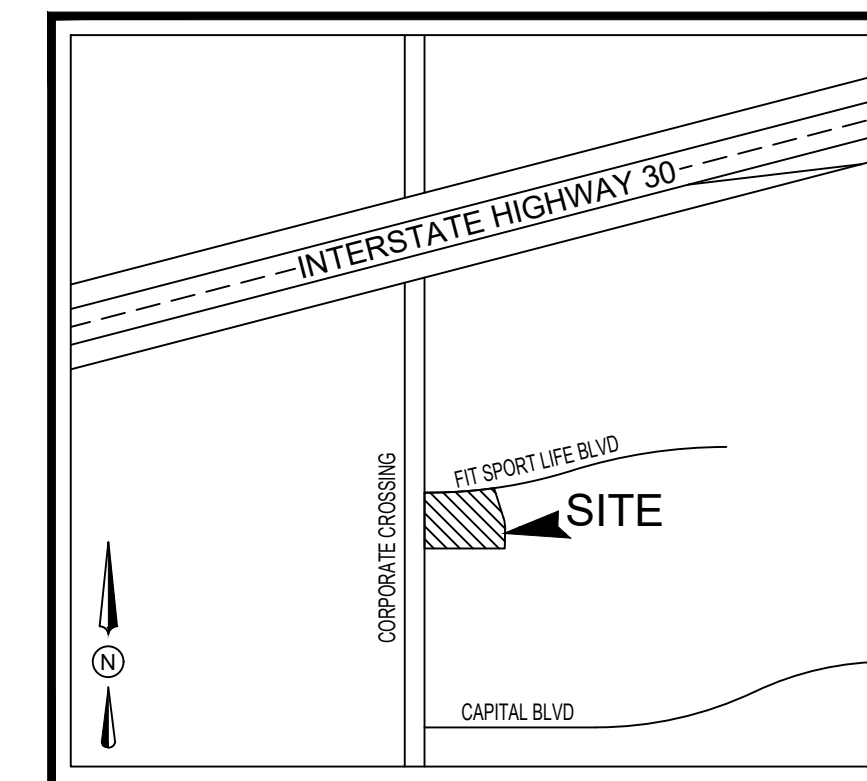
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07.25.2024



VICINITY MAP
N.T.S.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPIALS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

LANDSCAPE TABULATIONS:

I-30 Overlay / Commercial zoning

SITE REQUIREMENTS (site area 84,936 s.f.)

Requirements: 20% site area to be landscaped

Required	Provided
16,987 s.f. (20%)	35,905 s.f. (42%)

Impervious site area- 49,032 s.f. (58%)

FRONT YARD REQUIREMENTS

Requirements: 50% of required landscape must be located in front yard

Required	Provided
8,493 s.f. (50%)	30,744 s.f. (100+%)

STREET REQUIREMENTS

Requirements: (2) canopy tree, 4" cal. & (4) accent tree, 4" ht. per 100 l.f. of frontage. Perimeter screening (30" height berm and 30" ht. evergreen shrubs.)

REQUIREMENTS (32 spaces)

(1) canopy tree, 4" cal. per 10 parking spaces

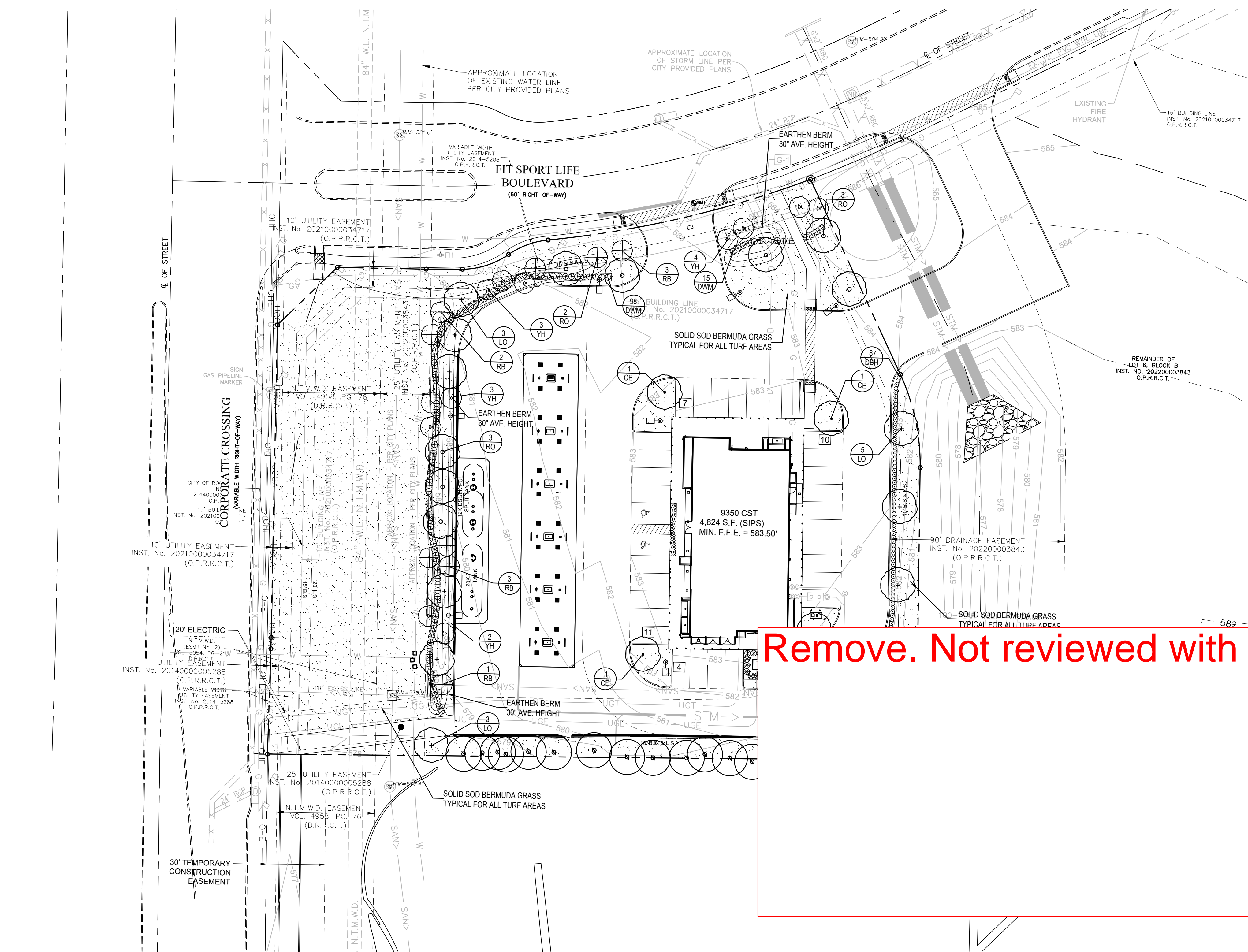
Required	Provided
(5) canopy trees	(10) accent trees
(10) accent trees	30" ht. berm
30" ht. berm	30" ht. evergreen shrubs

Required	Provided
(8) canopy trees	(11) accent trees
(11) accent trees	30" ht. berm
30" ht. berm	30" ht. evergreen shrubs

Required	Provided
(4) canopy trees	(4) canopy trees

AREAS WILL BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE CITY OF ROCKWALL UCS

Remove. Not reviewed with Plat.



LINE NO.	BEARING	DISTANCE
L1	N 44°45'06" E	42.43'
L2	N 89°45'06" E	45.46'
L3	N 62°39'05" E	208.73'
L4	S 30°31'32" E	471.96'
L5	S 89°10'38" W	410.08'
L6	S 89°10'38" W	331.30'
L7	N 00°28'18" E	53.84'
L8	N 00°17'15" W	5.72'
L9	N 00°14'54" W	159.68'
L10	S 00°36'39" E	149.65'
L11	S 26°06'50" E	109.77'

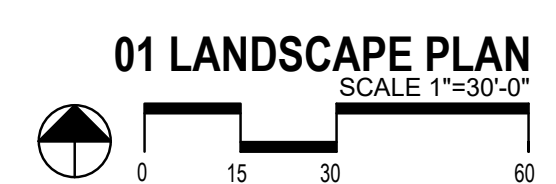
CURVE NO.	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	542.50'	18.48'	1°57'07"	N 88°46'32" E	18.48'
C2	42.50'	25.17'	33°55'38"	N 70°50'15" E	24.80'
C3	42.50'	21.64'	29°10'40"	N 68°27'40" E	21.41'
C4	530'	137.98'	14°55'00"	N 75°35'16" E	137.59'
C5	530'	50.67'	5°28'40"	N 65°23'28" E	50.65'
C6	110'	48.96'	25°30'11"	S 13°21'44" E	48.56'

SITE DATA SUMMARY TABLE	
SITE ACREAGE:	1.95 AC (84,939 S.F.)
ZONING:	C-COMMERCIAL W/ I-30 OVERLAY DISTRICT
PROPOSED USE:	FUELING STATION W/ CONVENIENCE STORE
BUILDING AREA:	4,883 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	26'-8"
BUILDING COVERAGE:	5.75%
FLOOR AREA RATIO:	0.06
IMPERVIOUS AREA:	48,947 S.F. (57.63%)
PERVIOUS/LANDSCAPE AREA:	35,992 S.F. (42.37%)
REGULAR PARKING REQUIRED:	20 SPACES
1 SP PER 250 S.F.	
REGULAR PARKING PROVIDED:	30 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (2 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	32 SPACES

PLANT MATERIAL SCHEDULE

TREES	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	4	Cedar Elm	<i>Ulmus crassifolia</i>		4" cal.	B&B, 12" ht., 5' spread, 6' clear straight trunk
LO	11	Live Oak	<i>Quercus laevis</i>		4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
RO	8	Red Oak	<i>Quercus shumardii</i>		4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
YH	12	Yaupon Holly	<i>Ilex vomitoria</i>		2" cal.	container, 8" ht., 4' spread, tree form
RB	9	Red Bud	<i>Cercis canadensis</i>		2" cal.	container, 8" ht., 4' spread, tree form
SHRUBS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DBH	86	Dwarf Burford Holly	<i>Ilex cornuta nana</i>		7 gal.	container, 36" ht., 30" spread
DWM	112	Dwarf Wax Myrtle	<i>Myrica pusilla</i>		7 gal.	container, 36" ht., 30" spread
NRS	31	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>		7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
			'419' Bermudagrass	<i>Cynodon dactylon '419'</i>		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



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7-ELEVEN AT CORPORATE CROSSING
 FIT SPORT LIFE BLVD. / CORPORATE CROSSING
 ROCKWALL, TEXAS

ISSUE:
FOR APPROVAL 03.14.2024
CITY COMMENTS 04.03.2024
CITY COMMENTS 07.25.2024

DATE:
07.25.2024

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

L.2
CASE NO:
SP2024-015



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04.01.2024

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- Texas Association of Nurserymen, Grades and Standards.
- Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- General Contractor to complete the following punch list. Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. Guarantee:

- Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:

- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
- Landscape Architect will provide a key identifying each tree location on plan. Written verification will be required to document material selection, source and delivery schedules to site.
- Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
- Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
- Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Damaged material in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grow Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
- Deliver only plant materials that can be planted in one day under adequate storage and watering facilities are available on job site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
- Remove rejected plant material immediately from site.
- To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: FertiLid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- Staking Material for Shade Trees:
 - Post: Studed T-Post, #1 Armo with anchor plate, 6'-0" length, paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Miraf 140N by Celanese Fibers Marketing Company, available at Lofland Co., (214) 631-5250 or approved equal.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

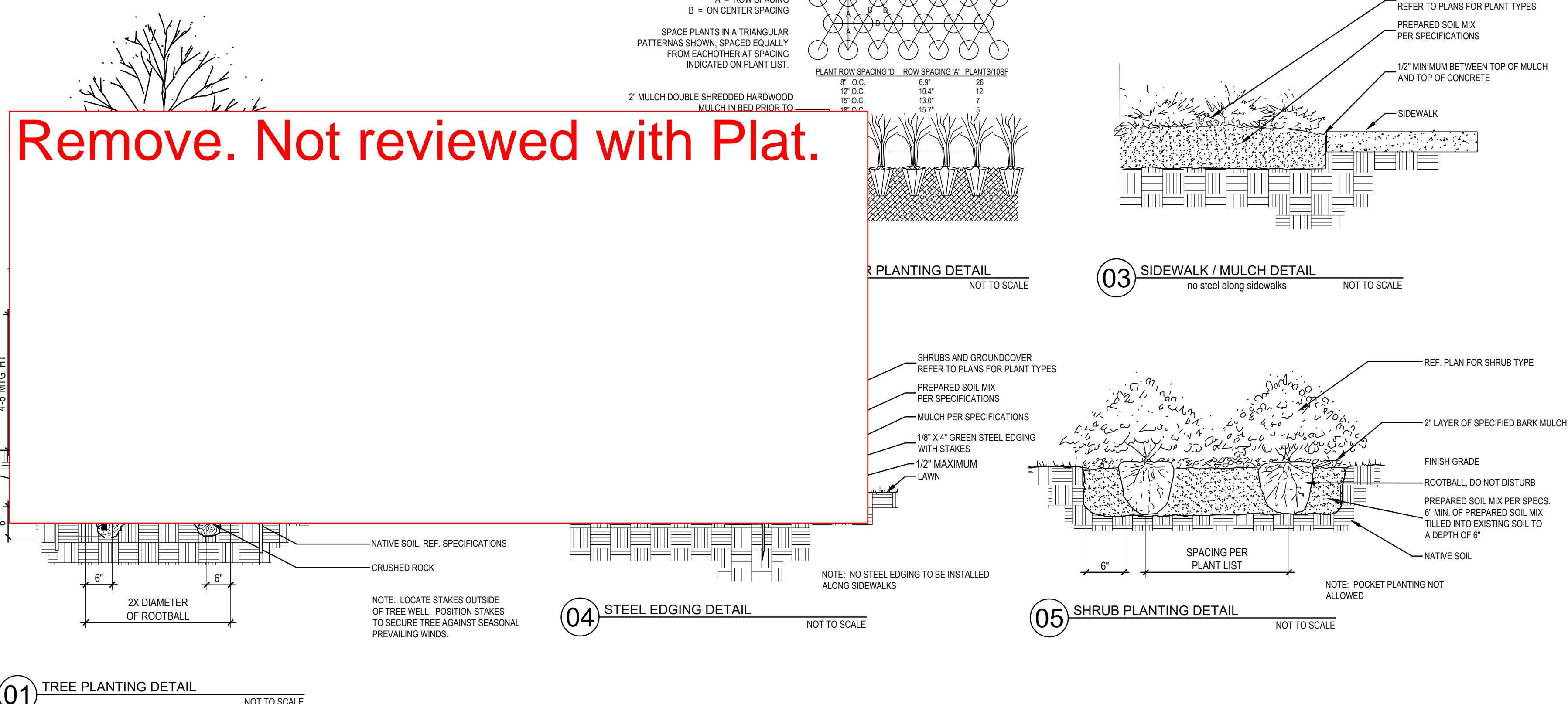
3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

3.3 CLEANUP AND ACCEPTANCE

- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

END OF SECTION



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ISSUE:
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04.01.2024

SHEET NAME:
LANDSCAPE SPECIFICATIONS

SHEET NUMBER:
L.3

CASE NO:
SP2024-015



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *[Signature]*
CITY ENGINEER: *[Signature]*

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1200 Corporate Crossing

SUBDIVISION FIT SPORT LIFE ADDITION

LOT 6R BLOCK B

GENERAL LOCATION SEC Corporate Crossing and Fit Sport Life Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C-Commercial

CURRENT USE Vacant Lot

PROPOSED ZONING N/A

PROPOSED USE Fueling Station w/ C-Store

ACREAGE 1.95

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER STRUCTURED REA-ROCKWALL LAND LLC

APPLICANT Triangle Engineering

CONTACT PERSON Shane Keilty

CONTACT PERSON Kartavya (Kevin) Patel

ADDRESS 3104 E. Camelback Road #2387

ADDRESS 1782 W. McDermott Dr.

CITY, STATE & ZIP Phoenix, AZ 85016

CITY, STATE & ZIP Allen, TX 75013

PHONE 480.856.8808

PHONE 469.331.8566

E-MAIL conork@structuredrea.com

E-MAIL kpatel@triangle-engr.com

NOTARY VERIFICATION [REQUIRED]

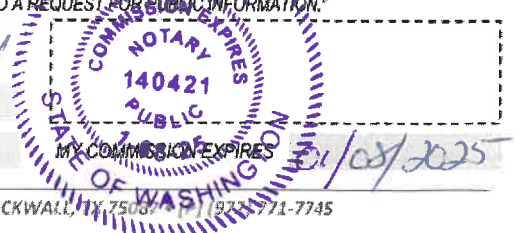
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shane Keilty [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

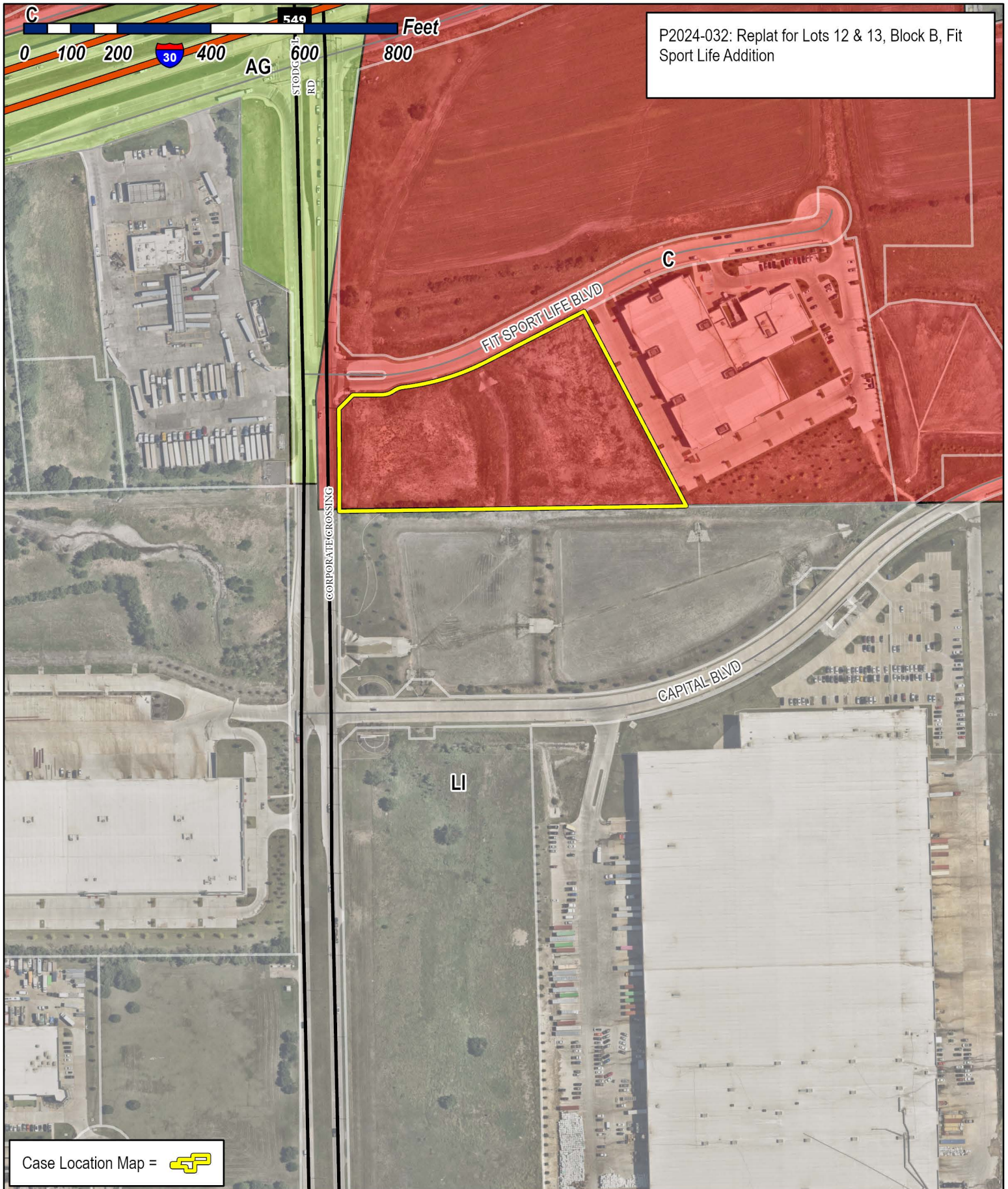
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. CITY) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF Sept, 2024


OWNER'S SIGNATURE *[Signature]*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS *[Signature]*





P2024-032: Replat for Lots 12 & 13, Block B, Fit Sport Life Addition

Case Location Map = 

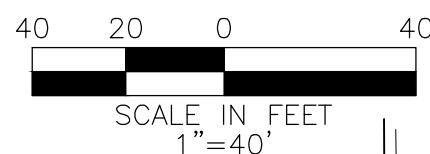


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

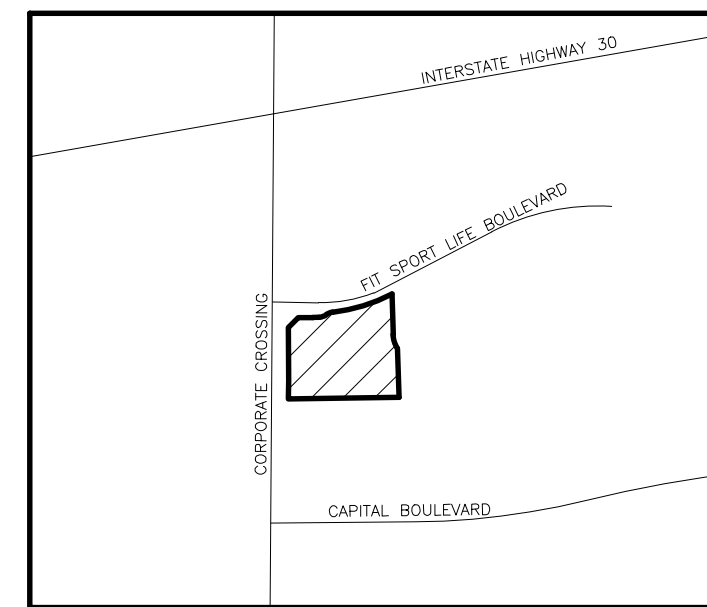
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



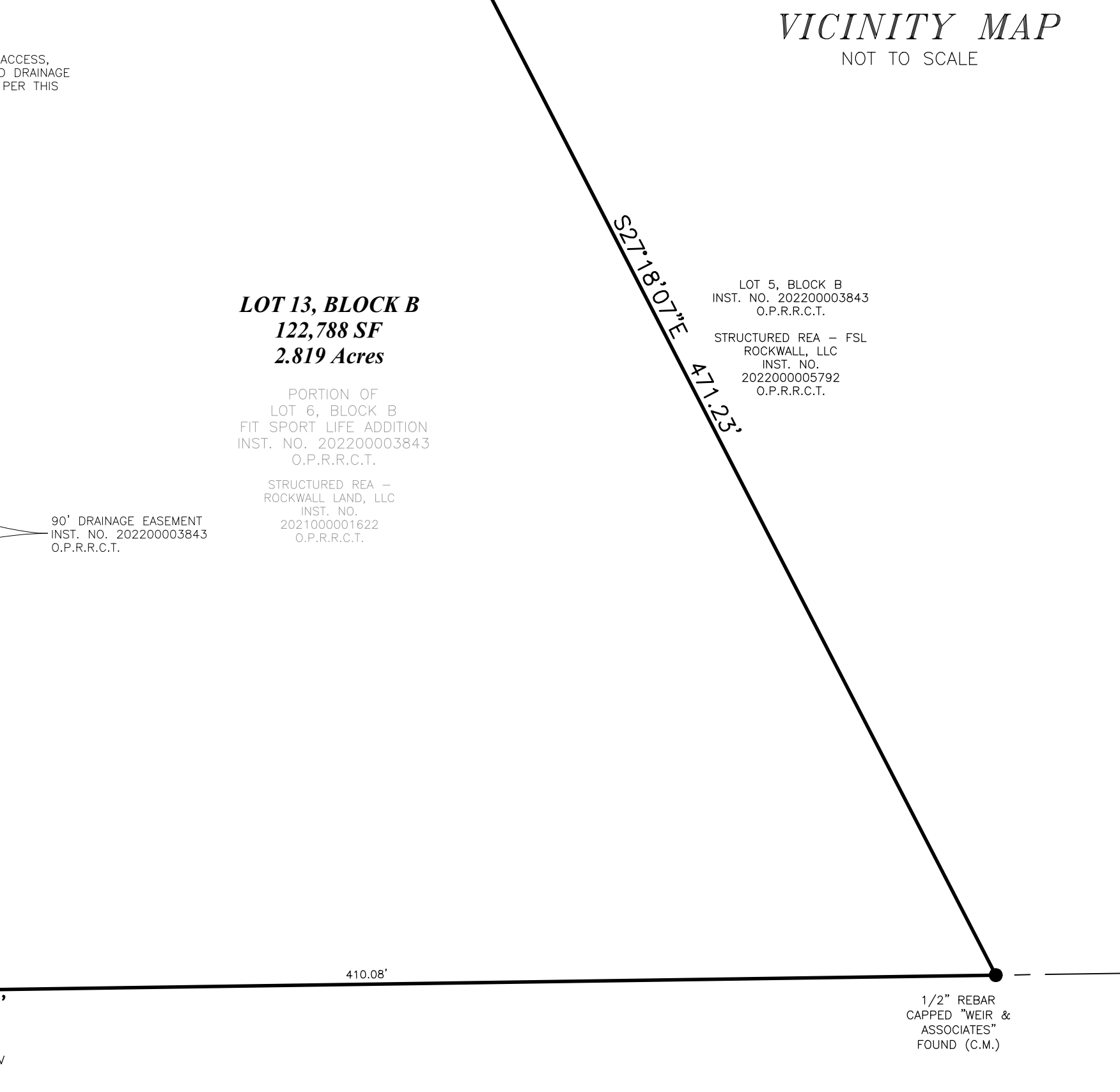
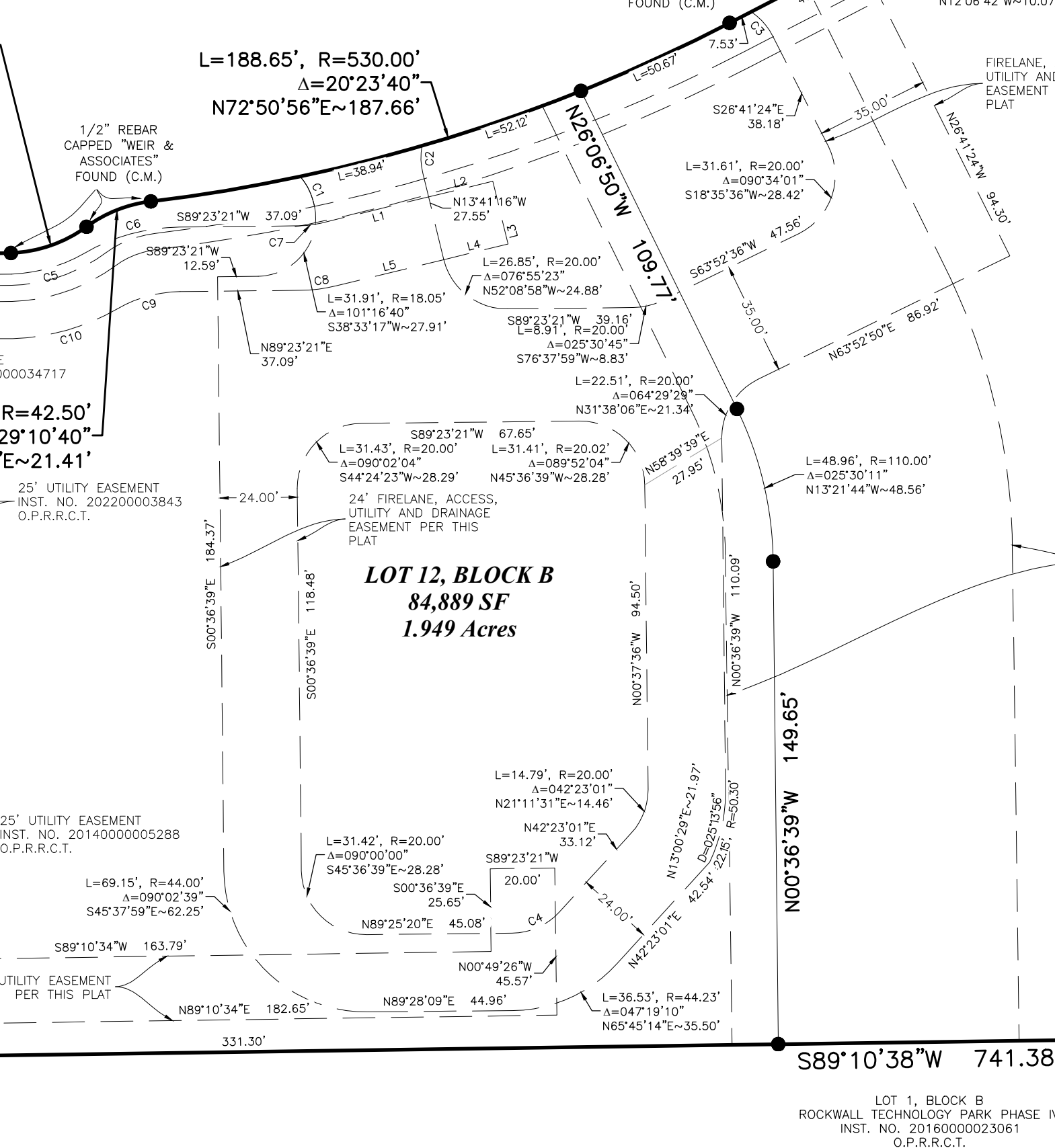
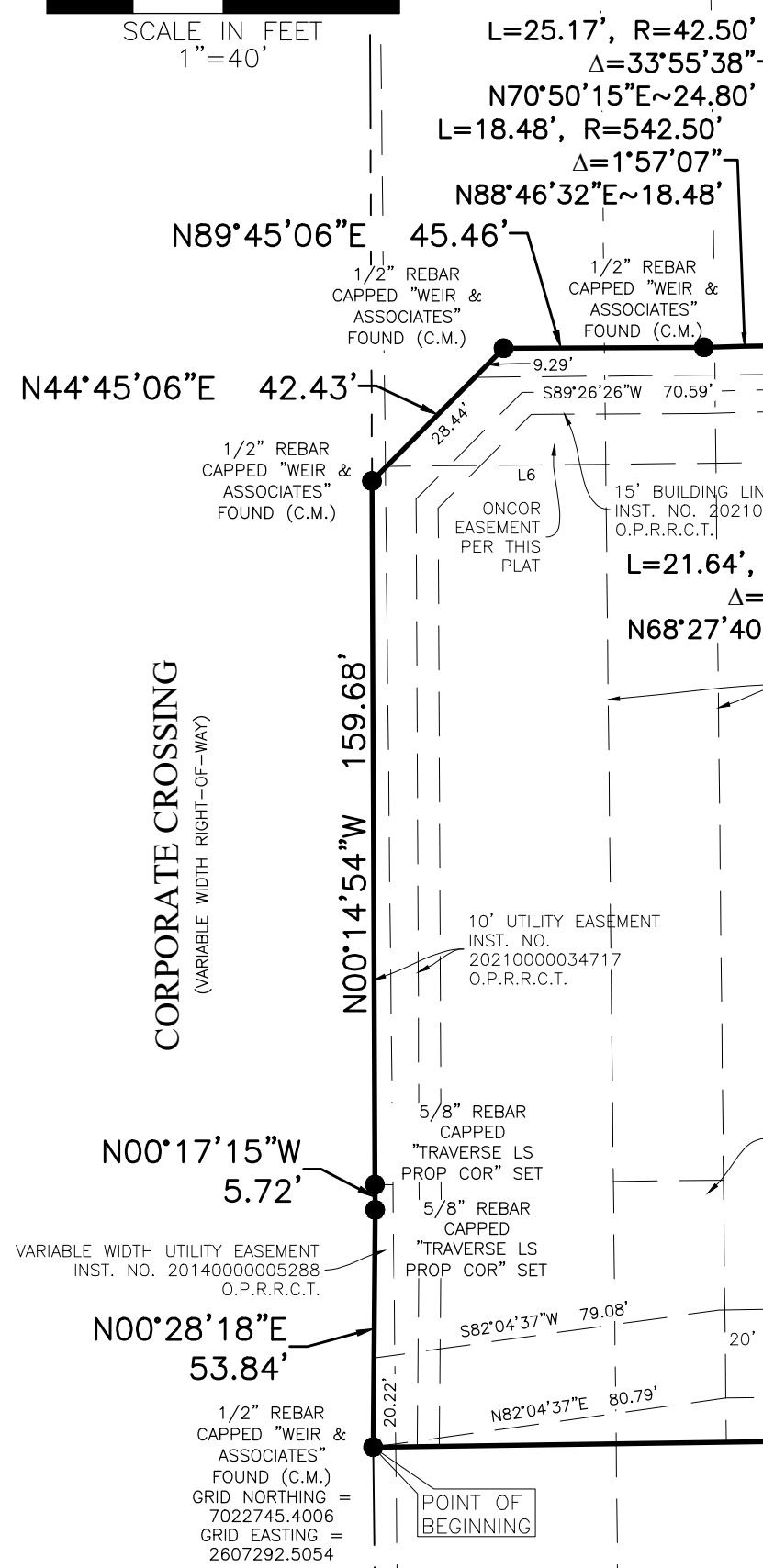


GENERAL NOTES

1. The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Allterra RTK Network and adjusted to surface using a scale factor of 1.000146135.
2. Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
3. The purpose of this plat is to create two recorded lots out of a previously recorded lot.
4. Property Owner is responsible for maintenance, repair and replacement of all drainage systems in easements on the property.



VICINITY MAP
NOT TO SCALE



Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	10.20'	20.00'	029°12'42"	S25°42'11"E	10.09'
C2	8.56'	20.00'	024°31'44"	N01°25'24"W	8.50'
C3	10.31'	20.00'	029°32'28"	S41°27'38"E	10.20'
C4	16.44'	20.00'	047°05'08"	N65°55'35"E	15.98'
C5	23.91'	49.00'	027°57'14"	S73°59'10"W	23.67'
C6	30.77'	60.00'	029°22'48"	S74°41'57"W	30.43'
C7	6.85'	30.00'	013°04'37"	S82°51'02"W	6.83'
C8	11.41'	50.00'	013°04'37"	N82°51'02"E	11.39'
C9	20.51'	40.00'	029°22'48"	N74°41'57"E	20.29'
C10	33.94'	69.00'	028°11'11"	N74°06'08"E	33.60'

Line #	Distance	Bearing
L1	34.75'	S76°18'44"W
L2	20.00'	S76°18'44"W
L3	20.00'	N13°41'16"W
L4	20.00'	N76°18'44"E
L5	34.75'	N76°18'44"E
L6	91.04'	N89°26'26"E

OWNER/DEVELOPER
Structured REA - Rockwall Land, LLC
171 N Aberdeen Street, Suite 400
Chicago, Illinois 60607

ENGINEER
Triangle Engineering
1782 W McDermott Drive
Allen, Texas 75013



14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting
Date: 2024.04.30 Project No.: TR-101-24

REPLAT
LOT 12 AND 13,
BLOCK B
FIT SPORT LIFE
ADDITION

BEING A REPLAT OF LOT 6, BLOCK B OF FIT SPORT LIFE ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, AS RECORDED IN INST. NO. 202200003843, P.R.R.C.T. BEING 4.768 ACRES SITUATED IN THE ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

APRIL 2024

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS Structured REA-Rockwall Land, LLC is the owner of a 4.768 acre tract of land within the Robert Boyd Irvine Survey, Abstract Number 120, being all of Lot 6, Block B of Fit Sport Life Addition, an addition to the City of Rockwall, as recorded in Instrument Number 202200003843, Plat Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch rebar capped "WEIR ASSOCIATES" found for the northwest corner of Lot 1, Block B of Rockwall Technology Park Phase IV, an addition to the City of Rockwall, as recorded in Instrument Number 2016000023061, Official Public Records, Rockwall County, Texas and lying on the east right-of-way line of Corporate Crossing (Variable Width right-of-way);

THENCE North 00 degrees 28 minutes 18 seconds East, with the east right-of-way line of said Corporate Crossing, a distance of 53.84 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner;

THENCE North 00 degrees 17 minutes 15 seconds West, with the east right-of-way line of said Corporate Crossing, a distance of 5.72 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner;

THENCE North 00 degrees 14 minutes 54 seconds West, with the east right-of-way line of said Corporate Crossing, a distance of 159.68 feet to a 1/2 inch rebar capped "WEIR & ASSOCIATES" found for corner, said corner being at the southwest corner of the intersection of the east right-of-way line of said Corporate Crossing and the south right-of-way line of Fit Sport Life Boulevard (60 foot right-of-way);

THENCE North 44 degrees 45 minutes 06 seconds East, with said intersection, a distance of 42.43 feet to a 1/2 inch rebar found for corner;

THENCE North 89 degrees 45 minutes 06 seconds East, with the south right-of-way line of said Fit Sport Life Boulevard, a distance of 45.46 feet to a 1/2 inch rebar capped "WEIR & ASSOCIATES" found for corner and being the beginning of a curve to the right with a radius of 542.50 feet, a central angle of 01 degrees 57 minutes 07 seconds and a chord bearing and distance of North 88 degrees 46 minutes 32 seconds East, a distance of 18.48 feet;

THENCE with said curve to the right, with the south right-of-way line of said Fit Sport Life Boulevard, an arc length of 18.48 feet to a 1/2 inch rebar capped "WEIR & ASSOC" found for corner and being the beginning of a curve to the left with a radius of 42.50 feet, a central angle of 33 degrees 55 minutes 38 seconds and a chord bearing and distance of North 70 degrees 50 minutes 15 seconds East, a distance of 24.80 feet;

THENCE with said curve to the left, with the south right-of-way line of said Fit Sport Life Boulevard, an arc length of 25.17 feet to a 1/2 inch rebar capped "WEIR & ASSOC" found for corner and being the beginning of a curve to the right with a radius of 42.50 feet, a central angle of 29 degrees 10 minutes 40 seconds and a chord bearing and distance of North 68 degrees 27 minutes 40 seconds East, a distance of 21.41 feet;

THENCE with said curve to the right, with the south right-of-way line of said Fit Sport Life Boulevard, an arc length of 21.64 feet to a 1/2 inch rebar capped "WEIR & ASSOC" found for corner and being the beginning of a curve to the left with a radius of 530.00 feet, a central angle of 20 degrees 23 minutes 40 seconds and a chord bearing and distance of North 72 degrees 50 minutes 56 seconds East, a distance of 187.66 feet;

THENCE with said curve to the left, with the south right-of-way line of said Fit Sport Life Boulevard, an arc length of 188.65 feet to a 1/2 inch rebar capped "WEIR & ASSOC" found for corner;

THENCE North 62 degrees 39 minutes 05 seconds East, with the south right-of-way line of said Fit Sport Life Boulevard, a distance of 235.27 feet to a 1/2 inch rebar capped "WEIR & ASSOC" found for the northwest corner of Lot 5, Block B of said Fit Sport Life Addition, same being the northeast corner of said Lot 6;

THENCE South 27 degrees 18 minutes 07 seconds East, departing the south right-of-way line of said Fit Sport Life Boulevard, with the west line of said Lot 5, a distance of 471.23 feet to a 1/2 inch rebar capped "WEIR & ASSOC" found for the southwest corner of said Lot 5, same being the southeast corner of said Lot 6 and lying on the north line of said Lot 1;

THENCE South 89 degrees 10 minutes 38 seconds West, with the north line of said Lot 1, a distance of 741.38 feet to THE POINT OF BEGINNING and containing 207,677 square feet or 4.768 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the Fit Sport Life Addition subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the Fit Sport Life Addition subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or
Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, David F. McCullah, do hereby certify that i prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision.

David F. McCullah
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4023

DATE: _____

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared David F. McCullah, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

Given under my hand and seal of office this _____ day of _____, 202__

Notary Public in and for the State of Texas

Witness, my hand at _____, _____
This ____ day of _____, 20____.

Signature – Structured REA – Rockwall Land, LLC Representative

Printed Name

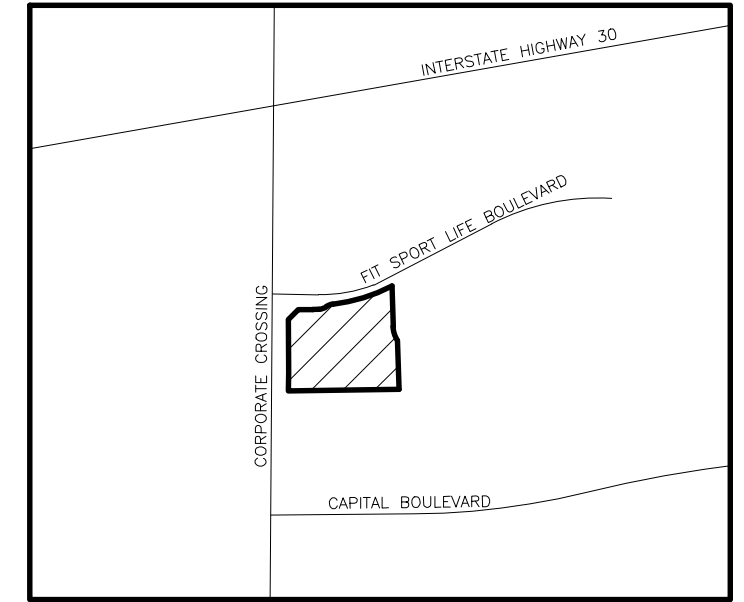
Title / Date

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____day of _____ 20____.

Notary Public in and for the State of Texas



VICINITY MAP
NOT TO SCALE

CERTIFICATE OF APPROVAL:

Approved:

I hereby certify that the above and foregoing subdivision plat, was reviewed by the Planning and Zoning Commission and approved by the City Council of the City of Rockwall, Texas for the preparation of a Final Plat on the _____ day of _____, 20____.

Mayor, City of Rockwall

Planning and Zoning Commission Chariman

City Engineer

City Secretary

REPLAT
LOT 12 AND 13,
BLOCK B
FIT SPORT LIFE
ADDITION

BEING A REPLAT OF LOT 6, BLOCK B OF
FIT SPORT LIFE ADDITION, AN ADDITION TO THE
CITY OF ROCKWALL, AS RECORDED IN
INST. NO. 202200003843, P.R.R.C.T.
BEING 4.624 ACRES SITUATED IN THE
ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
APRIL 2024

2 of 2

OWNER/DEVELOPER
Strutured REA - Rockwall Land, LLC
171 N Aberdeen Street, Suite 400
Chicago, Illinois 60607

ENGINEER
Triangle Engineering
1782 W McDermott Drive
Allen, Texas 75013



14200 Midway Road, Suite 130, Dallas, TX 75244 | T: 469.784.9321
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting

Date: 2024.04.30

Project No.: TR-101-24



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: September 24, 2024
SUBJECT: Z2024-035; Zoning Change (C to PD) for Rockwall Heights

On September 16, 2024, the City Council approved a motion to remand *Case No. Z2024-035* back to the Planning and Zoning Commission by a vote of 5-0, with Mayor Johannesen and Councilmember Campbell absent. This motion came in response to changes that the applicant proposed between the Planning and Zoning Commission and the City Council meetings. Specifically, the applicant amended the proposed *Concept Plan* and Planned Development District ordinance to make the following changes:

- (1) The lot mix in *Subdistrict D* was changed from 25 *Townhomes* and 225 *Low-Rise Residential Community Dwelling Units* to 115 *Townhomes* and 120 *Low-Rise Residential Community Dwelling Units*. This represents a 90 unit increase in the number of *Townhomes* and a 105 unit decrease in the number of *Low-Rise Residential Community Dwelling Units*, which translates to a total decrease in the number of dwelling units in *Subdistrict D* of 15 units (*i.e. from 250 units to 235 units*). For the overall development this lowers the number of units from 500 to 485 and decreases the density from 7.41 dwelling units per gross acre to 7.19 units per gross acre.
- (2) The applicant changed the *Concept Plan* for *Subdistrict B* to incorporate a central green/open space. Based on the new *Concept Plan*, this central green/open space will incorporate restaurants around the green/open space and a stage area. Staff has changed the Planned Development District ordinance to require this as part of the required PD Development Plan.
- (3) The applicant has incorporated language into the Planned Development District ordinance that would stipulate that the proposed residential units in *Subdistrict C* could not receive a permit to go vertical until a minimum of 140,000 SF of non-residential building area has commenced in *Subdistrict B*. This ensures that a portion of *Subdistrict B* will be constructed prior to the residential units being allowed to be constructed.
- (4) The applicant included language in the Planned Development District ordinance that defines the *Gateway/Entry Portal Sign* as a flag that will stand a maximum of 190-feet in height or as otherwise approved by the City Council through the PD Development Plan. Staff included the language, allowing the City Council to vary the height -- *in the event the case is approved* -- to allow for the City to perform a study of the existing flag at the western entry portal to ensure that the flag pole heights are the same.
- (5) Additional trails were delineated throughout the development to increase connectivity between the land uses. Specifically, these trails were added in *Subdistricts B & D*.
- (6) The applicant has changed the sign standards for *Subdistrict A* to achieve the following: [1] reduce the number of 700 SF digital signs allowed on the building from two (2) to one (1), [2] remove the *Parking Memorizer Signs*, [3] reduce the number of *Promotional Message Signs* from 14 to 12, and [4] reduce the number of *Traffic Signs*. The applicant has also provided a *Sign Plan* that shows where the signs will be located, and provided exhibits showing the proposed signage. This not only provides a clearer image of the proposed signage, but also brings the sign requirements closer to conformance with Chapter 32, *Signs*, of the Municipal Code of Ordinances.

Per the applicant, these changes were proposed in response to comments and concerns raised by the Planning and Zoning Commission at the September 10, 2024 meeting. In response to the City Council's action, staff has revised the case memo and Planned Development District ordinance to reflect these changes. Should the Planning and Zoning Commission have any questions, staff and the applicant will be available at the September 24, 2024 Planning and Zoning Commission meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 10, 2024
APPLICANT: Bill S. Dahlstrom; *Jackson Walker, LLP*
CASE NUMBER: Z2024-035; *Zoning Change (C to PD) for Rockwall Heights*

SUMMARY

Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on December 3, 1985 by *Ordinance No. 85-69 [Case No. A1985-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the December 7, 1993 *Zoning Map*, a portion of the subject property was zoned Highway Commercial (HC) District at some point between annexation and December 6, 1993. This designation was later changed to a Light Industrial (LI) District between December 8, 1993 and April 5, 2005 according to the City's *Historic Zoning Maps*. On January 6, 2020, the City Council approved *Case No. P2019-048 (filed on April 9, 2021)* establishing the subject property as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition. On October 2, 2023, the City Council adopted *Ordinance No. 23-56 [Case No. Z2023-041]* changing the zoning of the subject property from an Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District. The subject property has remained vacant since annexation.

PURPOSE

On August 16, 2024, the applicant -- *Bill Dahlstrom of Jackson Walker, LLP* -- submitted a development application requesting to change the zoning of the subject property from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses. Specifically, the applicant is requesting the approval of a *Concept Plan* that shows the subject property being zoned to allow: [1] a *Large Format Retailer*, [2] an *Urban Residential style Condominium Building*, [3] a *Low-Rise Residential Community and Townhome Development*, and [4] a *Regional Shopping Center*.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of Stodghill Road (*i.e. FM-3549*) and the IH-30 Westbound Frontage Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 36.56-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Commercial Addition*) zoned Agricultural (AG) District. North of this parcel is a 120-foot railroad right-of-way, which is owned by the *M. K. & T. Railroad*. Beyond this are 11 tracts of land (*i.e. Tracts 1, 11, 13, 15, 22, 24, 25, 25-01, 25-2, 30, & 31 of the E. M. Elliott Survey, Abstract No. 77*) that are zoned Agricultural (AG) District and Single-Family Estate 1.5 (SFE-1.5) District. Eight (8) of these properties have existing single-family homes situated on them. Beyond this is Airport

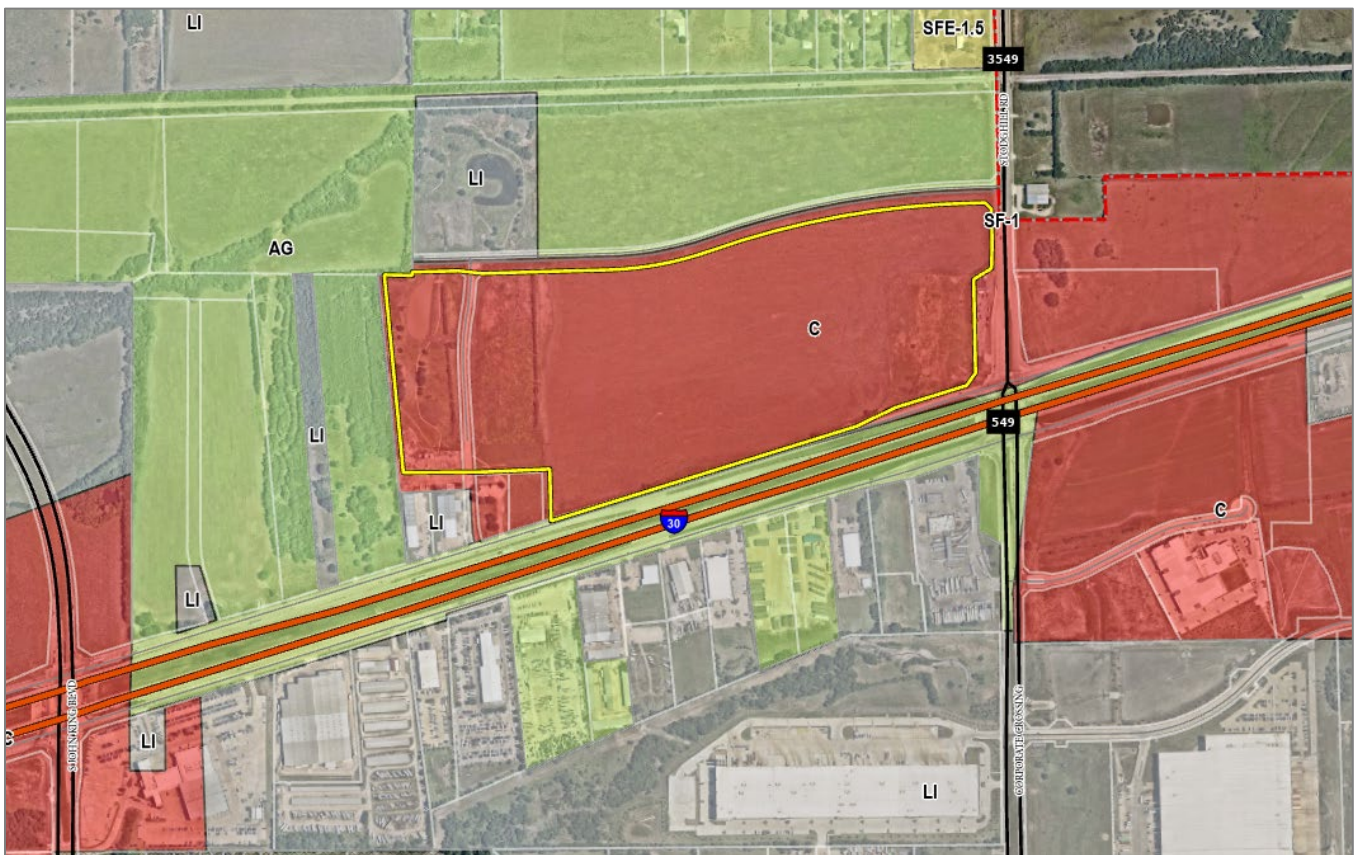
Road, which is designated as a M4U (*i.e. major collector, four [4] Lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are two (2) tracts of land (*i.e. a portion of Lot 1, Block C, Rockwall Commercial Park Addition and Tract 5-1 of the J. Lockhart Survey, Abstract No. 134*) that are zoned Light Industrial (LI) District. Both of these properties have existing industrial buildings situated on them. Beyond this is the westbound lanes of the IH-30 Frontage Road, followed by the main lanes of IH-30, and the eastbound lanes of the IH-30 Frontage Road.

East: Directly east of the subject property is Stodghill Road, which is identified as an A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant tracts of land (*i.e. Tracts 10 & 10-3 of the R. Irvine Survey, Abstract No. 120*) zoned Commercial (C) District. East of this are the City limits between the City of Rockwall and the City of Fate and the City of Mobile City.

West: Directly west of the subject property are multiple vacant parcels of land zoned Agricultural (AG) District, Light Industrial (LI) District, and Commercial (C) District. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a *Concept Plan* showing that the subject property will be subdivided into four (4) subdistricts (*i.e. Subdistricts 'A', 'B', 'C', & 'D'*) [see Figure 1: Phasing Plan]. Subdistrict 'A' will be 18.70-acres, and consist of [1] a regional detention pond, and [2] a *Large Format Retailer* (*i.e. IKEA*). Subdistrict 'B' will consist of 33.215-acres and will be designated for a future *Regional Shopping Center*. Subdistrict 'C' will consist of a 250-unit *Urban Residential* style *Condominium Building* on 4.64-acres, which will be constructed as a wrap product with a structure parking garage (*i.e. the proposed multi-family units*

will wrap around the parking garage, which will be situated at the center of the building). Subdistrict 'D' will consist of 10.92-acres and incorporate [1] a 120-unit Low-Rise Residential Community, and [2] a 115-unit townhome development. According to the Phasing Plan submitted by the applicant, the Large Format Retailer will be constructed with Phase 1, followed by the Low-Rise Residential Community with Phase 2, followed by the Urban Residential style Condominium Building in Phase 3, and finally the Regional Shopping Center in Phase 4. Based on the development standards submitted by the applicant, all of the subdistricts will be subject to limited Commercial (C) District land uses, and -- unless otherwise stated in the Planned Development District ordinance -- the density and dimensional requirements of the Commercial (C) District. In addition, staff has incorporated language that would require the proposed developments to meet the General Overlay District Standards as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC). The following is a breakdown of the specific standards for each of the proposed subdistricts:

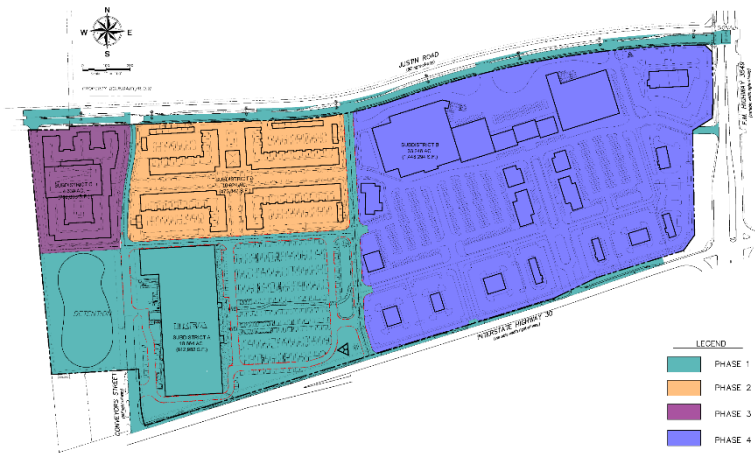


FIGURE 1: PHASING PLAN

Subdistrict 'A'.

As previously stated, Subdistrict 'A' will incorporate a ~3.471-acre detention pond and a Large Format Retailer (i.e. IKEA). The proposed Subdistrict Concept Plan shows that the proposed Large Format Retailer will have a building footprint of ~161,069 SF and a parking field that will consist of 650 parking spaces. The parking ratio used for the proposed Large Format Retailer was one (1) parking space per 250 SF of building area, which translates to a minimum parking requirement of 645 parking spaces. Based on this they are showing a parking surplus of five (5) parking spaces. Along with the Subdistrict Concept Plan, the applicant has provided building elevations for the proposed Large Format Retailer that show that the proposed building will be ~43½-feet in total height and be designed to be consistent with the proposed company's corporate branding (see Figure 2). Staff has limited the land uses permitted within Subdistrict 'A' in the Planned Development District ordinance to prohibit all the land uses allowed in the Commercial (C) District that are inconsistent with the intent of the proposed Concept Plan. Additionally, Subdistrict 'A' shall be required to meet all of the density and dimensional requirements required for a property in a Commercial (C) District as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC), and which are summarized in Table 1 below.



FIGURE 2: RENDERING OF LARGE FORMAT RETAILER

TABLE 1. SUBDISTRICT 'A' DENSITY AND DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	25'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

Staff should also point out, that the proposed Planned Development District ordinance ties down the *Subdistrict Concept Plan*, building elevations, and sign plan. This means that -- *if this zoning case is approved* -- the applicant would be able to submit a site plan and will not need to submit a PD Development Plan.

Subdistrict 'B'.

Subdistrict 'B' will consist of a future *Regional Shopping Center* that will be situated on a 33.215-acre portion of the subject property. While a *Concept Plan* for this subdistrict has been provided, the applicant has stated that this development could change depending on the retailers, restaurants, and entertainment land uses that are recruited for the *Regional Shopping Center*. Based on this staff is requiring a PD Development Plan prior to the submission of a site plan. A PD Development Plan constitutes an amendment to the approved *Concept Plan* in a Planned Development District ordinance and may be used where the developer requests -- *or the City Council requires* -- certain standards to be specified after the initial establishment of the Planned Development District. In short, a PD Development Plan allows the developer the flexibility to make changes to the approved *Concept Plan* and the City Council the discretion to approve these changes. Regardless of this requirement any development in *Subdistrict 'B'* will be subject to the density and dimensional requirements required for a property in a Commercial (C) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 2* below.



FIGURE 3: CONCEPT PLAN FOR SUBDISTRICT 'B'

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK (1)	25'
MINIMUM SIDE YARD SETBACK (2)	10'
MINIMUM REAR YARD SETBACK (2)	10'
MINIMUM BETWEEN BUILDINGS (2)	15'
MAXIMUM BUILDING HEIGHT (3)	60'
MAXIMUM LOT COVERAGE (4)	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT ADJACENT TO A RIGHT-OF-WAY.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

Subdistrict 'B' will also be subject to the land uses stipulated for the Commercial (C) District as required by Article 04, *Permissible Uses*, of the Unified Development Code (UDC); however, staff has limited these land uses to prohibit all the land uses allowed in the Commercial (C) District that are inconsistent with the intent of the proposed *Concept Plan*. Staff should point out that the applicant has placed a condition on *Subdistrict C & D*, that states that these subdistricts cannot receive a permit for vertical construction until a minimum of 140,000 SF of non-residential building area have commenced construction in *Subdistrict B*.

Subdistrict 'C'

Subdistrict 'C' consist of a 250-unit *Urban Residential style Condominium Building* on 4.64-acres of land. Based on the number of units proposed, the residential density for this subdistrict will be 53.879 dwelling units per acre; however, the overall project will have a gross density of 7.19 dwelling units per acre as calculated by the requirements of the Unified Development Code (UDC). The proposed *Condominium Building* will be four (4) stories in total height -- with a clock tower element extending above the four stories --, and be designed as traditional wrap product, (i.e. where the four [4] stories of living units will wrap around a structured parking garage, which will be set in the center of the development). Based on the



FIGURE 4: RENDERING OF THE CONDOMINIUM BUILDING

building elevations provided by the applicant, the proposed structured parking garage will be visible along the western building façade, and only have limited visibility from Justin Road. The parking count proposed for the 250-units is 1½ parking spaces per dwelling unit, which equates to a total parking requirement of 375 parking spaces; however, the applicant has indicated that the proposed garage will incorporate a total of 379 parking spaces in the structured parking garage and an additional eight (8) parallel parking spaces for a surplus of 12 parking spaces (i.e. a total of 387 parking spaces provided). Furthermore, the building elevations show conformance to the material requirements of the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). In addition, *Subdistrict 'C'* will be subject to the density and dimensional requirements required for a property in a Commercial (C) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 3* below.

TABLE 3: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK (1)	15'
MINIMUM SIDE YARD SETBACK (2)	10'
MINIMUM REAR YARD SETBACK (2)	10'
MINIMUM BETWEEN BUILDINGS (2)	15'
MAXIMUM BUILDING HEIGHT (3)	75'
MAXIMUM LOT COVERAGE (4)	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT ADJACENT TO A RIGHT-OF-WAY.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

Staff should note, that the land uses for *Subdistrict 'C'* have been limited to only allow an *Urban Residential style Condominium Building, Home Occupation*, and any accessory land uses (i.e. *gym, pool, playground, etc.*). With regard to the proposed *Condominium Building*, staff has required that each unit be individually metered and deeded; however, -- as has been discussed with other similar projects in the Harbor District -- this does not preclude a single property owner from owning all of the deeds

for the *Condominium Building*. Finally, staff should note that the applicant has provided the *Concept Plan* and building elevations for this subdistrict, and -- based on the *Planned Development District ordinance*, if this zoning case is approved -- this development will not require a PD Development Plan and will be able to move to the site plan phase of the development process.

Subdistrict 'D'.

Subdistrict 'D' will consist of a 120-unit *Low-Rise Residential Community* and a 115-unit townhome development on 10.92-acres. Based on the number of units proposed, the residential density for this subdistrict will be 21.52 dwelling units per acre; however, the overall project will have a gross density of 7.19 dwelling units per acre as calculated by the requirements of the Unified Development Code (UDC). The proposed *Low-Rise Residential Community* will consist of two (2) buildings that will front towards a narrowed, pedestrian scale street. Each of the buildings will be designed to have an 'L' shape to facilitate screening of the proposed surface parking lots. These buildings will also have garages incorporated into these areas that will service the *Low-Rise Residential Community*. The proposed



FIGURE 5: RENDERING OF THE LOW-RISE MULTI-FAMILY COMMUNITY AND AMENITY CENTER

115 townhomes will be situated adjacent to Justin Road, along the eastern and western boundaries of the *Low-Rise Residential Community*, and in between *Subdistrict A* and the *Low-Rise Residential Community* on the southside of the subdistrict. These will have direct access from the street and have garages constructed into the units. The parking count proposed for all 235-units is 1½ parking spaces per unit, which would equate to a total parking requirement of 353 parking spaces; however, in this subdistrict the applicant is proposing 203 surface parking spaces, 172 garage parking spaces, 40 single car garages incorporated into the *Low-Rise Residential Community* buildings, and 20 parallel parking spaces. This is a total of 435 parking spaces or a surplus of 82 parking spaces. Staff should note that based on these numbers, 65.95% of all units in this subdistrict will have garages. Furthermore, the building elevations show conformance to the material requirements of the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). In addition, *Subdistrict 'D'* will be subject to the density and dimensional requirements required for a property in a Commercial (C) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 4* below.

TABLE 4: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ^{(1) & (5)}	10'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT ADJACENT TO A RIGHT-OF-WAY.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.
- 5: AWNINGS, PATIOS, STOOPS, OR SIMILAR RESIDENTIAL ENTRY FEATURES (AS DETERMINED BY THE DIRECTOR OF PLANNING AND ZONING) MAY EXTEND A MAXIMUM OF FIVE (5) FEET INTO THE FRONT YARD BUILDING SETBACK AND REQUIRED TEN (10) FOOT LANDSCAPE BUFFER ALONG JUSTIN ROAD.

As with *Subdistrict 'C'*, staff has limited the permitted land uses for *Subdistrict 'D'* to only allow a *Low-Rise Residential Community, Townhomes, Home Occupation*, and any accessory land uses (i.e. *gym, pool, playground, etc.*). With regard to the proposed *Low-Rise Residential Community*, staff has required that each unit be individually metered and deeded; however, -- as *previously stated* -- this does not preclude a single property owner from owning all of the deeds for the *Condominium Building*. Finally, staff should note that the applicant has provided the *Concept Plan* and building elevations for this subdistrict, and -- *based on the Planned Development District ordinance, if this zoning case is approved* -- this development will not require a PD Development Plan and will be able to move to the site plan phase of the development process.

Beyond the *Concept Plan*, the applicant is also requesting that the City abandon Conveyor Street north of the property that is situated on the west side of Conveyor Street (i.e. *north of the Lot 1, Block C, Rockwall Commercial Park Addition -- the Rockwall Pawn*). This includes all of Conveyor Street from Justin Road to ~258.00-feet from the intersection of Conveyor Street and the IH-30 Frontage Road (see *Figure 6*). Based on this staff has prepared a companion ordinance for this case that will abandon this roadway. This ordinance will need to be read simultaneously with the Planned Development District ordinance.

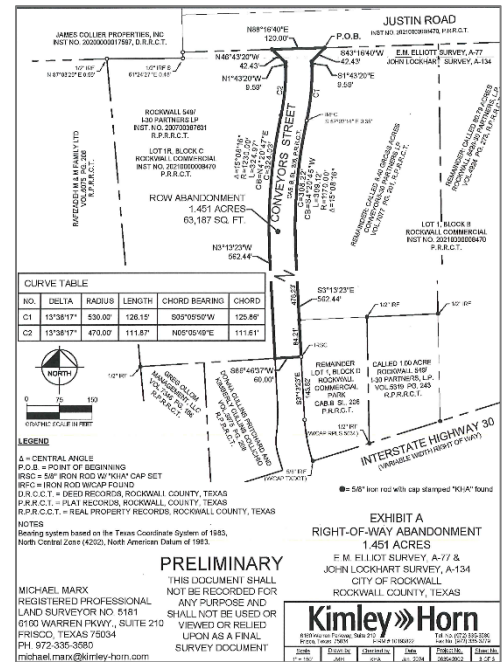


FIGURE 6: PORTION OF CONVEYOR STREET TO BE ABANDONED

INFRASTRUCTURE

Based on the proposed request, when the property is developed the following infrastructure is required to be constructed to provide adequate public services for the subject property:

- (1) Water. All water improvements shall be installed in accordance with *Infrastructure Study* approved by the City of Rockwall. In addition, the applicant will be required to construct all water lines in accordance with the Engineering Department's *Standards of Design and Construction Manual* and the Master Water Plan.
- (2) Wastewater. All on-site and off-site wastewater improvements shall be installed in accordance with *Infrastructure Study* approved by the City of Rockwall. In addition, the applicant will be required to construct all wastewater lines in accordance with the Engineering Department's *Standards of Design and Construction Manual* and the Master Wastewater Plan.
- (3) Roadways. Justin Road is identified as an A4D (i.e. *major arterial, four [4] lane, divided roadway*), which requires a minimum of an 85-foot right-of-way and two (2), 25-foot back-to-back concrete streets with a 14-foot median. Currently, half of this roadway has been constructed. When developed, the remaining portion of this roadway and any lights or appurtenances will need to be provided. In addition, the applicant will need to construct an eight (8) foot trail along Justin Road. In addition, Conveyor Street is required to be a 35-foot back-to-back concrete street, with five (5) foot sidewalks. The applicant will need to verify the width of the portion of Conveyor Street that will remain a public roadway, and improve this portion of the roadway to its ultimate width.
- (4) Drainage. Detention will be required and sized per the Engineering Department's *Standards of Design and Construction Manual* and the required drainage study.

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards for each subdistrict contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

General Standards

- (1) Open Space. According to Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), "(a) minimum of 20.00% of the gross land area within the entire Planned Development (PD) District shall be devoted to public and private open space." For the proposed Planned Development District this would equate to a minimum of 13.495-acres (*i.e.* 67.475-acres x 20.00% = 13.495-acres); however, the applicant is requesting to reduce the open space percentage to 13.50%, which would equate to a minimum of 9.109-acres (*i.e.* 67.475-acres x 13.50% = 9.109125-acres).
- (2) Landscape Buffer (Justin Road). According to Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)ll landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a *built-up berm* and shrubbery along the entire length of the frontage." In this case, the applicant is proposing to provide a ten (10) foot landscape buffer along Justin Road; however, the applicant is proposing to remove the berm requirement. The main purpose behind this request is that Justin Road requires an eight (8) foot trail system -- *per the Master Trial Plan contained in the OURHometown Vision 2040 Comprehensive Plan* --, and the applicant has expressed concern that the berm would be difficult to establish in the required ten (10) foot landscape buffer.

Subdistrict 'A'

- (1) Building Materials. According to the *General Overlay District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), all buildings in an *Overlay District* are required to be constructed with: [1] 90.00% *Primary Materials*, [2] 20.00% natural or quarried stone, [3] have no more than 50.00% cementitious materials, and [4] incorporate accent brick and stone. *Primary Materials* in this case are defined as "...stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (*i.e.* CMUs that have been sandblasted, burnished or that have a split face -- *light weight block or smooth faced CMU shall be prohibited*)." In this case, the applicant is proposing updated building material requirements in the Planned Development District ordinance that allow the use of tilt-up concrete panel (*i.e.* *tilt-wall construction*), and has stated an intent to utilize this in the building's design in *Subdistrict A*. Staff should note that the original submittal by the applicant proposed the use of integrated metal panel; however, the applicant has since changed the building elevations in favor of tilt-up concrete panel.
- (2) Articulation. According to the *General Commercial District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), all *Primary Building Façades* -- *which is all facades in an overlay district* -- require horizontal and vertical projections in accordance with *Figure 7* (see *Page 5-10 of Article 05; UDC*). In this case, the proposed Planned Development District ordinance exempts *Subdistrict A* from the articulation requirements.
- (3) Roof Design Standards. According to the *General Overlay District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides." In this case, the Planned Development District ordinance allows flat roofs without parapets in *Subdistrict A*; however, the applicant has included language that will require all rooftop mechanical equipment or appurtenances to be screened with the exception of solar panels.
- (4) Architectural Elements. According to the *General Overlay District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings that are less than 50,000 SF shall be designed to incorporate a minimum of four (4) architectural elements, buildings over 50,000 SF shall include a minimum of six (6) architectural elements, and buildings over 100,000 SF shall include a minimum of seven (7) architectural elements." In this case, the proposed *Large Format Retailer* will have a building footprint of ~161,069 SF, which would require seven (7) of the architectural elements listed in the *General Overlay District Standards*; however, the applicant has included language in the Planned Development District ordinance that would limit the number of required architectural elements to two (2).
- (5) Signage. The signage requirements proposed for *Subdistrict A* deviate from the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances in the following ways:
 - (a) Pole Signs. According to Chapter 32, *Signs*, of the Municipal Code of Ordinances, pole signs are only permitted adjacent to IH-30, shall not exceed a maximum height of 30-feet, and have a maximum sign area of 200 SF. In this case, the proposed Planned Development District ordinance allows one (1) freestanding pole sign in *Subdistrict A* that is 120-feet in height and that has three (3) sign faces that are a maximum of 700 SF each.

- (b) Wall Signs. According to Chapter 32, *Signs*, of the Municipal Code of Ordinances, wall signs are permitted "...as long as the total face area of the attached signs does not exceed ten [10] percent of the front face area of the building or store front as established in the approved plans submitted to the city, or 60 square feet, whichever is greater." In this case, the Planned Development District ordinance has provisions that allow the following percentages of wall signs: [1] five (5) percent on the north façade, [2] 15.00% on the south façade, [3] 20.00% on the east façade, and [4] five (5) percent on the west façade. In addition, the ordinance also has allowances for one (1), 700 SF *Digital Wall* or *Banner Signs* on the southern or eastern building façades. The applicant has indicated that there is no intent to establish *Digital Wall Signage* under the current plans; however, would like the flexibility to do so in the future.
- (c) Traffic Signs. According to Chapter 32, *Signs*, of the Municipal Code of Ordinances, traffic signs are permitted to be a maximum of six (6) square feet in size, stand a maximum of three (3) feet in height, and not contain a commercial message (*with the exception of the logo which is limited to only signs adjacent to driveways*). In this case, the applicant has provided a *Sign Plan* and *Sign Standards* showing all of the *Traffic Signs* and where they will be located. Staff should point out, that based on the *Sign Plan*, the majority of the visual impact of these signs will be in the internal parking areas for the *Large Format Retailer*.
- (d) Undefined Sign Types. The applicant is also proposing to incorporate *Flag Pole Signs*, *Cart Signs*, and *Promotional Message Signs*, all of which are *not* permitted sign types according to Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, staff should point out that the applicant has provided a *Sign Plan* and *Sign Standards* showing each sign type and where each sign will be located. Based on the *Sign Plan*, the majority of the visual impact of these signs will be in the internal parking areas for the *Large Format Retailer*.

Subdistrict 'B'.

- (1) Signage. The signage requirements proposed for *Subdistrict B* deviate from the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances in the following ways:
 - (a) Shopping Center Signs. According to Chapter 32, *Signs*, of the Municipal Code of Ordinances, the City Council is permitted to approve *Shopping Center Signs* that are larger than 200 SF but not to exceed 400 SF and that do not exceed 30-feet in height. In this case, the Planned Development District is proposing the ability to have three (3) *Shopping Center Signs* at the main points of ingress/egress for the shopping center. These signs will be 35-feet in height and a maximum of 360 SF in size. They are anticipated to be off of the IH-30 Frontage Road and Stodghill Road [FM-549].
 - (b) Off-Premise Signs. According to Chapter 32, *Signs*, of the Municipal Code of Ordinances, off-premise signs are prohibited. In this case, the applicant has included language that would allow the three (3) shopping center signs proposed for *Subdistrict B* to include signage for the *Residential Developments* proposed in *Subdistrict C & D*.

Subdistrict 'C'.

- (1) Parking Requirements. According to *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), the minimum parking requirements for a *Multi-Family Unit* is as follows: [1] one (1) bedroom units require 1½ parking spaces per unit, [2] two (2) bedroom units require two (2) parking spaces per unit, and [3] three (3) bedroom units require 2½ parking spaces per unit. In this case, the applicant is proposing to park all 250 *Urban Residential style Condominium Units* at 1½ parking spaces per unit.

Subdistrict 'D'.

- (1) Parking Requirements. According to *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), the minimum parking requirements for a *Multi-Family Unit* are as follows: [1] one (1) bedroom units require 1½ parking spaces per unit, [2] two (2) bedroom units require two (2) parking spaces per unit, and [3] three (3) bedroom units require 2½ parking spaces per unit. In this case, the applicant is proposing to park all 120 *Low-Rise Residential Units* at 1½ parking spaces per unit.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *IH-30 Corridor District* and is designated for *Special Commercial Corridor* land uses. The *Plan* defines the *Special Commercial Corridor*, as a "...land use designation [that] is intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region." The *Primary Land Uses* listed under this land use designation include: *Regional Shopping Center, Entertainment, Retail, Personal Services, Restaurant, Corporate Offices, Employment, and Recreation* land uses; and, the *Secondary Land Uses* listed under this land use designation include: *Residential, Open Space, Parks, Trails, Banks, Service Stations, and Institutional/Civic* land uses. The *Plan* also states that the secondary land uses should be *integrated* into the larger development. In this case, the applicant is proposing [1] a *Large Format Retailer*, [2] a *Regional Shopping Center*, [3] a 250-unit *Urban Residential style Condominium Building*, [4] a 120-unit *Low-Rise Residential Community*, and [5] a 109-unit *Townhome Development*, and has stated that the intent of the project is to provide a "...vibrant mixed-use environment ..." Based on this -- *and the Concept Plan and the land uses outlined in the Planned Development District ordinance* --, the project does appear to be in conformance with the *Future Land Use Plan* and the *Special Commercial Corridor* land use designation.

According to Subsection 01.04, *Calculation of Density*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he calculation of allowable density for residential developments shall be based on the gross site area including right-of-way, floodplain, open space and public/private parks that will be dedicated to the City or preserved and maintained by some other mechanism." Based on this calculation method, the gross density for the proposed development is 7.19 dwelling units per acre (i.e. $485\text{-units}/67.475\text{-acres} = 7.1878$), which translates to a gross *residential* density (i.e. a density for just *Subdistricts 'C' & 'D'*) of 31.17 dwelling units per gross residential acre (i.e. $485\text{-units}/15.56\text{-acres} = 31.1697$). With this being said, the *Future Land Use Plan* does not stipulate a residential density for the *IH-30 Corridor District* or the *Special Commercial Corridor* land use. In this case, the determination for residential density is left to the discretion of the City Council -- *pending a recommendation from the Planning and Zoning Commission* -- on a determination that the overall project conforms to the intent of the *IH-30 Corridor District*. Staff should note, that the proposed density is less than half the density of the *Harbor District*, which has a gross density of 15.316 dwelling units per acre.

Looking at the pertinent *District Strategies* for the *IH-30 Corridor District*, *Strategy #1* states that, "(t)he specific goals and policies contained in Section 02.01, *IH-30 Corridor Plan*, of Appendix 'B', *Corridor Plans*, of this [the] Comprehensive Plan should be considered when reviewing new development within the IH-30 Corridor." These strategies were taken from the *IH-30 Corridor Planning Study*, which was prepared in conjunction with the OURHometown Vision 2040 Comprehensive Plan. This *Planning Study*, involved public hearings where Planning Department staff engaged with the public to create a plan for the *IH-30 Corridor* that could address [1] retail/business retention in the corridor, [2] provide strategies to target regional land uses, and [3] provide a plan for strategically located vacant land along IH-30. Based on the findings from this *Planning Study*, the subject property was identified as being in an *Opportunity Zone* or a segment of the existing corridor with vacant or strategically placed underutilized land that can be developed or redeveloped with the highest and best use for the corridor. The subject property -- *which also referred to as Strategically Located Property #4 in the study* -- was ultimately identified as being an ideal site for a development conforming to the *Town Center Model* or the *Regional Destination Center Model*. Based on the applicant's *Concept Plan*, the project does incorporate various elements of these models including: [1] a horizontally mix-use development scheme, [2] large destination retailer, [3] an integrated retail shopping center with restaurant pad sites, and [4] walkable/pedestrian friendly elements integrating land uses; however, it also incorporates elements of the *Strip Retail Center Model* (e.g. *linear development paralleling the highway, highly visible parking fields that are surfaced parked, and pad sites adjacent to the highway*). Based on this, conformance to this *District Strategy* is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Looking at other pertinent *District Strategies* for the *IH-30 Corridor District* and how the proposed *Concept Plan* conforms to these strategies, staff identified the following:

- (1) *Open Space*. The *District Strategies* state that "(l)arge commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or breakup large parking fields."

Staff Response: Staff has requested that the applicant incorporate a central, functional green space or open space that can be used to connect the residential land uses to the future *Regional Shopping Center* and the proposed *Large Format Retailer*.

Applicant's Response: In response to staff's request, the applicant has included a linear green space/open space with a trail that connects the future *Regional Shopping Center* to the trails that run through the *Large Format Retailer* and the *Residential Developments* in *Subdistricts C & D*. In addition, the applicant has added a central green space with a stage area and restaurant pad sites that back up to this area.

Conformance: The proposed additions provided by the applicant conform with the intent of this *District Strategy*.

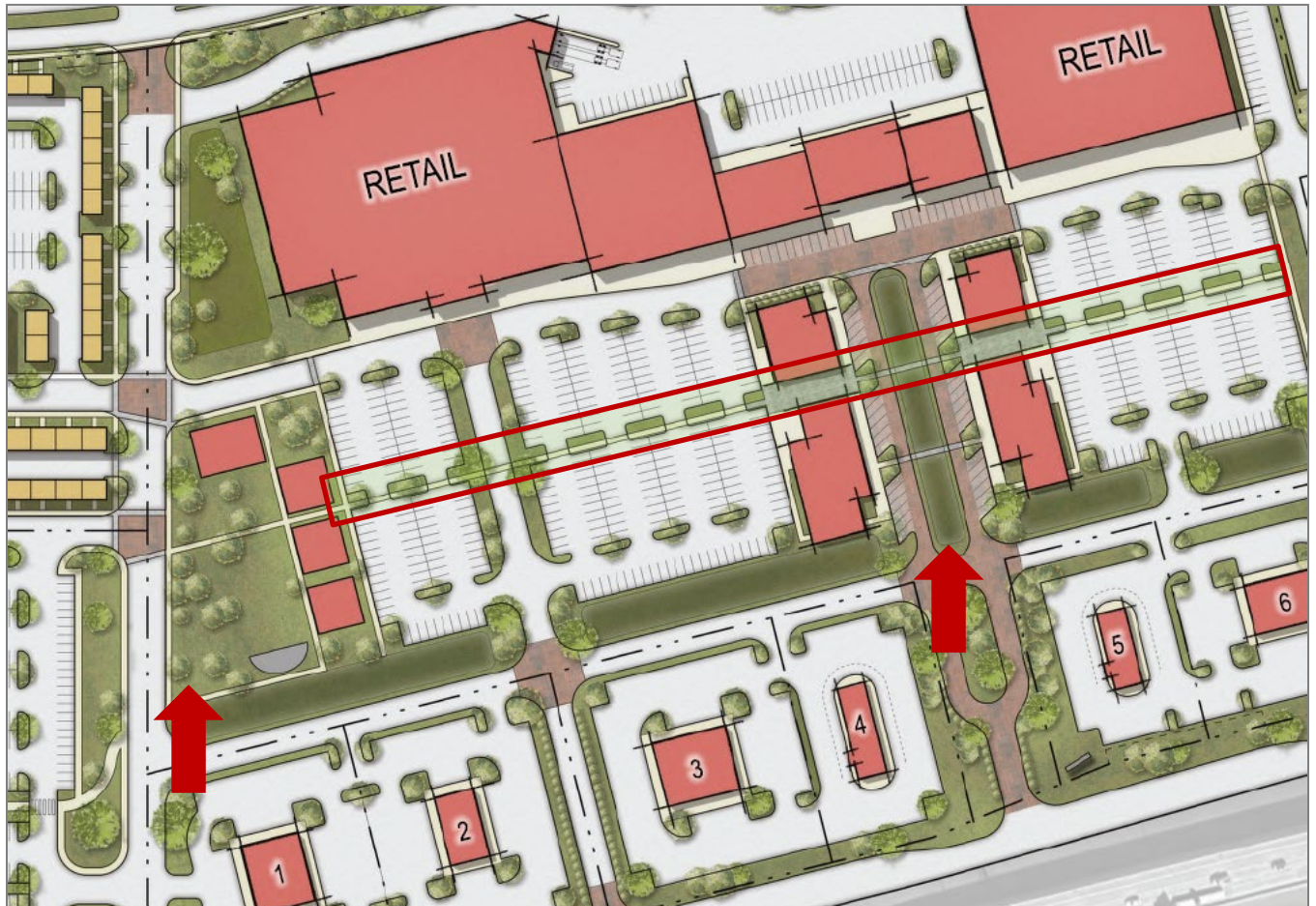


FIGURE 7. LINEAR GREEN SPACE/OPEN SPACE ADDED TO THE PLAN (OUTLINED IN RED). THE TWO (2) CENTRAL OPEN SPACES PROVIDED IN THE REGIONAL SHOPPING CENTER ARE DENOTED WITH THE RED ARROWS.

- (2) *Eastern Entry Portal.* The *District Strategies* call for an *Eastern Entry Portal* at the eastern side of the *IH-30 Corridor District*, and provide four (4) possible locations for the *Eastern Entry Portal*. One of these four (4) locations is located at the southeast corner of the subject property (i.e. the northwest corner of the intersection of the *IH-30 Frontage Road* and *Stodhill Road*).

Staff Response: Staff requested that the applicant incorporate an *Eastern Entry Portal* into the design of the future *Regional Shopping Center* as part of the PD Development Plan for this subdistrict. In addition, the Planning and Zoning Commission -- at their work session meeting on August 27, 2024 -- requested that the *Eastern Entry Portal* be of a similar height as the proposed 120-foot sign for the *Large Format Retailer*.

Applicant's Response: In response to this request, the applicant has incorporated language into the Planned Development District ordinance that will require a *Gateway/Entry Portal Flag* be incorporated into the design of *Subdistrict 'B'*. Additionally, staff added language to allow the Architectural Review Board (ARB) to review the design of the *Entry Portal*, which is consistent with how the City's other *Entry Portals* have been approved (i.e. the *entry portals* for *SH-66* and the *Harbor District*). The applicant also consented to language that would require the flag to be 190-feet or as otherwise approved by the City Council. Staff included the language, allowing the City Council to vary the height -- in the event the

case is approved -- to allow for the City to perform a study of the existing flag at the western entry portal to ensure that the flag pole heights were the same.

Conformance: The proposed flag pole will match the western entry portal (*i.e. the 190-foot United States Flag*), and provide continuity between both the eastern and western entrances to the City. Based on this, the applicant's request conforms to this *District Strategy*.

With regard to the policies and goals for residential and commercial development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these objectives into the proposed Planned Development District ordinance; however, staff has identified the following non-conformities and provided the following recommendations to the applicant:

- (1) CH. 08: Section 2.05: Goal #3 | Policy #1 (Page 8-4). High-density developments that incorporate more than ten (10) units per gross acre should incorporate structured parking that is visually screened from public view on all sides of the development. This can be achieved by wrapping the parking garage with buildings or creating false façades. Surface parking should be reserved to accommodate visitors, office staff, and prospective residents.

Staff's Response: In this case, only one (1) of the two (2) *Residential Developments* is incorporating a structured parking garage. In addition, the submitted *Building Elevations* show that the building that is incorporating the structured parking garage will have one (1) side of the garage that will be visible to adjacent properties and Justin Road/IH-30. To bring this closer into compliance for the *Residential Development* that does incorporate the structured parking garage, the applicant should look to design the building to better hide the structured parking garage (*e.g. better building design, a more complete wrap, green screens, etc.*).

Applicant's Response: In response to staff's request the applicant has incorporated a green screen that will better screen the exposed parking garage that will be visible from Justin Road along the western building façade (*see Figure 8 below*). The request still only incorporates a parking garage for one (1) of the two (2) *Residential Developments*; however, the applicant has designed the *Residential Development* -- *that utilizes surface parking* -- in a manner that screens the surface parking lots with townhomes and covered parking.

Conformance: Based on this, the applicant -- *while still not conforming to this policy* -- has brought the request closer into conformance with the OURHometown Vision 2040 Comprehensive Plan.



FIGURE 8. GREEN SCREEN PROVIDED TO SCREEN THE PARKING GARAGE.

- (2) CH. 08: Section 2.05: Goal #4 | Policy #1 (Page 8-4). If structured parking is not provided on a high-density development, garages dedicated to each unit should be provided.

Applicant's Response: In this case, the applicant is proposing that *Subdistrict 'D'* -- *which contains the Residential Development with surface parking* -- incorporate the following: [1] 100.00% of the townhome units will have dedicated garages that will have direct access to the units, and [2] 40 single-car garages without direct access to a unit will be provided for the 120 *Low-Rise Residential Community* units (*i.e. 33.33% of the Low-Rise Residential Community Units*). This means that there will be 80 units (or 34.04% of the units) that will be surfaced parked, and 141 units (*i.e. 65.95% of the units*) that will have garages.

Conformance: This aspect of the applicant's request does not conform to the OURHometown Vision 2040 Comprehensive Plan.

- (3) CH. 09: Section 02: Goal #1 | Policy #4 (Page 9-1). Commercial, retail, and office developments should look to create central greenspaces that are well landscaped and functional promoting increased social interaction. Central greenspaces should be connected from all points of the development, and ultimately provide connection to the City's greater trail system.

Staff's Response: Staff has requested that the applicant provide a central open space that can provide trail connections from the proposed residential subdistricts to the future *Regional Shopping Center* and *Large Format Retailer*.

Applicant's Response: As previously stated, the applicant has incorporated a central green space into the *Regional Shopping Center* that provides connections to the *Large Format Retail* and the *Residential Developments* (see *Figure 7* above).

Conformance: Based on this, the applicant's proposal is in conformance with this policy of the OURHometown Vision 2040 Comprehensive Plan.

- (4) CH. 09: Section 02: Goal #1 | Policy #6 (Page 9-1). Developments should incorporate pedestrian elements (*i.e. benches, trash receptacles, etc.*) at regular intervals to ensure that developments are created to a pedestrian scale.

Staff's Response: Currently, the Planned Development District ordinance does not incorporate these elements into the proposed development; however, staff has included a condition of approval for this case that will require these elements to be incorporated into the future *Regional Shopping Center*. Based on this, these elements will need to be incorporated into the PD Development Plan ordinance for *Subdistrict B*. Staff will also look to incorporate the same elements into *Subdistrict C & D* at the time of site plan approval.

Conformance: With the incorporation of this into the conditions of approval, the applicant's request will conform to this policy of the OURHometown Vision 2040 Comprehensive Plan.

- (5) CH. 09: Section 02: Goal #2 | Policy #3 (Page 9-2). Shopping centers and big-box retail buildings should incorporate planters, ornamental pots, and landscape beds adjacent to building façades that are visible from streets and open space.

Staff's Response: Currently, the Planned Development District ordinance does not incorporate these elements into the proposed development; however, staff has included a condition of approval for this case that will require these elements to be incorporated into *Subdistricts B, C & D*.

Conformance: With the incorporation of this into the conditions of approval, the applicant's request will conform to this policy of the OURHometown Vision 2040 Comprehensive Plan.

- (6) CH. 09: Section 02: Goal #3 | Policy #5 (Page 9-2). Big-Box buildings should be highly articulated both horizontally and vertically, and use material/style breaks to give the appearance of multiple storefronts.

Staff's Response: The proposed building in *Subdistrict A* does not meet these requirements; however, these requirements appear to conflict with the corporate branding of the proposed end user.

Conformance: *Subdistrict A* of the applicant's plan does not conform with this policy. Based on this, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

- (7) CH. 09: Section 02: Goal #4 | Policy #1 (Page 9-2). Non-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade that faces a street, public open space, trail or park.

Staff's Response: With the exception of *Subdistrict A*, the overall development appears to be in conformance with this policy; however, as previously stated the proposed *Large Format Retailer* has specific corporate branding that conflicts with this requirement.

Applicant's Response: To address the issues identified by staff in *Subdistrict A*, the applicant has consented to removing the use of integrated metal panel as a permitted building material in *Subdistrict A*, and has indicated that the *Large Format Retailer* will utilize tilt-wall construction.

Conformance: While not fully conforming to the OURHometown Vision 2040 Comprehensive Plan, the applicant's changes bring the request closer to compliance.

- (8) CH. 09; Section 02; Goal #4 | Policy #2 (Page 9-2). Non-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features.

Staff's Response: The building proposed for *Subdistrict A* does not appear to meet the intent of this policy; however, this is not atypical of the *Large Format Retailer's* corporate branding.

Conformance: *Subdistrict A* of the applicant's plan does not conform with this policy. Based on this, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

- (9) CH. 09; Section 02; Goal #5. Maintain sign standards for the City that will reduce the potential for visual clutter, while providing clear business identification.

Staff's Response: The sign requirements for *Subdistrict A* as proposed in the Planned Development District ordinance do not conform to the City's sign code. Specifically, the sign requirements allow [1] additional wall signage, [2] large digital wall signage, [3] signage types not defined or permitted by the Municipal Code of Ordinances (*i.e. Flag Pole Signs, Cart Signs and Promotional Messaging Signs*), and [4] a pole sign that is larger and taller than what is typically permitted. There are also allowances for *Subdistrict B* that allow off-site signage for the *Residential Developments*. With this being said, the applicant has provided a *Sign Plan* and *Sign Standards for Subdistrict A* that show that the majority of the visual impact will be relegated to the internal parking areas for the *Large Format Retailer*. Staff should also point, that similar variances have been granted to the signage standards by the City Council for other businesses in the IH-30 Corridor (*i.e. the 900 SF digital sign for Clay Cooley, the increased height for the QuickTrip Sign, etc.*).

Conformance: This does not conform with this policy of the OURHometown Vision 2040 Comprehensive Plan. This will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

- (10) CH. 09; Section 02; Goal #6 | Policy #1 (Page 9-2). All garbage storage/dumpster enclosures and delivery areas should be screened from public view (*i.e. streets, open spaces, drive isles, etc.*) and adjacent properties, and be generally situated behind the building to reduce the visual impact.

Staff's Response: The *Concept Plan* shows that the rear loading docks of the buildings in *Subdistrict B* will face onto Justin Road, which will be a major east/west collector roadway in the future. Increased landscaping, wingwalls, and other forms of screening should be incorporated into the request to help mitigate these issues. In addition, the buildings can be better designed to provide a "*Dual Front*" to help meet the four (4) sided architectural issues and decrease the visibility issues.

Conformance: Based on the current *Concept Plan*, staff cannot confirm conformance with this policy of the OURHometown Vision 2040 Comprehensive Plan; however, this will be a design concern that will need to be addressed in the PD Development Plan and site plan for *Subdistrict B*.

Considering the proposed Planned Development District ordinance and the applicant's concept plan and conceptual building elevations, the request does appear to generally conform to the majority of the goals and policies of the OURHometown Vision 2040 Comprehensive Plan, the Unified Development Code (UDC), and the Municipal Code of Ordinances; however, -- as staff has outlined in this case memo -- there are non-conforming aspects of the applicant's request. These aspects make this a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. In making a determination on the request, the City Council and Planning and Zoning Commission should weigh the requested density with the potential economic and physical impacts of the proposed *Large Format Retailer* and *Regional Shopping Center*, and how they further the goals for the IH-30 Corridor in conjunction with the City's plans.

NOTIFICATIONS

On August 21, 2024, staff mailed 43 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating

in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices within the 500-foot notification buffer in favor of the applicant's request, and 21 emails and two (2) *Online Zoning & Specific Use Permit Input Form* responses outside of the 500-foot notification area that were opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from a Commercial (C) District to a Planned Development District for limited Commercial (C) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) The applicant shall incorporate pedestrian elements (*i.e. benches, trash receptacles, etc.*) landscape planters, ornamental pots, and/or landscape beds into the design of all subdistricts. This will be reviewed at the time of site plan for *Subdistrict A, C, & D*, and PD Development Plan for *Subdistrict B*.
- (3) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On September 10, 2024, the Planning and Zoning Commission failed to approve a motion to recommend approval of the Zoning Change with the motion failing by a vote of 2-5, with Commissioners Deckard, Odom, Conway, Thompson and Hagaman dissenting.

CITY COUNCIL

On September 16, 2024, the City Council approved a motion to remand the Zoning Change back to the Planning and Zoning Commission by a vote of 5-0, with Mayor Johannesen and Councilmember Campbell absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **NORTHWEST CORNER OF FM 3549 AND EAST INTERSTATE 30**

SUBDIVISION **ROCKWALL COMMERCIAL**

LOT

VARIOUS

BLOCK

VARIOUS

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **COMMERCIAL (C)**

CURRENT USE **UNIMPROVED LAND**

PROPOSED ZONING **PLANNED DEVELOPMENT**

PROPOSED USE **MIXED-USE**

ACREAGE **67.475 ACRES**

LOTS [CURRENT] **4**

LOTS [PROPOSED] **TBD**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **ROCKWALL 549/I-30 PARTNERS LP
CONVEYOR I-30 PARTNERS LP**

APPLICANT **JACKSON WALKER LLP**

CONTACT PERSON **JAMES J. MELINO**

CONTACT PERSON **WILLIAM DAHLSTROM & VICTORIA MORRIS**

ADDRESS **8750 N CENTRAL EXPRESSWAY**

ADDRESS **2323 ROSS AVENUE**

SUITE 1735

SUITE 600

CITY, STATE & ZIP **DALLAS, TX 75231**

CITY, STATE & ZIP **DALLAS, TX 75201**

PHONE **(214) 532-3924**

PHONE **(214) 953-5932**

E-MAIL **JIM@CAMBRIDGECOS.COM**

E-MAIL **WDAHLSTROM@JW.COM / VMORRIS@JW.COM**

NOTARY VERIFICATION [REQUIRED]

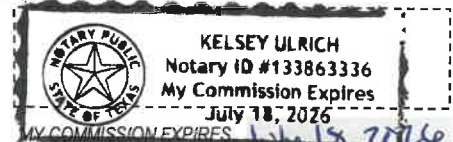
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James J. Melino, Authorized Representative of [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING: Rockwall 549/I-30 Partners, LP and Conveyor/I-30 Partners, LP

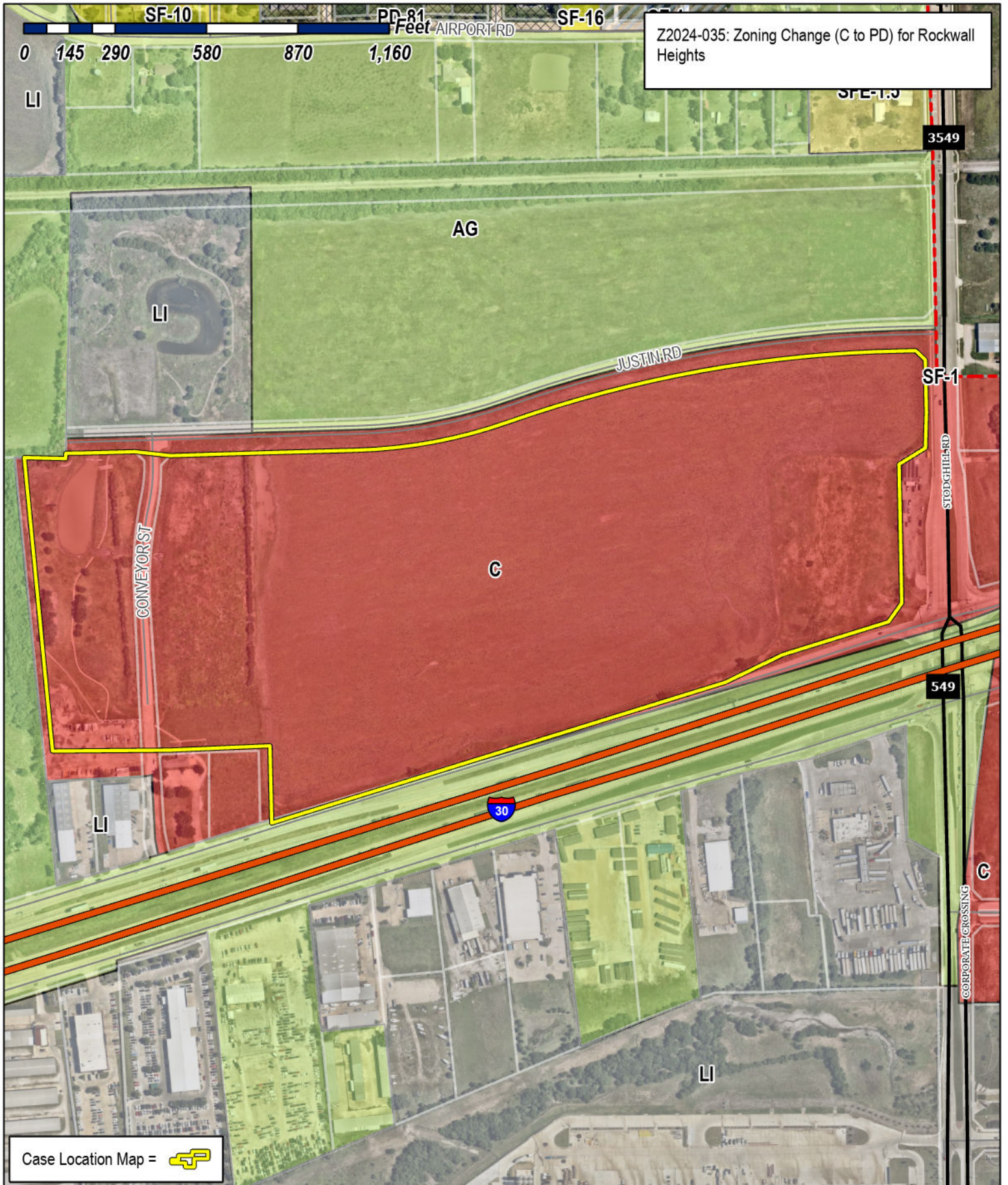
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ August, 20 24. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF August, 20 24.


OWNER'S SIGNATURE *By: James J. Melino*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS *Kelsey Ulrich*





Z2024-035: Zoning Change (C to PD) for Rockwall Heights

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

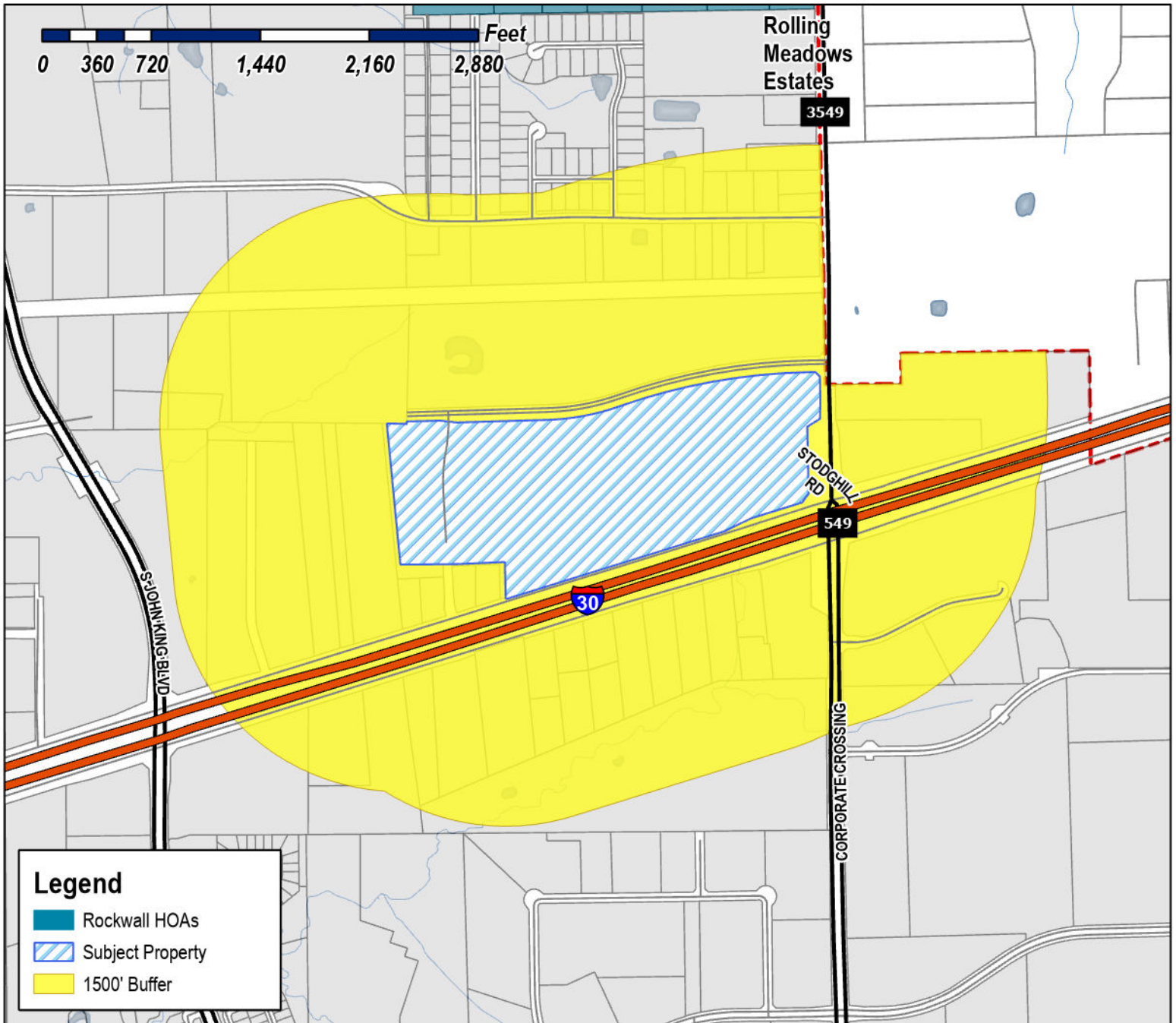




City of Rockwall

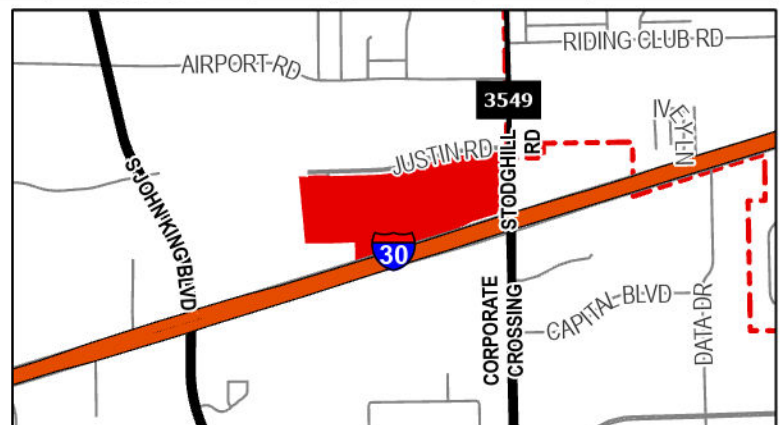
Planning & Zoning Department
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Case Number: Z2024-035
Case Name: Zoning Change from Commercial (C) District to a Planned Development (PD) District
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: NEC of 3549 and E I-30

Date Saved: 8/16/2024
 For Questions on this Case Call (972) 771-7745

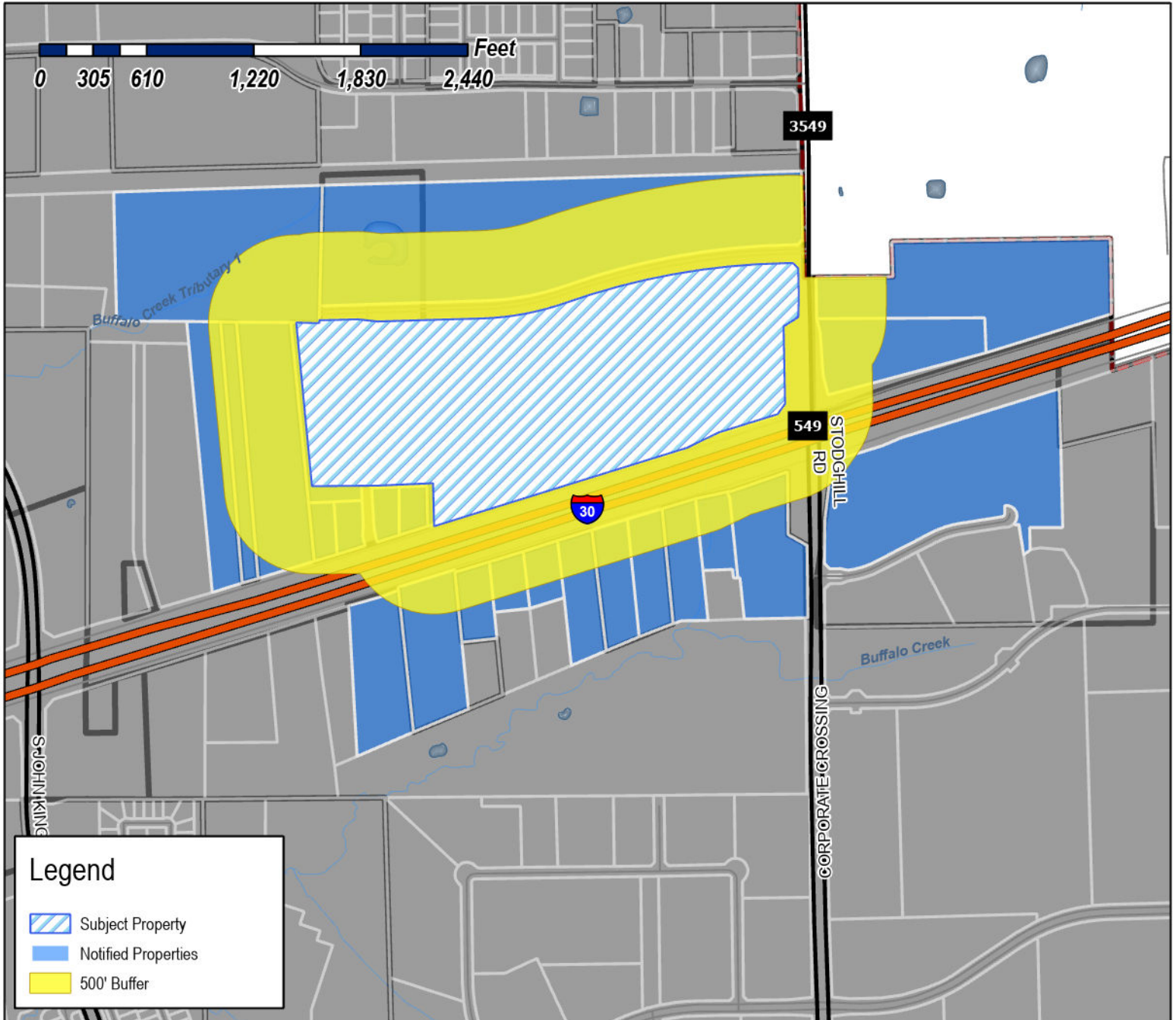




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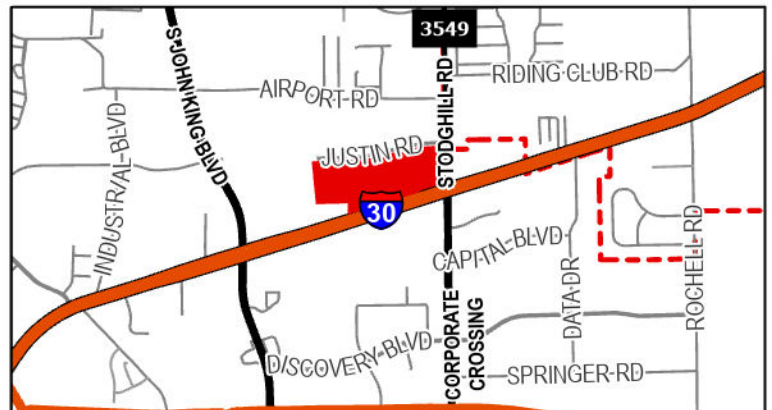
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For Questions on this Case Call: (972) 771-7745



MYASIN INVESTMENTS LLC
11243 SHADY TRL
DALLAS, TX 75229

MHC I30 LP
12001 N CENTRAL EXPRESSWAY SUITE 875
DALLAS, TX 75243

LINE 5 HOLDINGS LP
1201 N RIVERFRONT BLVD SUITE 100
DALLAS, TX 75207

THE STATE OF TEXAS, BY AND THROUGH THE
TEXAS TRANSPORTATION COMMISSION
125 E 11TH STREET
AUSTIN, TX 78701

RAFIZADEH M & M FAMILY LTD
C/O REPUBLIC MOTORSPORTS INC
12707 SOUTHWEST FREEWAY
STAFFORD, TX 77477

PRITCHARD DONNA CULLINS &
KIMBERLY CULLINS COLLICCHIO TRUSTEES
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1785 E I30
ROCKWALL, TX 75087

RESIDENT
1790 E I30
ROCKWALL, TX 75087

RESIDENT
1795 I30
ROCKWALL, TX 75087

RESIDENT
1805 E I30
ROCKWALL, TX 75087

RESIDENT
1810 S I30
ROCKWALL, TX 75087

RESIDENT
1830 I30
ROCKWALL, TX 75087

SELF SCOTT & JANET
1830 E INTERSTATE 30 STE 100
ROCKWALL, TX 75087

RESIDENT
1850 I30
ROCKWALL, TX 75087

GENESTA PARTNERSHIP
1850 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
1860 E I30
ROCKWALL, TX 75087

RESIDENT
1880 I30 RD
ROCKWALL, TX 75087

RESIDENT
1900 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
1960 E I30
ROCKWALL, TX 75087

RESIDENT
1970 I30 SOUTH SERVICE RD
ROCKWALL, TX 75087

RESIDENT
1990 E I30
ROCKWALL, TX 75087

STRUCTURED REA- ROCKWALL LAND LLC
2801 E. CAMELBACK ROAD SUITE 200
PHOENIX, AZ 85016

JAMES COLLIER PROPERTIES INC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

SALEHOUN FAMILY LIMITED PARTNERSHIP
39650 LYNDON B JOHNSON FWY
DALLAS, TX 75237

MIDDLE BROOKS HOLDINGS LLC
513 SAINT MARY ST
ROCKWALL, TX 75087

MOORE MICHAEL F
557 MARIAH BAY DR
HEATH, TX 75032

MOORE MICHAEL F
557 MARIAH BAY DR
HEATH, TX 75032

CAVENDER INVESTMENT PROPERTIES E LTD
7820 SOUTH BROADWAY
TYLER, TX 75703

ROCKWALL 549/I30 PARTNERS LP
8750 N CENTRAL EXPWY SUITE 1735
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

MIRANDA VINOD
9105 BRIARCREST DR
ROWLETT, TX 75088

LOVE'S COUNTRY STORES INC
PO BOX 26210
OKLAHOMA CITY, OK 73126

ROCKWALL AA RE LLC
PO BOX 775
ROYSE CITY, TX 75189

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-035: Zoning Change from C to PD

Hold a public hearing to discuss and consider a request by William S. Dahlstrom of Jackson Walker, LLP on behalf of James J. Melino of Rockwall 549/I-30 Partners, LP and Conveyor 130 Partners, LP for the approval of a Zoning Change from a Commercial (C) District to a Planned Development District for Commercial (C) District land uses on a 67.475-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 10, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 16, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-035: Zoning Change from C to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Case No. Z2024-035: Zoning Change from C to PD

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

no objection

Name: Dax of Rockwall (James A Dunning)
Address: 1810 E I 30

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-035: Zoning Change from C to PD

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Row Benlin
1201 N. Rivenfrownt Blvd
Dallas, TX 75229
214-876-7459

We need more Retail & Multi-Family
in this area. More sales property
Tax Revenue
Ronald P. Benlin

Name: RONALD P. BENLIN Manager hives 5 Holdings
Address: OWNER OF 1780 I-30 SERVICE KING

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Miller, Ryan

From: Amanda Elliott <taxi_awe@yahoo.com>
Sent: Thursday, September 12, 2024 5:22 PM
To: Smith, Mary
Subject: Ikea/Apartments/Retail Strip

I am writing to let you know that I strongly oppose this project. The area is so congested now that adding 500 apartments and large box store is really not in the best interest of the area. We will soon have the HEB which as you know will be adding more traffic, but it is a very needed addition to this area.

I travel this area daily multiple times a day. It's always congested, slow traffic and of course, lots of accidents due to those too busy to stop for the red signal lights. I do believe that there is some additional TXDOT projects that will be disrupting soon. This too, will be a needed project to be completed.

I would hope that our voices & concerns are heard to put a hold on this type of project until the infrastructure can actually handle the flow of traffic.

Thank you for taking the time to read, listen to the concerns of the Rockwall Community.

Amanda Elliott
3121 San Marcos Dr.
Rockwall, Tx 75032
469-261-4656

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Miller, Ryan

From: Andrea Andes <andrea.andes@gmail.com>
Sent: Thursday, September 12, 2024 10:07 AM
To: Smith, Mary
Subject: No Ikea or Aprtments

Hello

It's been brought to our attention that there are plans for a IKEA, strip mall, and a 500 unit apartment building of I30 and Stodgell. We are definitely against this plan and hope to keep Rockwall a green area. The traffic and population increase without proper infrastructure is leading to an unpleasant living experience here. Please keep Rockwall a quiet town and not turn it into Mesquite or Allen.

Warmly
Andrea and Quinn Spilsbury

Andrea Andes, M.A., LMFT
Psychotherapy
1213 North Goliad Street
Rockwall, TX 75087
310.493.7445 | andreaandes.com

8170 Beverly Blvd., Suite 100
Los Angeles, CA 90048
310.493.7445 | andreaandes.com

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Miller, Ryan

From: Renee Branning <lrbrockw@gmail.com>
Sent: Thursday, September 12, 2024 10:00 AM
To: Smith, Mary
Subject: Opposition to 500 apartment complex

Dear Ms Smith

I am a long time Rockwall resident and I love our town. However, the traffic and general congestion from inflow of new residents without infrastructure in place to keep up is creating a less than desirable environment; therefore I do not support the proposed addition of 500 unit apartment complex at Stodgehill and I30. I kindly ask that Rockwall reject this proposal.

Regards
Barry and Renee Branning

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Miller, Ryan

From: salonselite@aol.com
Sent: Thursday, September 12, 2024 11:52 PM
To: Smith, Mary
Subject: IKEA Proposal

The addition of 500 new apartments is excessive. We do NOT have the roads for this many more people on 205, 276, Ralph Hall, Ridge, etc. We need a way for people to get around this town, before we keep filling it up with more people. The I-30 expansion needs to be completed before more people come to town also. Please let our infrastructure get better first!

Carol Inman
2021 Trail Glen off John King/276
Rockwall

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Miller, Ryan

From: ladycbird@mypbmail.com
Sent: Thursday, September 12, 2024 12:21 PM
To: Smith, Mary
Subject: Proposed IKEA complex - city hall meeting 9/16/24

To the City of Rockwall:

I understand that growth is inevitable in Rockwall. I also know that the traffic here has become atrocious. A crosstown trip that used to take 10 minutes now takes up to 30 minutes. The LAST thing we need now is another high-density development in the form of a 500-unit apartment complex at I-30 and Stodgehill. Most of the traffic for the proposed IKEA would probably be traveling on I-30 and, although that roadway is currently a nightmare, it is being expanded, so much of that is temporary. But another 500 - 1000 cars belonging to apartment residents would clog our already overcrowded city streets and make Rockwall more unlivable. The children of those future residents would create more crowding in our schools.

Please, this has to STOP. Our once-charming little town cannot keep up with this rapid growth. Please stop looking at future tax revenue and look at the quality of life for our town's residents.

As a city taxpayer, I am STRONGLY OPPOSED to this development.

Charlene Sparrow
1245 Highbluff Lane
Rockwall 75087
(469)264-7313

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Miller, Ryan

From: Darla Shlensky <d88darla@gmail.com>
Sent: Friday, September 13, 2024 2:12 PM
To: Smith, Mary
Subject: vote NO for the IKEA and apartments

Hello City Manager,
I am NOT in favor of building an IKEA and apartments in Rockwall on I-30 and FM 3549 due to traffic concerns.
Thank you,
Darla Shlensky

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Miller, Ryan

From: David Erickson <daviderickson51@msn.com>
Sent: Thursday, September 12, 2024 12:19 PM
To: Smith, Mary
Subject: IKEA

our city CAN NOT handle another apartment complex

David Erickson

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Miller, Ryan

From: Debi Erickson <msdebi50@gmail.com>
Sent: Thursday, September 12, 2024 12:20 PM
To: Smith, Mary
Subject: IKEA

our city CAN NOT handle another apartment complex!!

Debi Erickson

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Miller, Ryan

From: ShawnDez Coursey <shawnndez@gmail.com>
Sent: Thursday, September 12, 2024 7:17 PM
To: Smith, Mary
Subject: Against the plan for apartments on the corner of stodgehill and I30

Hello, I was informed that you were the contact to reach out to and express that I am against the plan for apartments on the corner of stodgehill and I30 as our city can't handle the traffic another apartment complex would bring.

Thank you,
Dezerae Coursey

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Miller, Ryan

From: Donna Orr <donnalorrtx@gmail.com>
Sent: Saturday, September 14, 2024 1:33 PM
To: Smith, Mary
Subject: Ikea, strip mall and 500 apartments?

What in the world is the matter with our local government? We want to keep our city and county safe. (The violent crime rate is 72% lower than the state average and 68% lower than the national average.) Adding these apartments with the horrible illegal immigration into Texas will only cause more crime. To say nothin about the traffic that we can't handle and the school system being over stressed.

We here in the Rolling Meadows Estates subdivision are completely against this. And this is our email of protest.

If there is anything else we need to present to vote against this, please let us know.

Donna Orr
Rolling Meadows Estates neighborhood representative
Director at Rolling Meadows Estates
972-342-8598

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Miller, Ryan

From: Howard Shlensky <howardshlensky@gmail.com>
Sent: Friday, September 13, 2024 2:08 PM
To: Smith, Mary
Subject: Ikea and apartments

To the City of Rockwall Manager:

I am expressing my concern on the development of an IKEA and apartments in Rockwall. That area cannot handle the traffic that the 500 apartments would bring. I would NOT be in favor of that type of development.

Thank you for listening,
Howard Shlensky

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-035

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Janice

Last Name *

Johnson

Address *

303 N Clark St

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.

Other:

I am a native, long time resident who has spoken against the density building. I feel it is too little too late.

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Miller, Ryan

From: John Germer <jgermer1@gmail.com>
Sent: Thursday, September 12, 2024 2:14 PM
To: Johannesen, Trace; Thomas, Sedric; Jorif, Clarence; Moeller, Mark; Campbell, Anna; Smith, Mary
Subject: Thank You

I would like to take a moment to express my most sincere thanks to the Executive Leadership of the City. (even if most of you werent elected and just defaulted into your positions) You have saved me thousands of dollars. Since we have a pizza place on every corner, I no longer feel the need to travel to Italy.

And just to let you know, I am absolutely against the proposed 500 unit apartment complex that is being proposed. How much is that Developer paying you people for this project to even be considered ?

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Miller, Ryan

From: joebreder@gmail.com
Sent: Thursday, September 12, 2024 12:25 PM
To: Smith, Mary
Subject: City planning for ikea apartments

Attention: Rockwall City Manager

I am unable to attend the city planning meeting on Monday at 6pm.

As a Rockwall resident I would like to know what steps I would need to take to vote against the 500 unit apartment complex. There has been rapid residential growth in the area. An additional 500 unit apartment complex would cause further traffic congestion, overcrowded school classrooms and health care availability concerns.

Sincerely,
Joseph Breder

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Miller, Ryan

From: julie barrow <julie_barrow@sbcglobal.net>
Sent: Thursday, September 12, 2024 10:24 AM
To: Smith, Mary
Subject: In opposition of proposed IKEA/apartment project

Mr. Smith,

As a resident of 3018 Panhandle Dr. in Rockwall for over 11 years I can attest that the infrastructure of Rockwall cannot support more high density apartment complexes.

Please do not support or approve a known issue that is limiting the quality of life for your current residents.

Sincerely,
Julie Hall-Barrow

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Miller, Ryan

From: Letris Shivers <klwsrn@gmail.com>
Sent: Thursday, September 12, 2024 8:52 PM
To: Smith, Mary
Subject: IKEA and Apartments and strip shopping center

I want to let you know that me and my Family live right off of I30 and John King. We are all VERY opposed to having 500 apartments and a strip shopping mall along with IKEA built just down the street. Rockwall cannot handle anymore cars or residents and the schools cannot handle anymore Children! We have been here for over 20 years and it has become almost impossible to get from one side of Rockwall to the other! The City does not need or want anymore people in it! Can't handle what is here! We already have areas that don't have enough water Now, so how can this City Approve this! It is one thing to Add IKEA that will add more traffic than the area can handle but to add apartments too! There are already too many other developments going in too many houses to many people! Talk about Global warming! Let's Make sure that we Kill all the trees and have nothing but concrete! So please just say No!
Letris Shivers

Sent from my iPhone

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Miller, Ryan

From: Lisa Sagnibene <lsagnibene1@gmail.com>
Sent: Thursday, September 12, 2024 8:08 PM
To: Smith, Mary
Subject: Protest Against Proposed Apartment Complex

Dear Ms. Smith:

I am writing on behalf of my family who lives in Fontanna Ranch to express my strong opposition to the proposed construction of a new apartment complex at the corner of I-30 and FM 549. As a long time Rockwall resident; Class of 1985, and a concerned resident of Rockwall, I believe that this development would have a significant negative impact on our community.

One of my primary concerns is the potential increase in traffic congestion that this project would bring. Our city's infrastructure is already strained, and the addition of hundreds of new residents would undoubtedly exacerbate this problem. Increased traffic can lead to longer commute times, increased pollution, and decreased quality of life for all residents.

Furthermore, I am concerned about the potential strain on our city's resources. The proposed development would require additional services such as schools, police, and fire protection. It is unclear how the city would accommodate these increased demands without placing a burden on existing taxpayers.

I urge you to reconsider this proposal and explore alternative development options that would have a less detrimental impact on our community. I believe that there are ways to promote growth and development in Rockwall without sacrificing the quality of life that we all enjoy.

Thank you for your attention to this important matter.

Sincerely,

Mrs. Lisa Sagnibene
Sent from my iPhone

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Case Number *

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Z2024-035

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Please reject this development due to the excessive growth in Rockwall. This will bring more traffic to Rockwall and the traffic problem now is bad. IKEA will bring more multi-family housing to the area also. Rockwall doesn't have the infrastructure to handle people coming to shop at IKEA.

Respondent Information

Please provide your information.

First Name *

Martha

Last Name *

Griffey

Address *

2325 Saddlebrook

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.

Other: Citizen that lives within 5 miles of development

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Google Forms

Miller, Ryan

From: Kernan's Family <makernanfamily@gmail.com>
Sent: Thursday, September 12, 2024 12:30 PM
To: Smith, Mary
Subject: IKEA apartments & strip center

Mary,

I am writing to express our strong opposition to the proposed addition of apartments near the proposed IKEA in Rockwall. We believe that this development will lead to significant increases in traffic congestion in the area, exacerbating existing infrastructure issues and negatively impacting the quality of life for residents.

The current infrastructure in the area is already strained, and adding more apartments will only worsen the situation. The influx of residents will put a strain on local roads, schools, and other essential services, leading to increased congestion and decreased safety for all who live and work in the area.

The construction of high-density housing will alter the demographic makeup of the area and disrupt the sense of community that currently exists.

In light of these concerns, we urge you to reconsider the proposal to build apartments near the proposed IKEA.

Thank you for your attention to this matter.

Sincerely,
Toby
214-418-8397
Mike
214-537-5577

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Miller, Ryan

From: nikki vanwey <npvanwey@yahoo.com>
Sent: Thursday, September 12, 2024 10:40 AM
To: Smith, Mary
Subject: Ikea and apartment proposal

Morning

I am against Ikea, apartments, and strip mall coming to Rockwall. Our little town just keeps getting bigger which is causing massive traffic everywhere. I live in Chandlers Landing and just to get to the HWY takes me 10-15 min when before would take 5min.

I am sad to see all of our green space being sold to new apartments and buildings. I moved to Rockwall because we were outside the city with more green space and fewer people, but that is not the case now.

I am good with change and progress, what I am not good is making our wonderful city a metroplex. So many of us moved here because we loved being outside the city, with parks, and the hometown feel. If we keep letting big organizations come into town soon it will be like Frisco. No, Thank you!

Please help block this project.

Thank you
Nikki VanWey
106 Valkyrie place
Rockwall, TX 75032

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Miller, Ryan

From: Sterling King <Sterling.King@allindustrialco.com>
Sent: Friday, September 13, 2024 1:58 PM
To: Smith, Mary
Subject: Objection to Stodghill Rd. / I-30 Development

Mr. Smith -

Please accept this e-mail as my objection to the development of this (or any other) apartment complex getting approved in Rockwall. My wife and I moved to Rockwall out of Garland directly due to the adverse impact apartment complex's had brought to our neighborhoods in Garland.

It has been our experience that the areas around apartment complex's observe immediate increases in crime rates in nearby neighborhoods, a lower quality of education by the affected primary and secondary schools, as well as increased neighborhood traffic in those areas as well. In addition, most residents of apartment style living are transient in nature 1-3 years bringing very little long term benefit to local culture, tax basis, or societal fabric for long stability or benefit to permanent home-owner residents.

Thank you for your thoughtful consideration of our objection.

Respectfully,
Sterling King
Registered Voter
789 Miramar Dr.
Rockwall, TX 75087

Sent from my iPad

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

William S. Dahlstrom
(214) 953-5932 (Direct Dial)
(214) 661-6616 (Direct Fax)
wdahlstrom@jw.com

August 9, 2024

Mr. Ryan Miller, AICP
Director of Planning
City of Rockwall
385 South Goliad
Rockwall, Texas 75087

Re: Letter of Explanation – Application for Zoning Change and Abandonment of Portion of Conveyor Street – Property Located Near the Northwest Corner of FM 3549 and East Interstate 30.

Dear Mr. Miller:

This request is submitted on behalf of Property Owners, Conveyor I-30 Partners LP and Rockwall 549/I-30 Partners LP, whose contact information is as follows:

Property Owner:

Address: 8750 N Central Expressway, Suite 1735, Dallas, TX 75231

Email: ron@berlininterests.com

Phone: (214) 691-2556

We are submitting this request for a zoning change application for a property located near the northwest corner of FM 3549 and East Interstate 30, consisting of approximately 67.475 acres of land (the “Property”). This request is to change the Property’s zoning from Commercial (C) to a Planned Development (PD) Zoning District.

Enclosed with this request letter please find:

1. A Development Application;
2. Two (2) Letters of Authorization on behalf of the Property Owners;
3. Proposed Planned Development Standards;
4. Planned Development Exhibits;
5. Planned Development Composite Concept/Development Plan Informational Statement;

Mr. Ryan Miller, AICP

August 9, 2024

Page 2

6. A Metes and Bounds Legal Description of Property with Survey Drawings;
7. Letter of Request for Abandonment of Public Right-of-Way;
8. Legal Description and Survey Drawing of Area of Request for Abandonment; and
9. A check made payable to the City of Rockwall for Development Application Fee.

Thank you again for your time and consideration in reviewing this application, and please let me know if you have any questions.

Sincerely,

William S. Dahlstrom

William S. Dahlstrom

William S. Dahlstrom
(214) 953-5932 (Direct Dial)
(214) 661-6616 (Direct Fax)
wdahlstrom@jw.com

August 9, 2024

Mr. Ryan Miller, AICP
Director of Planning
City of Rockwall
385 South Goliad
Rockwall, Texas 75087

***Re: Letter of Request for Partial Abandonment of Conveyor Street – Property
Located Near the Northwest Corner of FM 3549 and East Interstate 30.***

Dear Mr. Miller:

This request is submitted on behalf of Property Owners, Conveyor I-30 Partners LP and Rockwall 549/I-30 Partners LP, whose contact information is as follows:

Property Owners:

Address: 8750 N Central Expressway, Suite 1735, Dallas, TX 75231

Email: ron@berlininterests.com

Phone: (214) 691-2556

We are submitting this request for a partial abandonment of Conveyor Street located near the northwest corner of FM 3549 and East Interstate 30, consisting of approximately 1.451 acres of land (the “Abandonment Area”).

Thank you again for your time and consideration in reviewing this application, and please let me know if you have any questions.

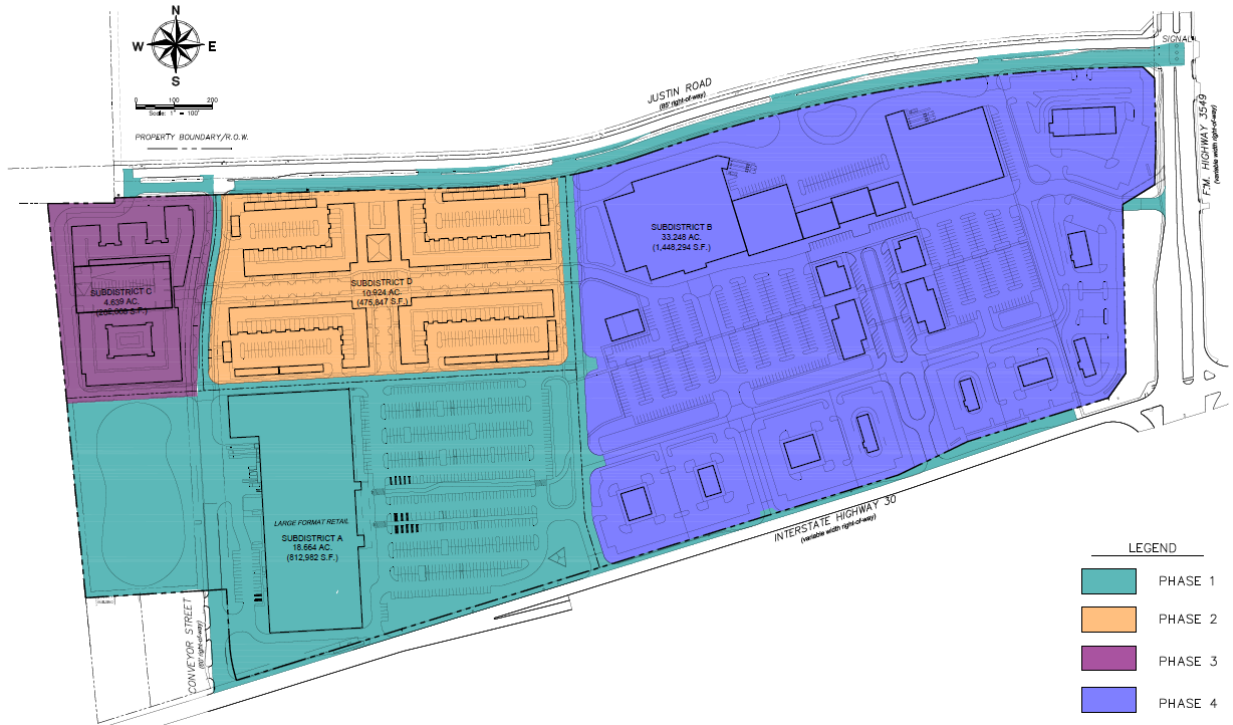
Sincerely,

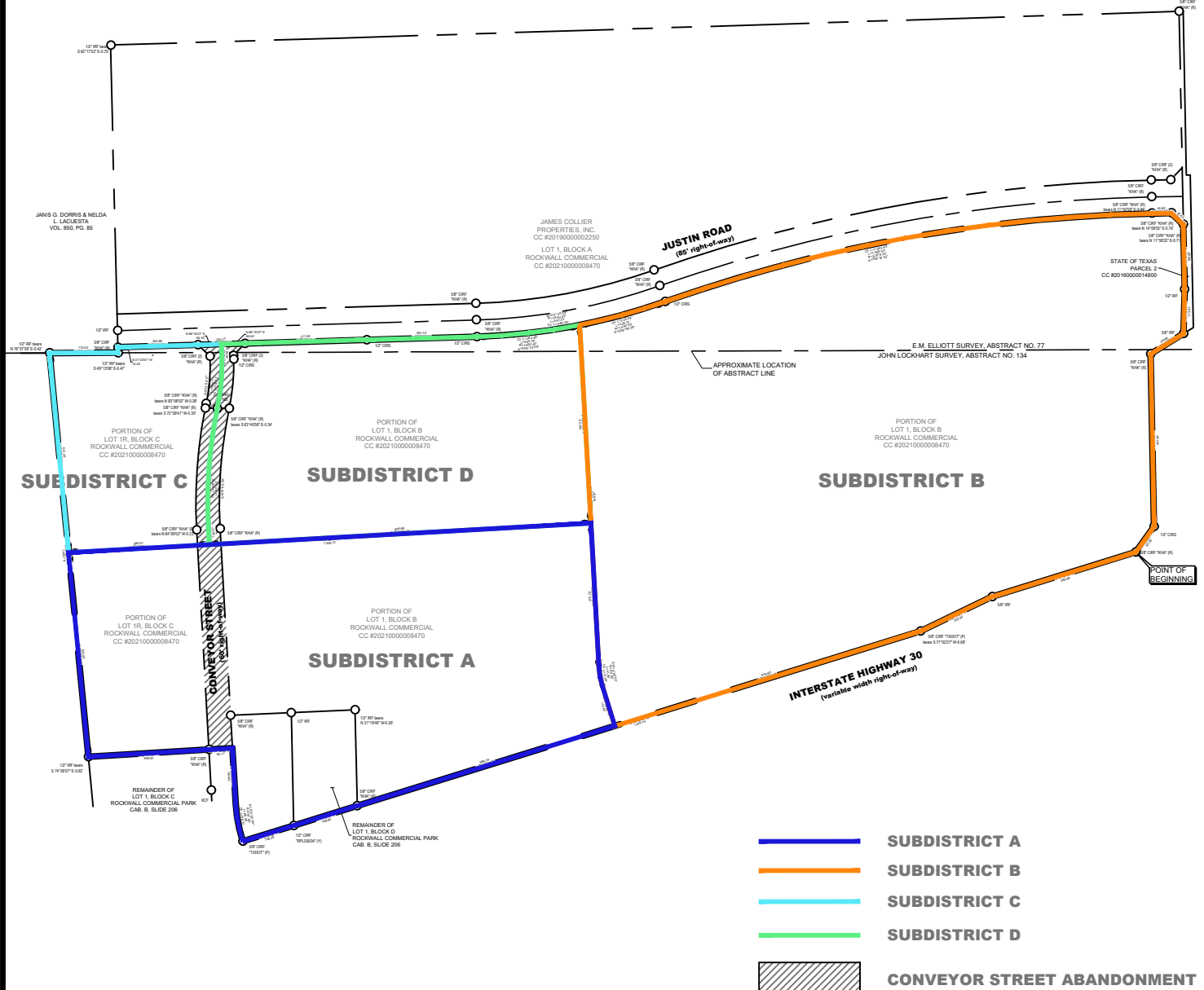
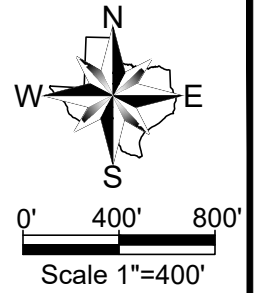
William S. Dahlstrom

William S. Dahlstrom

PLANNED DEVELOPMENT CONCEPT/DEVELOPMENT PLAN INFORMATIONAL STATEMENT

The proposed Planned Development District will feature a prominent regional commercial, retail, entertainment, and residential development, consisting of approximately 67.475 acres, which aligns with the City of Rockwall’s *OURHometown 2040 Vision Comprehensive Plan* (the “Comprehensive Plan”). The Comprehensive Plan identifies this area as an Opportunity Zone within the IH-30 Corridor District, which is a primary retail corridor. Also being within the Strategically Located Property #4 of the IH-30 Corridor District, the Comprehensive Plan notes that “this property is in an ideal location for a large commercial/retail development/regional center.” The proposed development will also include a limited residential use, aligning with the Comprehensive Plan’s description of Special Commercial Corridor which includes Residential as an appropriate secondary use and encompasses this area. The residential component will establish an active and vibrant mixed-use environment consisting of approximately 15.563 acres. The proposed development will occur in multiple phases, with construction of the first phase of development (identified as “Subdistrict A” on the Composite Concept/Development Plan) anticipated to begin in late 2024 or early 2025. The second, third, and fourth phases of development (identified as “Subdistrict D”, “Subdistrict C”, and “Subdistrict B”, respectively, on the Composite Concept/Development Plan) is anticipated to be developed over the next five (5) years, with the entire development estimated to be complete in 2030. Major capital improvements are anticipated to commence construction in late 2024 or early 2025, which will serve each phase of the development. Included below is the PD Composite Concept/Development Plan, overlaid with the proposed Phasing Plan.





- SUBDISTRICT A
- SUBDISTRICT B
- SUBDISTRICT C
- SUBDISTRICT D
- CONVEYOR STREET ABANDONMENT

W Winkelmann & Associates, Inc.
 CONSULTING CIVIL ENGINEERS ■ SURVEYORS
 6750 HILLCREST PLAZA DRIVE, SUITE 215 (972) 490-7090
 DALLAS, TEXAS 75230 (972) 490-7099 FAX
 Texas Engineers Registration No. 89
 Texas Surveyors No. 10086600 Expires 12-31-2024
 COPYRIGHT © 2024, Winkelmann & Associates, Inc.

Scale : 1:400
 Date : 08.14.24
 Dwg. File : 63406-Exhibit B
 Project No. : 63406

EXHIBIT B
SURVEY

PROPERTY BOUNDARY
 67.475 ACRES
 (2,939,199 SQ. FT.)

SHEET
1
OF
1

**EXHIBIT A-1
COMPOSITE LEGAL DESCRIPTION**

**STATE OF TEXAS §
COUNTY OF ROCKWALL §**

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, P.R.R.C.T., and the remainder of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, P.R.R.C.T., and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found for corner;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found for corner;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point for corner;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point for corner;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 1,036.76 feet to a point for corner from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found

for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85-foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 120.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northwest corner of said Lot 1, Block B;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

North 88 deg 16 min 40 sec East, a distance of 311.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 deg 25 min 20 sec East, a distance of 281.12 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 17 deg 40 min 38 sec, a chord bearing of North 79 deg 26 min 21 sec East, and a chord length of 489.38 feet;

Along said curve to the left, an arc distance of 491.33 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 deg 16 min 32 sec, a chord bearing of North 79 deg 44 min 18 sec East, and a chord length of 1,263.93 feet;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 52 min 09 sec East, a distance of 0.84 feet;

North 88 deg 52 min 34 sec East, a distance of 49.83 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 14 deg 09 min 55 sec East, a distance of 0.76 feet, said point being the most Northerly Northeast corner of said Lot 1, Block B, and the Northeast corner of a corner clip, and being situated in the West right-of-way line of said F.M. Highway 3549;

THENCE South 46 deg 07 min 44 sec East, continuing along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, and along the West right-of-way line of said F.M. Highway 3549, and said corner clip, a distance of 42.43 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 58 min 22 sec East, a distance of 0.71 feet, said point being a North corner of said Lot 1, Block B, and the Southeast corner of said corner clip;

THENCE, departing the South right-of-way line of said Justin Road, the North line of said Lot 1, Block B, and said corner clip, continuing along the West right-of-way line of said F.M. Highway 3549 and along the East line of said Lot 1, Block B, the following:

South 01 deg 13 min 54 sec East, a distance of 165.08 feet to a 1/2-inch iron rod found for corner;

South 01 deg 26 min 27 sec West, a distance of 113.61 feet to a 5/8-inch iron rod found for corner;

South 58 deg 12 min 56 sec West, a distance of 98.69 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 01 deg 07 min 09 sec East, a distance of 441.34 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" for corner, said iron rod being situated in the North right-of-way line of said Interstate Highway 30, and being the Northeast corner of a corner clip;

THENCE South 35 deg 33 min 35 sec West, continuing along the West right-of-way line of said F.M. Highway 3549, and along said corner clip, a distance of 80.25 feet to the POINT OF BEGINNING.

CONTAINING 67.475 acres or 2,939,199 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

EXHIBIT A-2
SUBDISTRICT A LEGAL DESCRIPTION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEING a tract of land situated in the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, P.R.R.C.T., and the remainder of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, P.R.R.C.T., and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

COMMENCING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 818.60 feet to a point for corner, said point being the POINT OF BEGINNING;

South 72 deg 46 min 18 sec West, a distance of 689.14 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found for corner;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point for corner;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point for corner;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 524.43 feet to a point for corner;

THENCE departing said common line and over and across said Lot 1R, Block C, and said Lot 1, Block B, the following:

North 86 deg 46 min 37 sec East, a distance of 1,336.70 feet to a point for corner;

South 03 deg 13 min 23 sec East, a distance of 372.72 feet to a point for corner and being the beginning of a curve to the left having a radius of 170.00 feet, a central angle of 14 deg 00 min 30 sec, a chord bearing of South 10 deg 13 min 37 sec East, and a chord length of 41.46 feet;

Along said curve to the left, an arc distance of 41.56 feet to a point for corner;
South 17 deg 13 min 42 sec East, a distance of 110.45 feet to the POINT OF
BEGINNING.

CONTAINING 18.664 acres or 812,982 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

**EXHIBIT A-3
SUBDISTRICT B LEGAL DESCRIPTION**

**STATE OF TEXAS §
COUNTY OF ROCKWALL §**

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found for corner;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 818.60 feet to a point for corner;

THENCE departing the North right-of-way line of said Interstate Highway 30, and the South line of said Lot 1, Block B, and over and across said Lot 1, Block B, the following:

North 17 deg 13 min 42 sec West, a distance of 110.45 feet to a point for corner, and being the beginning of a curve to the right having a radius of 170.00 feet, a central angle of 14 deg 00 min 30 sec, a chord bearing of North 10 deg 13 min 37 sec West, and a chord length of 41.46 feet;

Along said curve to the right, an arc distance of 41.56 feet to a point for corner;

North 03 deg 13 min 23 sec West, a distance of 879.97 feet to a point for corner, said point being situated in the North line of said Lot 1, Block B, and the South right-of-way line of Justin Road, an 85-foot right-of-way, said point being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 08 deg 08 min 09 sec, a chord bearing of North 74 deg 40 min 07 sec East, and a chord length of 225.94 feet;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

Along said curve to the left, an arc distance of 226.13 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 deg 16 min 32 sec, a chord bearing of North 79 deg 44 min 18 sec East, and a chord length of 1,263.93 feet;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 52 min 09 sec East, a distance of 0.84 feet;

North 88 deg 52 min 34 sec East, a distance of 49.83 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 14 deg 09 min 55 sec East, a distance of 0.76 feet, said point being the most Northerly Northeast corner of said Lot 1, Block B, and the Northeast corner of a corner clip, and being situated in the West right-of-way line of said F.M. Highway 3549;

THENCE South 46 deg 07 min 44 sec East, continuing along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, and along the West right-of-way line of said F.M. Highway 3549, and said corner clip, a distance of 42.43 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 58 min 22 sec East, a distance of 0.71 feet, said point being a North corner of said Lot 1, Block B, and the Southeast corner of said corner clip;

THENCE, departing the South right-of-way line of said Justin Road, the North line of said Lot 1, Block B, and said corner clip, continuing along the West right-of-way line of said F.M. Highway 3549 and along the East line of said Lot 1, Block B, the following:

South 01 deg 13 min 54 sec East, a distance of 165.08 feet to a 1/2-inch iron rod found for corner;

South 01 deg 26 min 27 sec West, a distance of 113.61 feet to a 5/8-inch iron rod found for corner;

South 58 deg 12 min 56 sec West, a distance of 98.69 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 01 deg 07 min 09 sec East, a distance of 441.34 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" for corner, said iron rod being situated in the North right-of-way line of said Interstate Highway 30, and being the Northeast corner of a corner clip;

THENCE South 35 deg 33 min 35 sec West, continuing along the West right-of-way line of said F.M. Highway 3549, and along said corner clip, a distance of 80.25 feet to the POINT OF BEGINNING.

CONTAINING 33.248 acres or 1,448,294 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

EXHIBIT A-4
SUBDISTRICT C LEGAL DESCRIPTION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

COMMENCING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a

radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 524.43 feet to a point for corner, said point being the POINT OF BEGINNING;

THENCE North 05 deg 29 min 52 sec West, continuing along the common line of said Lot 1R, Block C, and said Rockwall 549/I-30 Partners LP tract, a distance of 512.33 feet to a point for corner from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85-

foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 60.16 feet to a point for corner situated in the approximate centerline of said Conveyors Street;

THENCE along the approximate centerline of said Conveyors Street and over and across said Lot 1R, Block C, the following:

South 01 deg 43 min 20 sec East, a distance of 39.59 feet to a point for corner, and being the beginning of a curve to the right having a radius of 500.00 feet, a central angle of 13 deg 38 min 17 sec, a chord bearing of South 05 deg 05 min 49 sec West, and a chord length of 118.73 feet;

Along said curve to the right, an arc distance of 119.01 feet to a point for corner, and being the beginning of a curve to the left having a radius of 1,199.92 feet, a central angle of 15 deg 08 min 20 sec, a chord bearing of South 04 deg 20 min 47 sec West, and a chord length of 316.12 feet;

Along said curve to the left, an arc distance of 317.05 feet to a point for corner;

South 03 deg 13 min 23 sec East, a distance of 39.51 feet to a point for corner;

South 86 deg 46 min 37 sec West, a distance of 360.01 feet to the POINT OF BEGINNING.

CONTAINING 4.639 acres or 202,068 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

EXHIBIT A-5
SUBDISTRICT D LEGAL DESCRIPTION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and a portion of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 20210000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

COMMENCING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a

radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/I-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 1,036.76 feet to a point from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85-foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 60.16 feet to a point for corner situated in the approximate centerline of said Conveyors Street, said being the POINT OF BEGINNING;

THENCE North 88 deg 16 min 27 sec East, departing the approximate centerline and over and across said Conveyors Street, a distance of 60.00 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northwest corner of said Lot 1, Block B;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

North 88 deg 16 min 40 sec East, a distance of 311.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 deg 25 min 20 sec East, a distance of 281.12 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 09 deg 32 min 29 sec, a chord bearing of North 83 deg 30 min 26 sec East, and a chord length of 264.89 feet;

Along said curve to the left, an arc distance of 265.19 feet to a point for corner;

THENCE departing the North line of said Lot 1, Block B, and the South right-of-way of said Justin Road, and over and across said Lot 1, Block B, the following:

South 03 deg 13 min 23 sec East, a distance of 507.25 feet to a point for corner;

South 86 deg 46 min 37 sec West, a distance of 976.69 feet to a point for corner situated in the approximate centerline of said Conveyors Street;

THENCE along the approximate centerline of said Conveyors Street, the following:

North 03 deg 13 min 23 sec West, a distance of 39.51 feet to a point for corner and being the beginning of a curve to the right having a radius of 1,199.92 feet, a central angle of 15 deg 08 min 20 sec, a chord bearing of North 04 deg 20 min 47 sec East, and a chord length of 316.12 feet;

Along said curve to the right, an arc distance of 317.05 feet to a point for corner and being the beginning of a curve to the left having a radius of 500.00 feet, a central angle of 13 deg 38 min 17 sec, a chord bearing of North 05 deg 05 min 49 sec East, and a chord length of 118.73 feet;

Along said curve to the left, an arc distance of 119.01 feet to a point for corner;

North 01 deg 43 min 20 sec West, a distance of 39.59 feet to the POINT OF BEGINNING.

CONTAINING 10.924 acres or 475,847 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

TRACT 4: CONVEYOR STREET (TO BE ABANDONED):

BEING a tract of land situated in the E.M. Elliot Survey, Abstract No. 77, and the John Lockhart, Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, and being a portion of Conveyors Street (60' wide public right-of-way)(Cabinet B, Slide 206, Plat Records, Rockwall County, Texas) and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northwest corner of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20210000008470, said Plat Records, common to the north corner of a corner clip at the intersection of the southerly right-of-way line of Justin Road (85' wide public right-of-way)(Instrument No. 20210000008470, said Plat Records) and the easterly right-of-way line of said Conveyors Street;

THENCE South 43°16'40" West, with said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the south corner of said corner clip;

THENCE with the common line of said Lot 1, Block B and said Conveyors Street the following courses and distances:

South 01°43'20" East, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of South 05°05'50" West, 125.86 feet;

In a southerly direction, with said tangent curve to the right, an arc distance of 126.15 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of South 04°20'45" West, 308.22 feet;

In a southerly direction, with said reverse curve to the left, an arc distance of 309.12 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 03°13'23" East, passing at a distance of 478.23 feet a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the westernmost southwest corner of said Lot 1, Block B, and continuing along the same course and with the common line of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, said Plat Records, for a total distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

THENCE South 86°46'37" West, departing said common line and crossing said Conveyors Street, a distance of 60.00 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the southeast corner of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 20210000008470, said Plat Records, same being the northeast corner of a tract of land described in a deed to Donna Cullins Pritchard and Kimberly Cullins Collichio, recorded in Volume 7346, Page 158, Real Property Records, Rockwall County, Texas;

THENCE with the common line of said Lot 1R, Block C and said Conveyors Street the following courses and distances:

North 03°13'23" West, a distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,230.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'47" East, 324.03 feet;

**EXHIBIT A
RIGHT-OF-WAY ABANDONMENT
1.451 ACRES
E.M. ELLIOT SURVEY, A-77 &
JOHN LOCKHART SURVEY, A-134
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS**

MICHAEL MARX
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5181
6160 WARREN PKWY., SUITE 210
FRISCO, TEXAS 75034
PH. 972-335-3580
michael.marx@kimley-horn.com

Kimley»Horn		6160 Warren Parkway, Suite 210 Frisco, Texas 75034		FIRM # 10193822		Tel. No. (972) 335-3580 Fax No. (972) 335-3779	
		Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	JMH	KHA	Jan. 2024	063942002	1 OF 3		

HOEFNER, JOHN 1/17/2024 11:31 AM K:\FRI_SURVEY\063942002-ROCKWALL COMMERCIAL BLOCK B LOT 1 - ROCKWALL\DWG\063942002 CONVEYORS ABND EX.DWG

In a northerly direction, with said tangent curve to the right, an arc distance of 324.97 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 470.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'49" East, 111.61 feet;

In a northerly direction, with said reverse curve to the left, an arc distance of 111.87 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

North 01°43'20" West, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the easternmost northeast corner of said Lot 1R, Block C, common to the south corner of a corner clip at the intersection of the westerly right-of-way line of said Lot 1R, Block C and the southerly right-of-way line of said Justin Road;

THENCE North 46°43'20" West, along said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northeast corner of said Lot 1R, Block C, common to the north corner of said corner clip;

THENCE North 88°16'40" East, crossing said Conveyors Street, a distance of 120.00 feet to the **POINT OF BEGINNING** and containing 63,187 square feet or 1.451 acres of land, more or less.

EXHIBIT A
RIGHT-OF-WAY ABANDONMENT
1.451 ACRES
E. M. ELLIOT SURVEY, A-77 &
JOHN LOCKHART SURVEY, A-134
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

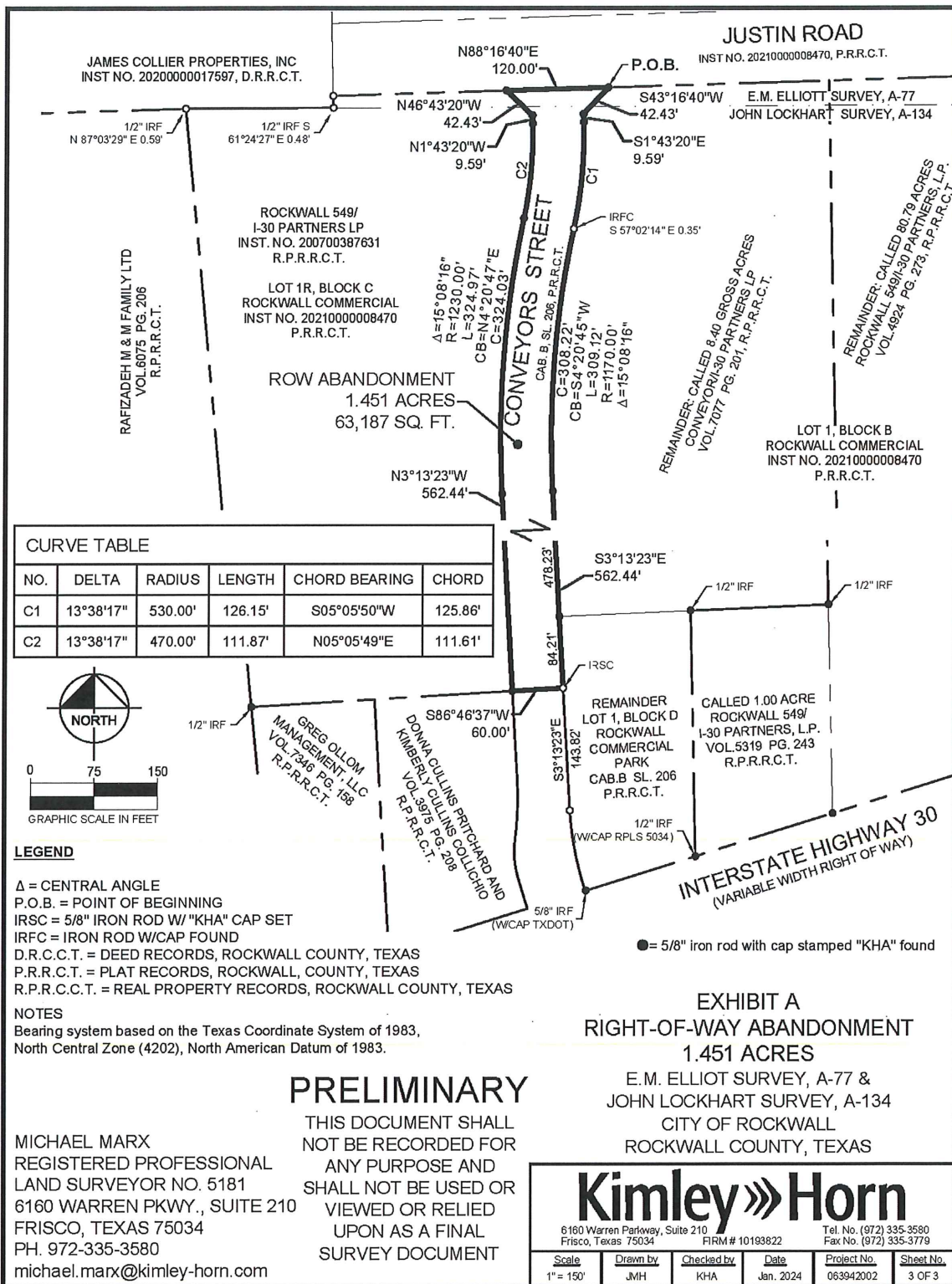
PRELIMINARY

THIS DOCUMENT SHALL
NOT BE RECORDED FOR
ANY PURPOSE AND
SHALL NOT BE USED OR
VIEWED OR RELIED
UPON AS A FINAL
SURVEY DOCUMENT

MICHAEL MARX
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5181
6160 WARREN PKWY., SUITE 210
FRISCO, TEXAS 75034
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michael.marx@kimley-horn.com

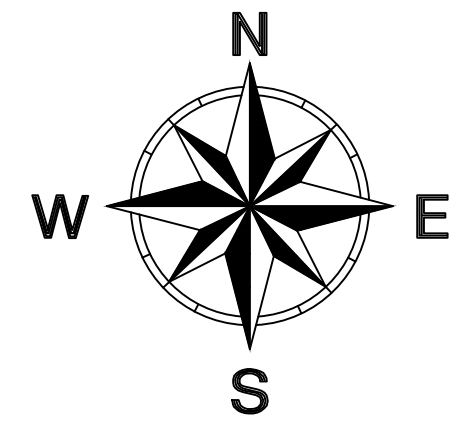
Kimley»Horn					
6160 Warren Parkway, Suite 210 Frisco, Texas 75034		FIRM # 10193822		Tel. No. (972) 335-3580 Fax No. (972) 335-3779	
<u>Scale</u>	<u>Drawn by</u>	<u>Checked by</u>	<u>Date</u>	<u>Project No.</u>	<u>Sheet No.</u>
N/A	JMH	KHA	Jan. 2024	063942002	2 OF 3

HOEFNER, JOHN 1/17/2024 11:31 AM K\FRI_SURVEY\063942002-ROCKWALL COMMERCIAL BLOCK B LOT 1 - ROCKWALL\DWG\063942002 CONVEYORS ABND EX.DWG



HOEFNER JOHN 1/17/2024 11:32 AM K\FRI SURVEY\063942002-ROCKWALL COMMERCIAL BLOCK B LOT 1 - ROCKWALL\DWG\063942002 CONVEYORS ABND EX DWG





0 100 200
Scale: 1" = 100'

PROPERTY BOUNDARY/R.O.W.

JUSTIN ROAD
(85' right-of-way)

F.M. HIGHWAY 3549
(variable width right-of-way)

INTERSTATE HIGHWAY 30
(variable width right-of-way)

SUBDISTRICT C
4.639 AC.
(202,008 S.F.)

SUBDISTRICT D
10.924 AC.
(475,847 S.F.)

SUBDISTRICT B
33.248 AC.
(1,448,294 S.F.)

LARGE FORMAT RETAIL
SUBDISTRICT A
18.664 AC.
(812,982 S.F.)

CONVEYOR STREET
(60' right-of-way)

LEGEND

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4

ROCKWALL HEIGHTS
GFFdesign

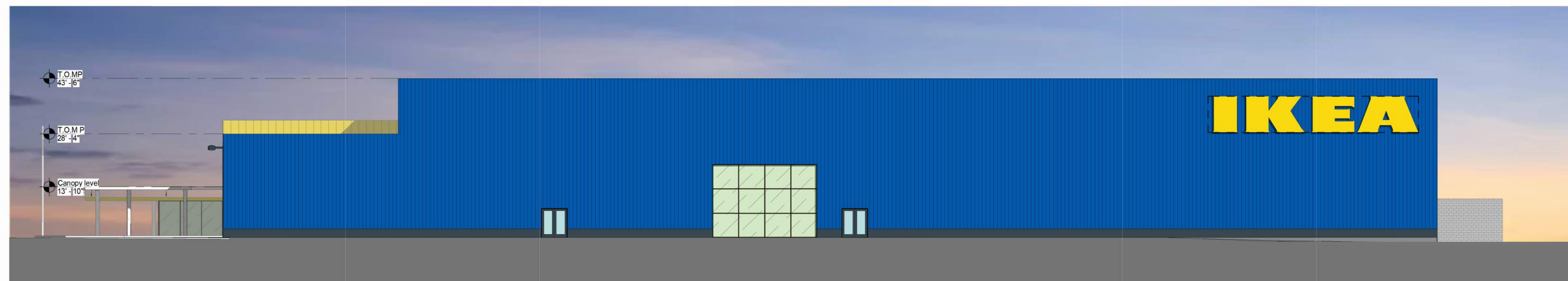


EXHIBIT E
PHASING PLAN

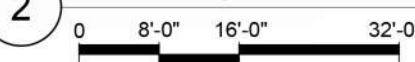




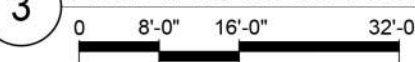
1 EXTERIOR ELEVATION - EAST



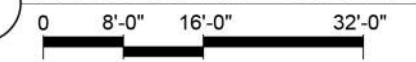
2 EXTERIOR ELEVATION - NORTH



3 EXTERIOR ELEVATION - SOUTH

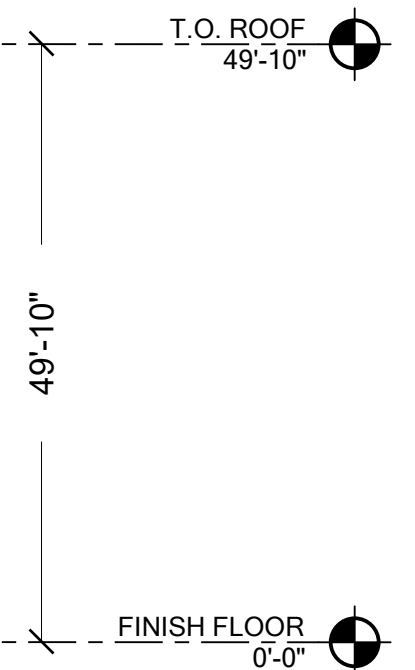


5 ELEVATION - SIGN BOARD - FUTURE



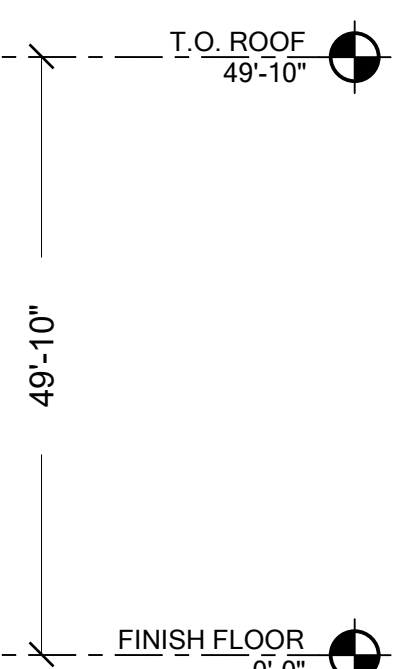
4 EXTERIOR ELEVATION - WEST





NORTH STREET FACING

SCALE: 1/16" = 1'-0"



SOUTH STREET FACING

SCALE: 1/16" = 1'-0"



EAST STREET FACING

SCALE: 1/16" = 1'-0"



WEST

SCALE: 1/16" = 1'-0"



NORTH STREET FACING

SCALE: 1/16" = 1'-0"



SOUTH INTERNAL PARKING COURT

SCALE: 1/16" = 1'-0"



EAST STREET FACING

SCALE: 1/16" = 1'-0"



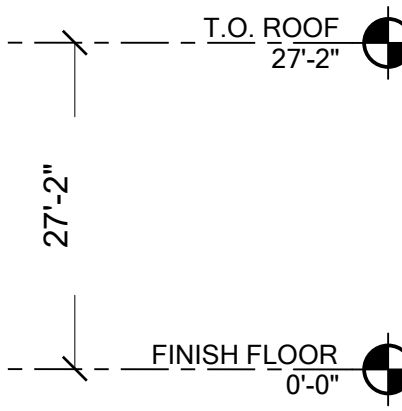
WEST INTERNAL PARKING COURT

SCALE: 1/16" = 1'-0"



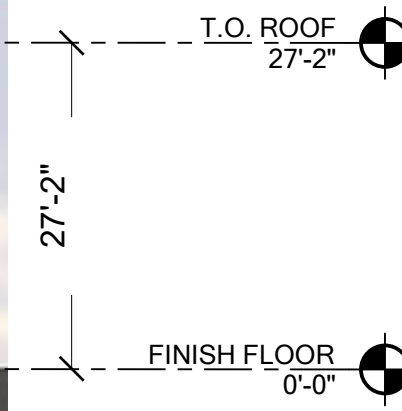
NORTH STREET FACING

SCALE: 1/16" = 1'-0"



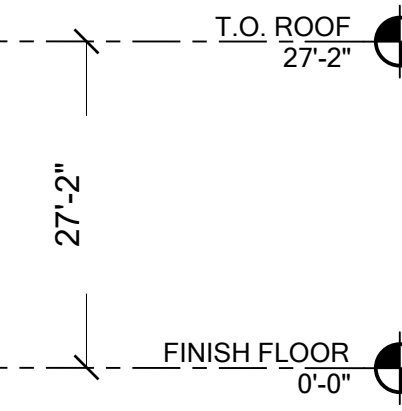
EAST INTERNAL PARKING COURT

SCALE: 1/8" = 1'-0"



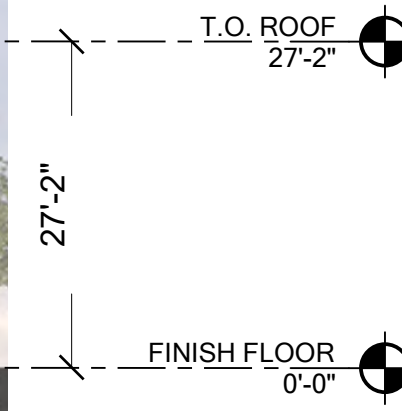
SOUTH INTERNAL PARKING COURT

SCALE: 1/16" = 1'-0"



WEST STREET FACING

SCALE: 1/8" = 1'-0"





SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH POOL FACING

SCALE: 1/16" = 1'-0"



EAST

SCALE: 1/16" = 1'-0"



SOUTH STREET FACING

SCALE: 1/16" = 1'-0"



WEST

SCALE: 1/16" = 1'-0"



















EXAMPLE - JUNIOR ANCHOR



EXAMPLE - OMNI RETAIL



EXAMPLE - MAIN ENTRY



EXAMPLE - STODGHILL RD ENTRY



EXAMPLE - PAD SITE (LOGO CAN BE REMOVED)

General Site Data	Subdistrict A	Subdistrict C	Subdistrict D
Zoning (from zoning map)	PD [COMMERCIAL (C) DISTRICT USED AS BASE OF DESIGN]	FOR BOTH SUBDISTRICTS C & D, THE BASE ZONING IS PROPOSED AS A COMMERCIAL (C) DISTRICT	FOR BOTH SUBDISTRICTS C & D, THE BASE ZONING IS PROPOSED AS A COMMERCIAL (C) DISTRICT
Land Use (from Zoning Ordinance; include all applicable uses)	LARGE FORMAT RETAIL; WAREHOUSE/DISTRIBUTION	MULTIFAMILY (WRAP)	MULTIFAMILY (TUCK UNDER)
Lot Area (square feet & acres) *Confirmed by Civil	812,982 SF 18.7 AC	202,068 SF 4.64 AC	475,847 SF 10.92 AC
Building Footprint Area (square feet)	161,069 SF	101,415 SF	126,775 SF
Total Building Area (square feet)	161,069 GSF	282,000 GSF	297,150 GSF
Building Height (# stories)	3 STORIES	5 STORIES	3 STORIES
Building Height (feet – distance to tallest building element)	43'-6"	65'	45'
Lot Coverage (percent – x.xx%)	19.81%	50.19%	26.64%
Floor Area Ratio (ratio x.xx:1)	1:1	1.4:1	0.62:1
Residential Density (Units/Acreage)	0 UNITS/ACRE	54 UNITS/ACRE	23 UNITS/ACRE
Multifamily Units			
Total Unit Count	0	250	235
Unit Types	0	250 APARTMENTS	120 APARTMENTS, 115 TOWNHOMES
Residential Density (Units/Net Acreage) Net Acreage = Total acreage minus streets and open space	0	55 UNITS/ACRE	23 UNITS/ACRE
Parking			
Parking Ratio (Proposed)	1 SPACE / 250 SF	1.5 SPACES / UNIT	1.5 SPACES / UNIT
Required Parking (# spaces)	645 SPACES	375 SPACES	375 SPACES
Provided Parking (# spaces)	650 SPACES	386 SPACES: 379 GARAGE SPACES, 8 PARALLEL	435 SPACES: 203 SURFACE, 40 TUCK-UNDER STALLS, 172 TOWNHOME GARAGE STALLS, 20 PARELLEL
Accessible Parking Required (# spaces)	13 SPACES	8 SPACES	9 SPACES
Accessible Parking Provided (# spaces)	13 SPACES	8 SPACES	9 SPACES
Open Space			
Open Space Required (13.5%)	109,752.5 SF	27,279.6 SF	64,239.3 SF
Open Space Provided	315,665.92 SF	60,036.14 SF	111,150.18 SF

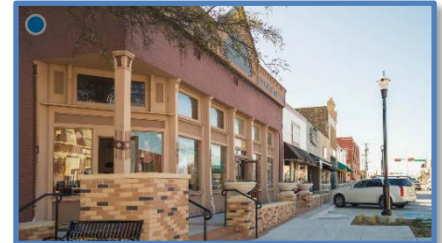
The *Downtown* land use designation should include a mixture of land uses that are complementary to the existing development pattern and are intended to add to the attractive, pedestrian-oriented environment of Rockwall's historic downtown. In addition, this area is the historic core of the City and should continue to be a symbol of community life in Rockwall. The policies adopted in Appendix 'C', *Small Area Plans*, of this Comprehensive Plan should generally regulate this land use designation.

DESIGNATION CHARACTERISTICS

- 1 *Primary Land Uses:* Retail, Office, Restaurant and Residential Land Uses
- 2 *Secondary Land Uses:* Institutional/Civic Land Uses
- 3 *Zoning Districts:* Downtown (DT) District

EXISTING LAND USE EXAMPLES

- 1 Downtown Square and Surrounding Areas



SPECIAL COMMERCIAL CORRIDOR (SC)

The *Special Commercial Corridor* land use designation is intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region. This area should include the recommendations contained in Appendix 'B', *Corridor Plans*, of this Comprehensive Plan.

DESIGNATION CHARACTERISTICS

- 1 *Primary Land Uses:* Regional Shopping Centers, Entertainment, Retail, Personal Services, Restaurant, Corporate Offices, Employment and Recreation Land Uses
- 2 *Secondary Land Uses:* Residential, Open Space, Parks, Trails, Banks, Service Stations and Institutional/Civic Land Uses (Secondary Land Uses should be integrated into a Larger Development)
- 3 *Zoning Districts:* Commercial (C) District and Planned Development (PD) District

EXISTING LAND USE EXAMPLES

- 1 IH-30 Corridor

PUBLIC LAND AND OPEN SPACE

PARKS AND OPEN SPACE (OS)

The *Parks and Open Space* land use designation includes all floodplains and major public open spaces (e.g. neighborhood parks, community parks, greenbelts, trail systems, etc.). These areas should be preserved and are intended to provide citywide recreation/trail opportunities and natural drainage areas that help define the character of Rockwall.

DESIGNATION CHARACTERISTICS

- 1 *Primary Land Uses:* Floodplain, Open Space, Parks, and Trails Land Uses
- 2 *Secondary Land Uses:* N/A
- 3 *Zoning Districts:* N/A

EXISTING LAND USE EXAMPLES

- 1 Harry Myers Park



PUBLIC (P)

The *Public* land use designation includes uses that are operated exclusively by a public body that serve the public's health, safety or general welfare. This land use designation includes land uses such as public schools, libraries, the airport, the City's administrative and service facilities, and any other state or federal facilities.

DESIGNATION CHARACTERISTICS

- 1 *Primary Land Uses:* Schools, Libraries, Fire Stations, Pump Stations, Water Towers, Police Stations, City Administrative Offices, and County, State or Federal Facilities
- 2 *Secondary Land Uses:* Open Space, Parks, and Trails Land Uses
- 3 *Zoning Districts:* N/A

EXISTING LAND USE EXAMPLES

- 1 City Place
- 2 County Courthouse
- 3 Municipal Courts Building

QUASI-PUBLIC (QP)



06 IH-30 CORRIDOR DISTRICT

DISTRICT DESCRIPTION

The IH-30 Corridor is the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial. In the future the health of the IH-30 corridor is vital to maintaining a high per capita sales tax for the City of Rockwall.

POINTS OF REFERENCE

- A. Lake Point Church
- B. Rochell Elementary School
- C. Walmart
- D. Costco

LAND USE PALETTES

- Current Land Use
- Future Land Use
- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon
- IH-30 Corridor Plan Eastern Entry Portals



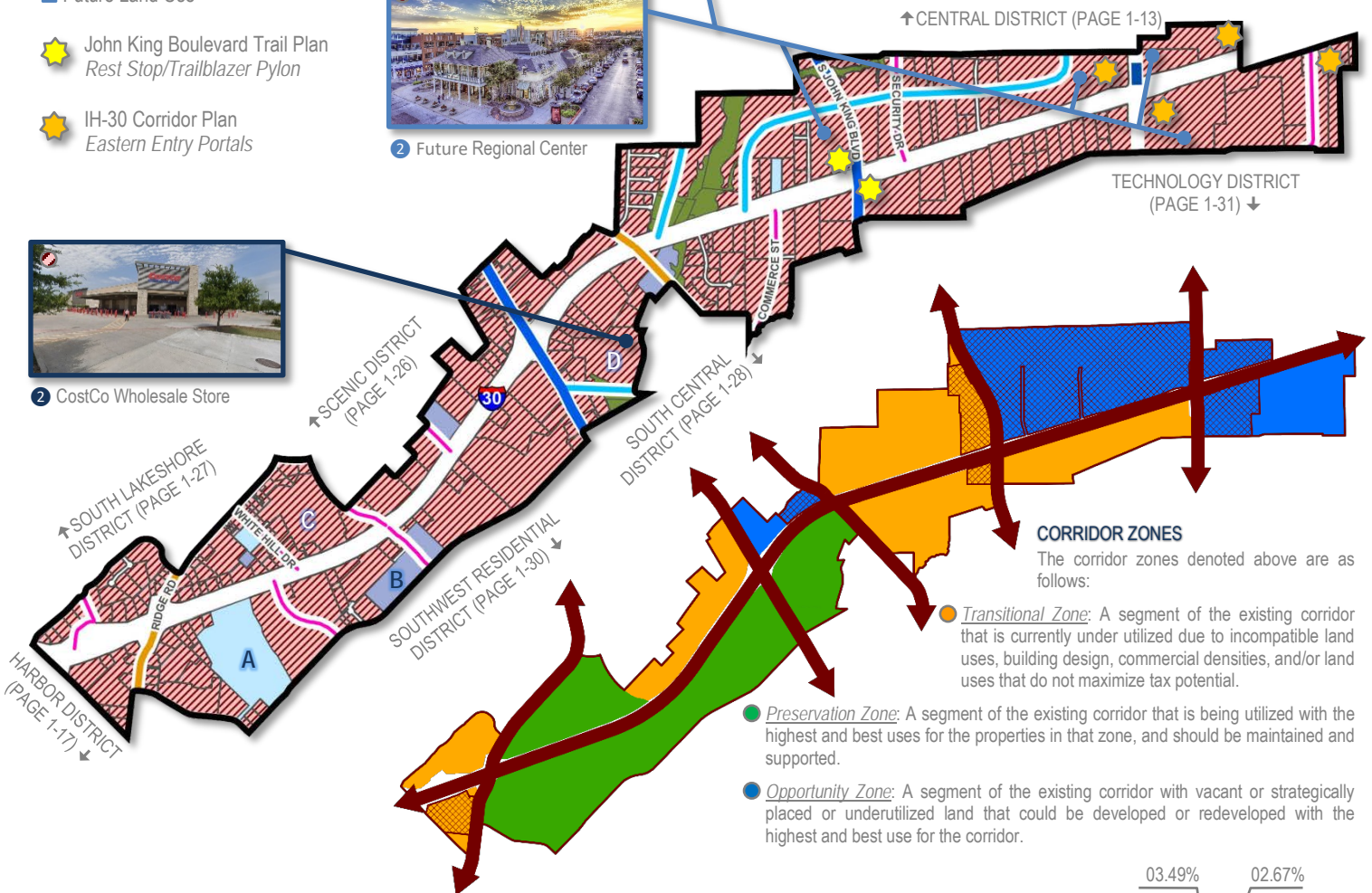
2/3 Future Regional Center



2 Future Regional Center



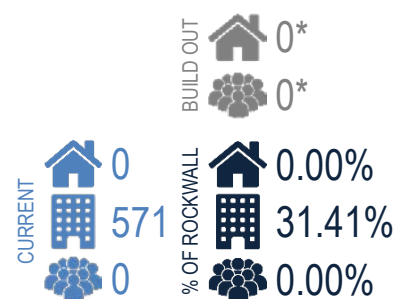
2 Costco Wholesale Store



CORRIDOR ZONES

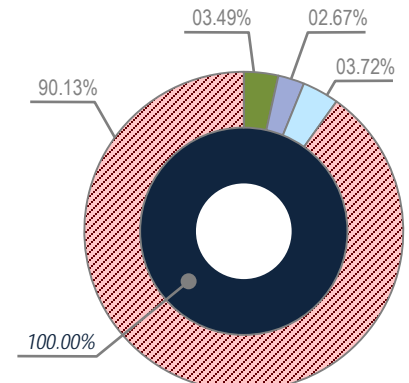
The corridor zones denoted above are as follows:

- **Transitional Zone:** A segment of the existing corridor that is currently under utilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.
- **Preservation Zone:** A segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported.
- **Opportunity Zone:** A segment of the existing corridor with vacant or underutilized land that could be developed or redeveloped with the highest and best use for the corridor.



LAND USE	PERCENTAGE	ACRES
COMMERCIAL	100.00%	
RESIDENTIAL	0.00%	
MIXED USE	0.00%	
PARKS AND OPEN SPACE (OS)		37.03-ACRES
PUBLIC (P)		28.31-ACRES
QUASI-PUBLIC (QP)		39.49-ACRES
SPECIAL COMMERCIAL CORRIDOR (SC)		957.15-ACRES

ROAD TYPE
MINOR COLLECTOR
M4U
M4D
P6D
TXDOT 4D



DISTRICT STRATEGIES

The IH-30 Corridor District will continue to be the City's primary retail corridor in the future. Based on this the following strategies should be employed:

- 1 **Corridor Strategies.** The specific goals and policies contained in Section 02.01, *IH-30 Corridor Plan*, of Appendix 'B', *Corridor Plans*, of this Comprehensive Plan should be considered when reviewing new development within the IH-30 Corridor.
- 2 **Regional Center.** In accordance with the *IH-30 Corridor Plan*, a regional center should be located on each of the properties denoted in the red cross hatch (⊠) in the Corridor Zones map below. These regional centers should generally follow one (1) of the four (4) models identified in the *IH-30 Corridor Plan* (i.e. *Strip Retail Center*, *Mixed-Use Center*, *Town Center*, or *Regional Designation Center* models).
- 3 **Open Space.** Large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields.
- 4 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CLOSING, ABANDONING AND VACATING THE DEDICATED PUBLIC RIGHT-OF-WAY FOR CONVEYOR STREET MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND DEPICTED EXHIBIT 'B' OF THIS ORDINANCE AND CONVEYING THE RIGHT-OF-WAY TO THE ADJACENT PROPERTY OWNER; IDENTIFYING A MUNICIPAL PURPOSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Subsection 311.007, *Closing of Street or Alley by Home-Rule Municipality*, of Chapter 311, *General Provisions Relating to Municipal Streets*, of the Texas Transportation Code grants a home-rule municipality the powers to vacate, abandon, or close a street or alleyway; and,

WHEREAS, Section 272.001(b) of the Texas Local Government Code provides that land -- *including streets or alleys* -- owned in fee or used by easement by a political subdivision of the state, may be conveyed, sold or exchanged for less than fair market value with one or more of the abutting property owners who own the underlying fee; and,

WHEREAS, the City of Rockwall currently incurs costs annually associated with the maintenance (*i.e. mowing*) of the dedicated public right-of-way for Conveyor Street -- *described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance* -- which is currently a public roadway; and,

WHEREAS, the City Council of the City of Rockwall has determined that the dedicated public right-of-way -- *described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance* -- is no longer needed for public purposes, and finds that it is in the best interest of the City to convey the roadway to the adjacent and abutting property owner; and,

WHEREAS, with proper notice to the public, a public hearing was held on February 20, 2024 at a meeting of the City Council of the City of Rockwall, during which all interested parties and citizens were allowed to appear and be heard; and,

WHEREAS, the City of Rockwall has determined that it is feasible and advantageous to abandon this City property subject to the terms and conditions set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. PROPERTY. The *Property* shall be as described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, and shall be incorporated by reference herein.

SECTION 2. QUITCLAIM. Section 272.001(b) of the Texas Local Government Code allows the City the power to convey city-owned property at less than fair market value to the abutting property owners. The Mayor of the City of Rockwall or the City Manager, as the case may be, are authorized to quitclaim the *Property* described in *Section 1* hereof to the abutting property owner upon the approval of this ordinance.

SECTION 3. LIMITATIONS. The abandonment of the *Property* shall extend only to the public right, title and easement in and to the tracts of land described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, and shall be construed only to that interest the governing body of the City may legally and

lawfully abandon.

SECTION 4. MUNICIPAL PURPOSE. The *Property* described in *Section 1*, save and except the municipal utility easements located thereon, is no longer needed for municipal purposes and it is in the public interest of the City, to abandon said described portions of the right-of-way as depicted in *Exhibit 'C'* to the adjacent and abutting property owners.

SECTION 5. SCOPE. That the abandonment provided for herein shall extend only to the public right, title and easement in and to the tracts of land described in *Section 1* of this ordinance, and shall be construed only to that interest the governing body of the City of Rockwall may legally and lawfully abandon.

SECTION 6. EXCEPTIONS. In addition to the express reservations provided for in *Section 1* hereof, the conveyance is made subject to any and all valid, conditions, easements, restrictions and the like, whether record or not in the real property records of Rockwall County Texas.

SECTION 7. INCORPORATION OF RECITALS. The City Council finds the recitals contained in the preamble to this *Ordinance* are true and correct and incorporates them as findings of fact.

SECTION 8. SAVINGS CLAUSE. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 9. REPEALING ORDINANCES IN CONFLICT. All ordinances or parts of ordinances in conflict herewith are hereby repealed to the extent of such conflict.

SECTION 10. EFFECTIVE DATE. This *Ordinance* shall be effective immediately following its passage and approval by the City Council.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF OCTOBER, 2024.

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 16, 2024

2nd Reading: October 7, 2024

DRAFT
ORDINANCE
09.10.2024

Exhibit 'A'
Legal Description

BEING a tract of land situated in the E.M. Elliot Survey, Abstract No. 77, and the John Lockhart, Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas, and being a portion of Conveyors Street (60' wide public right-of-way) (Cabinet B, Slide 206, Plat Records, Rockwall County, Texas) and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northwest corner of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2021000008470, said Plat Records, common to the north corner of a corner clip at the intersection of the southerly right-of-way line of Justin Road (85' wide public right-of-way) (Instrument No. 2021000008470, said Plat Records) and the easterly right-of-way line of said Conveyors Street;

THENCE South 43°16'40" West, with said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the south corner of said corner clip;

THENCE with the common line of said Lot 1, Block B and said Conveyors Street the following courses and distances:

South 01°43'20" East, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of South 05°05'50" West, 125.86 feet;

In a southerly direction, with said tangent curve to the right, an arc distance of 126.15 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of South 04°20'45" West, 308.22 feet;

In a southerly direction, with said reverse curve to the left, an arc distance of 309.12 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 03°13'23" East, passing at a distance of 478.23 feet a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the westernmost southwest corner of said Lot 1, Block B, and continuing along the same course and with the common line of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, said Plat Records, for a total distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

THENCE South 86°46'37" West, departing said common line and crossing said Conveyors Street, a distance of 60.00 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the southeast corner of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Instrument No. 2021000008470, said Plat Records, same being the northeast corner of a tract of land described in a deed to Donna Cullins Pritchard and Kimberly Cullins Collichio, recorded in Volume 7346, Page 158, Real Property Records, Rockwall County, Texas;

THENCE with the common line of said Lot 1R, Block C and said Conveyors Street the following courses and distances:

North 03°13'23" West, a distance of 562.44 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,230.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'47" East, 324.03 feet;

In a northerly direction, with said tangent curve to the right, an arc distance of 324.97 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found at the beginning of a reverse curve to the left with a radius of 470.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'49" East, 111.61 feet;

In a northerly direction, with said reverse curve to the left, an arc distance of 111.87 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

Exhibit 'A'
Legal Description

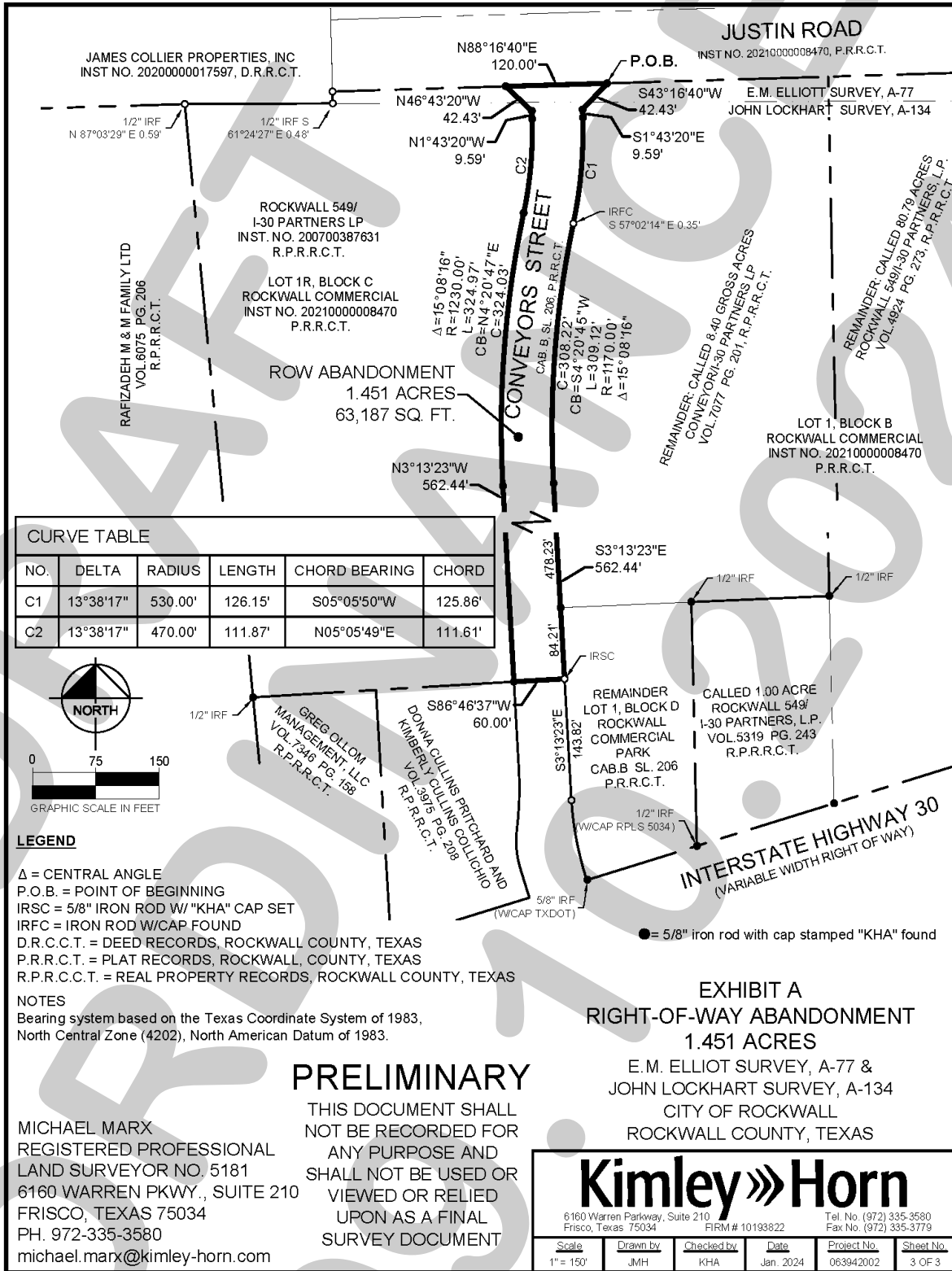
North 01°43'20" West, a distance of 9.59 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the easternmost northeast corner of said Lot 1R, Block C, common to the south corner of a corner clip at the intersection of the westerly right-of-way line of said Lot 1R, Block C and the southerly right-of-way line of said Justin Road;

THENCE North 46°43'20" West, along said corner clip, a distance of 42.43 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the northernmost northeast corner of said Lot 1R, Block C, common to the north corner of said corner clip;

THENCE North 88°16'40" East, crossing said Conveyors Street, a distance of 120.00 feet to the **POINT OF BEGINNING** and containing 63,187 square feet or 1.451 acres of land, more or less.

DRAFT
ORDINANCE
09.10.2024

Exhibit 'B'
**Dedicated Public Right-of-Way to be
 Abandoned**



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A COMMERCIAL (C) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR COMMERCIAL (C) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 67.475-ACRE TRACT OF LAND IDENTIFIED AS LOT 1, BLOCK B; LOT 1R, BLOCK C; AND LOT 1, BLOCK D, ROCKWALL COMMERCIAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from William S. Dahlstrom of Jackson Walker, LLP on behalf of Ronald P. Berlin of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a *Zoning Change* from a Commercial (C) District to Planned Development District XX (PD-XX) for Commercial (C) District land uses on a 67.059-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road (FM-3549) and the IH-30 Frontage Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with

the *Subdistrict Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Overall Concept Plan*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Phasing Plan*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, outlined in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 7. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 8. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 9. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 10. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (*including references to the Unified Development Code [UDC]*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 11. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF OCTOBER, 2024.

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 16, 2024

2nd Reading: October 7, 2024

Exhibit 'A'
Legal Description

BEING a tract of land situated in the E.M. ELLIOTT SURVEY, ABSTRACT NO. 77 and the JOHN LOCKHART SURVEY, ABSTRACT NO. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1, Block B, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, Plat Records, Rockwall County, Texas (P.R.R.C.T.), a portion of Lot 1R, Block C, Rockwall Commercial, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in County Clerk's File No. 2021000008470, P.R.R.C.T., and the remainder of Lot 1, Block D, Rockwall Commercial Park, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, P.R.R.C.T., and a portion of Conveyors Street, a 60' right-of-way, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southeast corner of said Lot 1, Block B, said iron rod being situated in the North right-of-way line of Interstate Highway 30, a variable width right-of-way, and the West right-of-way line of F.M. Highway 3549, a variable width right-of-way, and also being the Southeast corner of a corner clip;

THENCE, departing the West right-of way line of said F.M. Highway 3549 and said corner clip, and along the South line of said Lot 1, Block B, and the North right-of-way line of said Interstate Highway 30, the following:

South 72 deg 46 min 18 sec West, a distance of 384.46 feet to a 5/8" iron rod found for corner;

South 64 deg 14 min 27 sec West, a distance of 202.24 feet to a point for corner from which a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found bears South 77 deg 02 min 27 sec West, a distance of 0.68 feet;

South 72 deg 46 min 18 sec West, a distance of 1,507.74 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Southerly Southwest corner of said Lot 1, Block B, and the Southeast corner of the remainder of said Lot 1, Block D;

THENCE South 72 deg 43 min 43 sec West, along the South line of the remainder of said Lot 1, Block D, and continuing along the North right-of-way line of said Interstate Highway 30, a distance of 169.80 feet to a 1/2-inch iron rod with yellow plastic cap stamped "RPLS5034" found for corner;

THENCE South 72 deg 46 min 08 sec West, continuing along the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, a distance of 136.39 feet to a 5/8-inch iron rod with pink plastic cap stamped "TXDOT" found for corner, said iron rod being the Southwest corner of the remainder of said Lot 1, Block D, and being the beginning of a non-tangent curve to the right having a radius of 397.84 feet, a central angle of 13 deg 52 min 54 sec, a chord bearing of North 10 deg 51 min 14 sec West, and a chord length of 96.15 feet;

THENCE along said non-tangent curve to the right, departing the South line of the remainder of said Lot 1, Block D, and the North right-of-way line of said Interstate Highway 30, and along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, an arc distance of 96.39 feet to a point for corner;

THENCE North 03 deg 13 min 23 sec West, continuing along the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, a distance of 144.04 feet to a point for corner;

THENCE South 86 deg 34 min 32 sec West, departing the West line of the remainder of said Lot 1, Block D, and the East right-of-way line of said Conveyors Street, and crossing the right-of-way of said Conveyors Street, a distance of 60.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner, said iron rod being the Southeast corner of said Lot 1R, Block C, and being situated in the West right-of-way line of said Conveyors Street;

Exhibit 'A'
Legal Description

THENCE South 86 deg 34 min 32 sec West, departing the West right-of-way line of said Conveyors Street, and along the common line of said Lot 1R, Block C, and Lot 1, Block C, of said Rockwall Commercial Park, a distance of 309.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 74 deg 26 min 07 sec East, a distance of 0.62 feet;

THENCE North 05 deg 29 min 52 sec West, departing said common line and along the common line of said Lot 1R, Block C, and a tract of land described in deed to Rockwall 549/l-30 Partners LP, recorded in Instrument Number 200700387631, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.), a distance of 1,036.76 feet to a point for corner from which a 1/2-inch iron rod found bears North 78 deg 37 min 38 sec East, a distance of 0.42 feet;

THENCE North 89 deg 44 min 47 sec East, along the common line of said Lot 1R, Block C, and a tract of land as described in deed to Janis G. Dorris & Nelda L. Lacuesta, recorded in Volume 850, Page 85, O.P.R.R.C.T., a distance of 175.03 feet to a point for corner from which a 1/2-inch iron rod found bears South 49 deg 13 min 08 sec East, a distance of 0.47 feet;

THENCE North 01 deg 22 min 01 sec West, continuing along said common line, a distance of 14.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northeast corner of said Lot 1R, Block C, and a Southeast corner of said Janis G. Dorris & Nelda L. Lacuesta tract;

THENCE North 88 deg 16 min 40 sec East, departing said common line and along the North line of said Lot 1R, Block C, and the South right-of-way line of Justin Road, an 85- foot right-of-way, a distance of 204.88 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for the most Northerly corner of said Lot 1R, Block C;

THENCE North 88 deg 16 min 27 sec East, departing the North line of said Lot 1R, Block C, and over and across the right-of-way of said Justin Road and said Conveyors Street, a distance of 120.17 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for a Northwest corner of said Lot 1, Block B;

THENCE along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, the following:

North 88 deg 16 min 40 sec East, a distance of 311.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 deg 25 min 20 sec East, a distance of 281.12 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the left having a radius of 1,592.50 feet, a central angle of 17 deg 40 min 38 sec, a chord bearing of North 79 deg 26 min 21 sec

East, and a chord length of 489.38 feet;

Along said curve to the left, an arc distance of 491.33 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and being the beginning of a curve to the right having a radius of 3,979.40 feet, a central angle of 18 deg 16 min 32 sec, a chord bearing of North 79 deg 44 min 18 sec

East, and a chord length of 1,263.93 feet;

Along said curve to the right, an arc distance of 1,269.30 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 52 min 09 sec East, a distance of 0.84 feet;

North 88 deg 52 min 34 sec East, a distance of 49.83 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 14 deg 09 min 55 sec East, a distance of 0.76 feet, said point being the most Northerly Northeast corner of said Lot 1, Block B,

Exhibit 'A'
Legal Description

and the Northeast corner of a corner clip, and being situated in the West right-of-way line of said F.M. Highway 3549;

THENCE South 46 deg 07 min 44 sec East, continuing along the North line of said Lot 1, Block B, and the South right-of-way line of said Justin Road, and along the West right-of-way line of said F.M. Highway 3549, and said corner clip, a distance of 42.43 feet to a point for corner from which a 5/8-inch iron rod with red plastic cap stamped "KHA" found bears North 11 deg 58 min 22 sec East, a distance of 0.71 feet, said point being a North corner of said Lot 1, Block B, and the Southeast corner of said corner clip;

THENCE, departing the South right-of-way line of said Justin Road, the North line of said Lot 1, Block B, and said corner clip, continuing along the West right-of-way line of said F.M. Highway 3549 and along the East line of said Lot 1, Block B, the following:

South 01 deg 13 min 54 sec East, a distance of 165.08 feet to a 1/2-inch iron rod found for corner;

South 01 deg 26 min 27 sec West, a distance of 113.61 feet to a 5/8-inch iron rod found for corner;

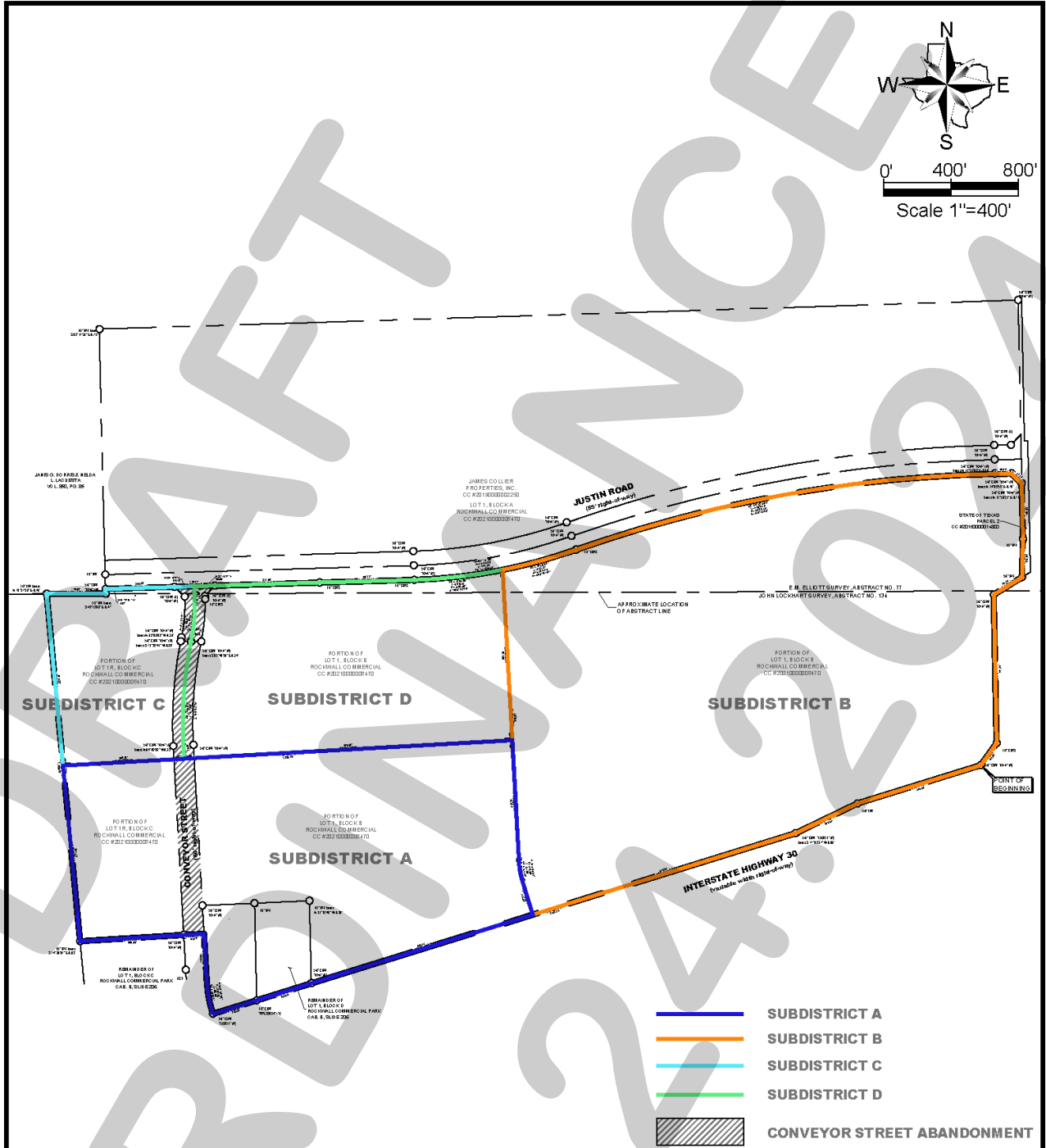
South 58 deg 12 min 56 sec West, a distance of 98.69 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" found for corner;

South 01 deg 07 min 09 sec East, a distance of 441.34 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" for corner, said iron rod being situated in the North right-of-way line of said Interstate Highway 30, and being the Northeast corner of a corner clip;

THENCE South 35 deg 33 min 35 sec West, continuing along the West right-of-way line of said F.M. Highway 3549, and along said corner clip, a distance of 80.25 feet to the *POINT OF BEGINNING*. Containing 67.475 acres or 2,939,199 square feet of land, more or less.

Bearings described herein are based upon an on-the-ground Survey performed in the field on the 25th day of April, 2024, utilizing a G.P.S. bearing related to the Texas Coordinate System, North Texas Central Zone (4202), NAD 83, grid values from the GeoShack VRS network.

Exhibit 'B'
Survey




 Winkelmann & Associates, Inc. CONSULTING CIVIL ENGINEERS ■ SURVEYORS 4750 HILLCREST PLAZA DRIVE, SUITE 210 DALLAS, TEXAS 75230 Texas Engineers Registration No. 09 Texas Surveyors No. 10086600 Expires 12-31-2024 COPYRIGHT © 2024, Winkelmann & Associates, Inc.	EXHIBIT B SURVEY	SHEET 1 OF 1
	PROPERTY BOUNDARY 67.475 ACRES (2,939,199 SQ. FT.)	
Scale : 1:400 Date : 08.14.24 Dwg. File : 63406-Exhibit B Project No. : 63406		

Exhibit 'C'
Subdistrict Plan

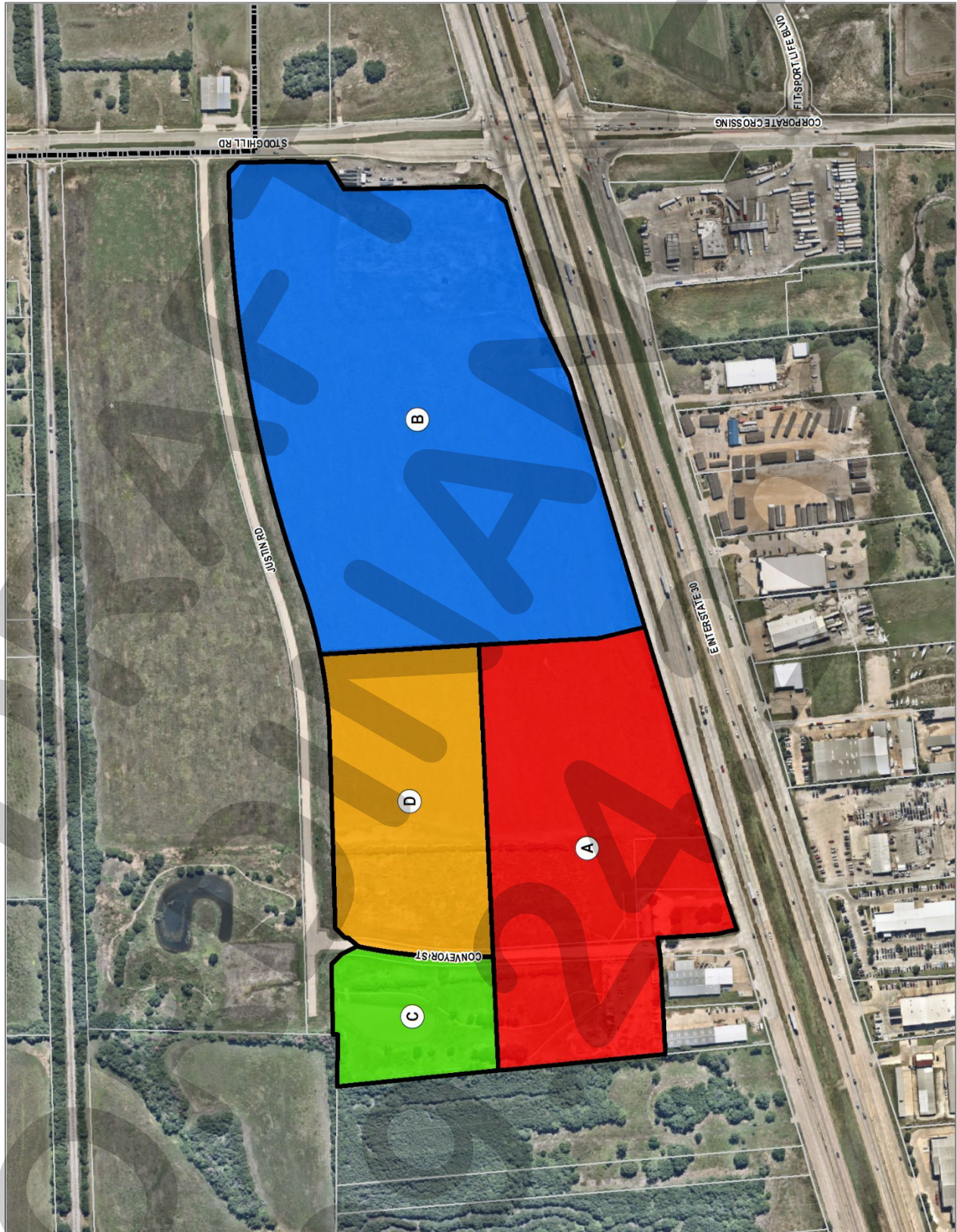
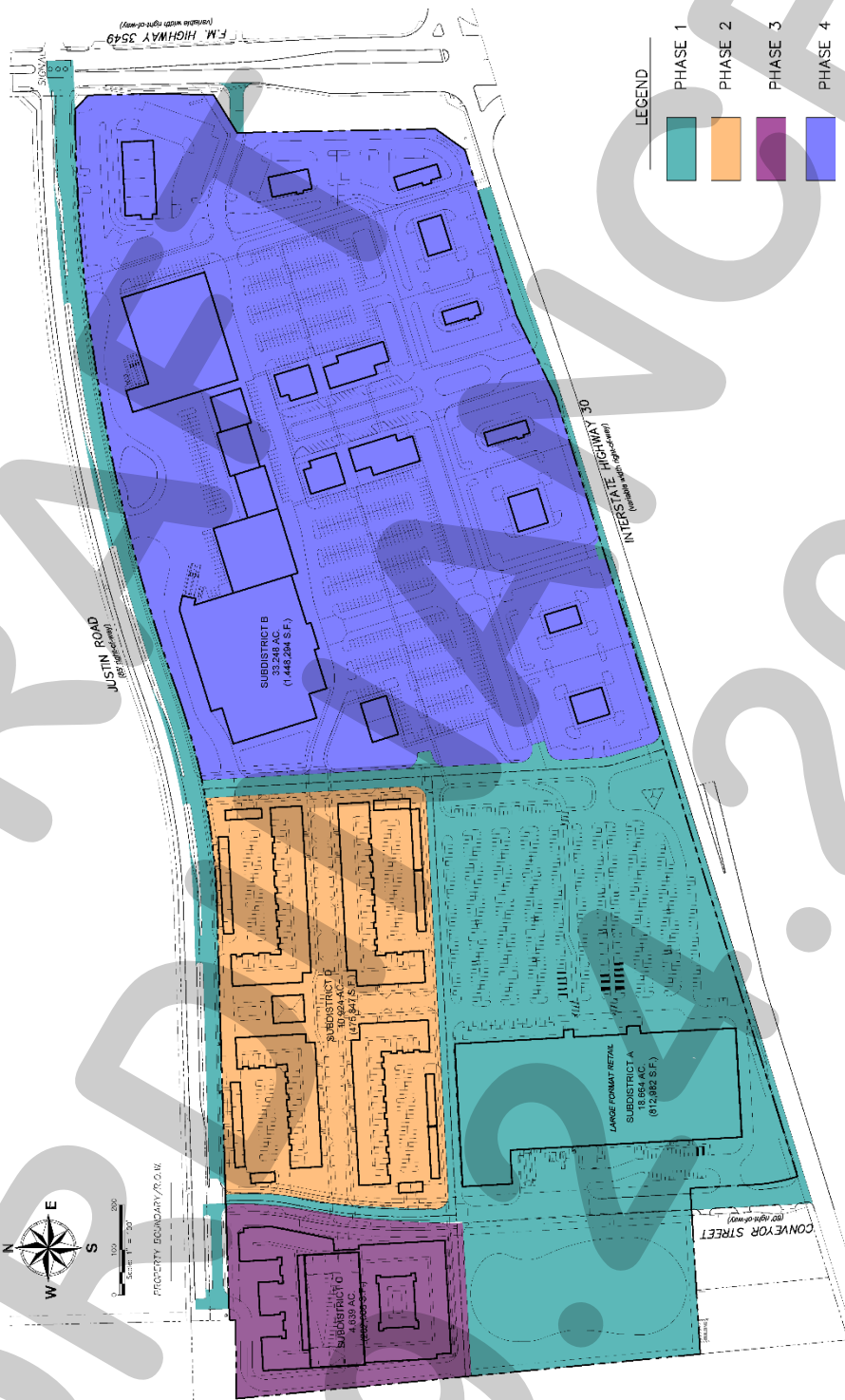


Exhibit 'D'
Overall Concept Plan



Exhibit 'E' Phasing Plan



**EXHIBIT E
PHASING PLAN**
Rockwall, Texas
Job #: 24009
Rockwall Heights // August 09, 2024 // Site Analysis

ROCKWALL HEIGHTS
GFFdesign

PegasusAblon

Collins Engineering & Design

Jackson Walker

Winkelman & Associates, Inc.

IKEDA

Exhibit 'F'
Conceptual Building Elevations | Subdistrict A

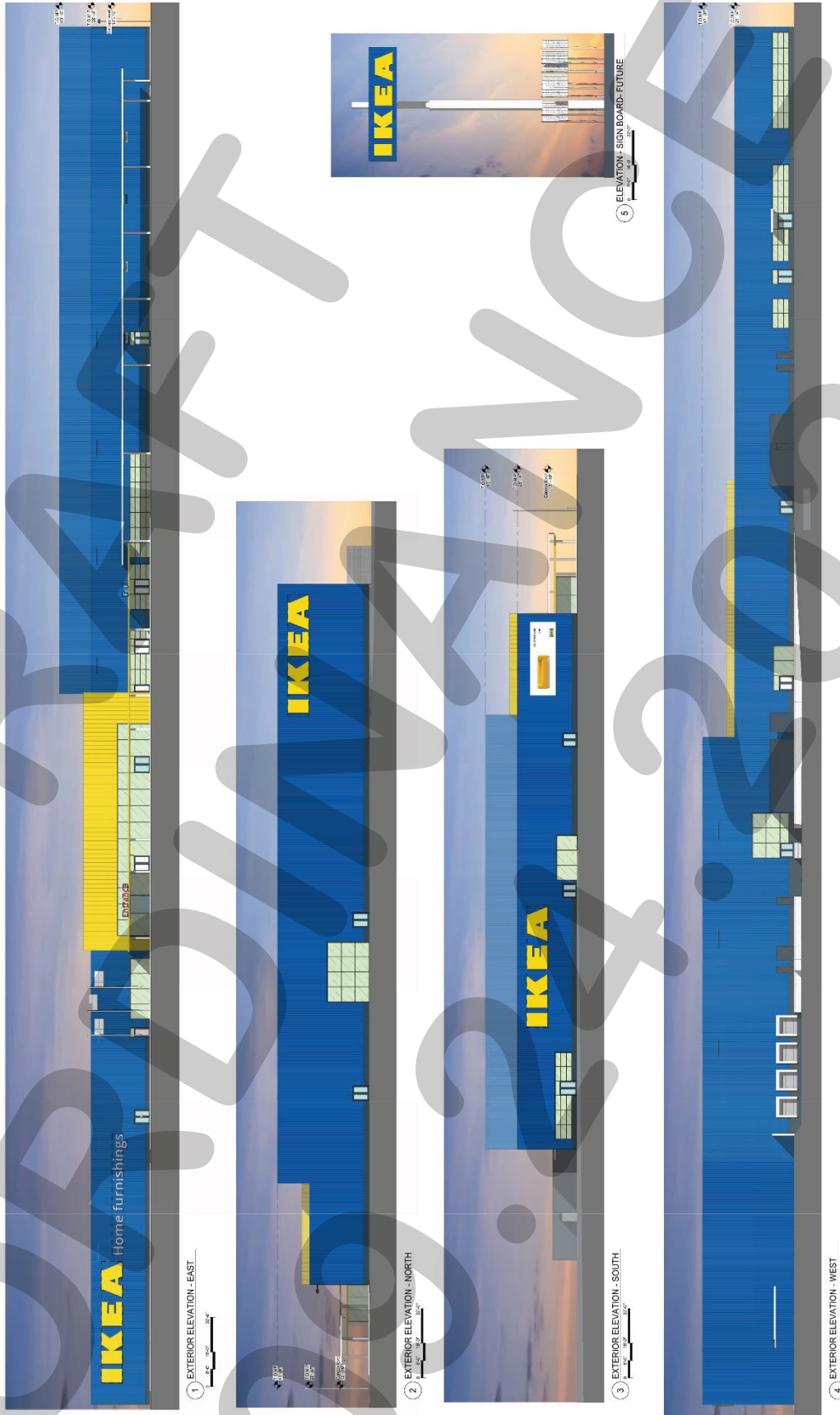


Exhibit 'F'
Conceptual Building Elevations | Subdistrict C



Exhibit 'F'
Conceptual Building Elevations | Subdistrict C



Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



EAST STREET FACING
SCALE: 1/16" = 1'-0"



WEST INTERNAL PARKING COURT
SCALE: 1/16" = 1'-0"

Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



Exhibit 'F'
Conceptual Building Elevations | Subdistrict D



EAST
SCALE: 1/16" = 1'-0"



WEST
SCALE: 1/16" = 1'-0"



NORTH POOL FACING
SCALE: 1/16" = 1'-0"



SOUTH STREET FACING
SCALE: 1/16" = 1'-0"

Exhibit 'G'
Development Standards

(A) ESTABLISHMENT AND INTENT OF THE SUBDISTRICTS

The *Subject Property* shall be divided into four (4) subdistricts as depicted on the *Subdistrict Plan*, which is contained in *Exhibit 'C'* of this ordinance. The intent of each of the established *Subdistricts* is as follows:

- (1) Subdistrict A. The intent of *Subdistrict A* is to provide for a single, *Large Format Retailer*.
- (2) Subdistrict B, C, & D. The intent of *Subdistricts B, C, & D* is to provide a *Regional Mixed-Use Development* that incorporates residential, retail, restaurant, and/or entertainment land uses in conformance with the vision established in the *IH-30 Corridor Plan* contained in the OURHometown Vision 2040 Comprehensive Plan. Specifically, the intent of each of these *Subdistricts* is as follows:
 - (a) Subdistrict B. The intent of *Subdistrict B* is to provide a *Regional Commercial/Retail and Entertainment Center* that consists of retail, restaurant, and/or entertainment land uses in conformance with the vision established in the *IH-30 Corridor Plan* contained in the OURHometown Vision 2040 Comprehensive Plan.
 - (b) Subdistrict C. The intent of *Subdistrict C* is to provide an *Urban Residential* style condominium building that provides residential housing as part of the *Regional Mixed-Use Development*.
 - (c) Subdistrict D. The intent of *Subdistrict D* is to provide a *Low-Rise Residential* style condominium community that provides another style of residential housing as part of the *Regional Mixed-Use Development*.

(B) PROCESSES FOR EACH SUBDISTRICT

- (1) Subdistrict A. *Subdistrict A* shall be developed in general conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (D)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict A*, a *PD Site Plan -- that conforms to the requirements of this Planned Development District ordinance and the Unified Development Code (UDC) --* shall be submitted and approved in accordance with the requirements of Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02]. A *PD Development Plan* shall not be required for development in *Subdistrict A*, as shown on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance.
- (2) Subdistrict B. *Subdistrict B* shall be developed in general conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (E)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict B*, a *PD Development Plan* and *PD Site Plan* shall be submitted and approved in accordance with the requirements of Article 10, *Planned Development District Regulations*, and Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02], and in conformance with the development standards contained in this Planned Development District ordinance.
- (3) Subdistrict C. *Subdistrict C* shall be developed in general conformance with the *Overall*

Exhibit 'G'
Development Standards

Concept Plan contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (F)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict C*, a *PD Site Plan* -- that conforms to the requirements of this *Planned Development District ordinance and the Unified Development Code (UDC)* -- shall be submitted and approved in accordance with the requirements of Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02]. A *PD Development Plan* shall not be required for development in *Subdistrict C*, as shown on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance.

(4) *Subdistrict D*. *Subdistrict D* shall be developed in general conformance with the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance, and the development standards contained in *Subsections (C) & (G)* of this ordinance. Prior to the issuance of a *Building Permit* for any structure in *Subdistrict D*, a *PD Site Plan* -- that conforms to the requirements of this *Planned Development District ordinance and the Unified Development Code (UDC)* -- shall be submitted and approved in accordance with the requirements of Article 11, *Development Application Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02]. A *PD Development Plan* shall not be required for development in *Subdistrict D*, as shown on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance.

(5) *PD Site Plans*. If a *PD Site Plan* is submitted that does *not* meet the intent of this *Planned Development District Ordinance*, the Director of Planning and Zoning shall prepare a recommendation outlining how the proposed *PD Site Plan* fails to meet the intent, and bring the *PD Site Plan* and recommendation to the Planning and Zoning Commission for action. Should the Planning and Zoning Commission determine that the *PD Site Plan* does meet the intent of this ordinance, the *PD Site Plan* may be approved in accordance with the procedures of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and with the requirements of this ordinance; however, should the Planning and Zoning Commission determine that the *PD Site Plan* does *not* meet the intent of this ordinance, the Planning and Zoning Commission shall deny the *PD Site Plan* and the applicant shall be required to submit a *PD Development Plan* in accordance with Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and this ordinance.

(C) GENERAL STANDARDS.

The following general standards shall apply for all *Subdistricts* as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance:

(1) *Development Standards*. Unless otherwise stipulated by this *Planned Development District*, all property situated within any *Subdistrict* shall be subject to the development standards stipulated by the *General Overlay District Standards* as outlined in Section 06.02, *General Overlay District Standards*, of Article 5, *Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(2) *Landscape Buffers*. All landscape buffers shall be provided as follows:

(a) *Landscape Buffer Adjacent to the IH-30 Frontage Road*. A minimum of a 20-foot landscape buffer shall be provided along the frontage of the IH-30 Frontage Road

Exhibit 'G'
Development Standards

(outside of and beyond any required right-of-way), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches and maybe non-continuous and undulating. Portions of an access drive may encroach within the landscape buffer in areas depicted on the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot sidewalk/trail shall be constructed within the 20-foot landscape buffer.

(b) Landscape Buffer Adjacent to Stodghill Road (FM-3549). A minimum of a 20-foot landscape buffer shall be provided along the frontage of the Stodghill Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches and maybe non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A five (5) foot sidewalk shall be constructed within the 20-foot landscape buffer.

(c) Landscape Buffer Adjacent to Justin Road. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Justin Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover and shrubbery along the entire length of the frontage. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet of frontage. An eight (8) foot trail shall be constructed within the ten (10) foot landscape buffer.

(d) Landscape Buffer Adjacent to Conveyor Street. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Conveyor Street (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery may be non-continuous and undulating. In addition, one (1) canopy tree and one (1) accent tree shall be planted per 50-linear feet of frontage. A five (5) foot trail shall be constructed within the ten (10) foot landscape buffer.

(3) Open Space. The open space requirements shall be as follows:

(a) A minimum of 13.50% of the gross land area (*i.e. a minimum of 9.1091-acres*) within the entire Planned Development District shall be devoted to public and private open space.

(b) A central green/open space shall be provided in *Subdistrict B* in the approximate location as shown on the *Overall Concept Plan* in *Exhibit 'D'* of this ordinance.

(c) Detention and retention areas, and landscape/open space areas greater than or equal to 20-feet in width may be counted towards the open space requirement.

(d) Open space may be satisfied by either public, private, or a combination of public and private open space.

(4) Gateway/Entry Portal Flag. One (1) *Gateway/Entry Portal Flag* shall be incorporated into the design of *Subdistrict B* and be constructed in the general location shown on the *Overall Concept Plan* contained in *Exhibit 'D'* of this ordinance. This *Gateway/Entry Portal Flag*

Exhibit 'G'
Development Standards

shall be a maximum of 190-feet in height or as otherwise approved by the City Council at the time of PD Development Plan for *Subdistrict B*. In addition, the *Gateway/Entry Portal Flag* design shall be reviewed by the Architectural Review Board (ARB) in conjunction with the *PD Development Plan* for a recommendation to the City Council. The proposed *Gateway/Entry Portal Flag* shall be constructed prior to the issuance of a Certificate of Occupancy (CO) for any structure in *Subdistrict B*.

- (5) Residential Phasing. Prior to the issuance of a permit for vertical construction for *Subdistrict C*, construction for a minimum of 140,000 SF of non-residential building area shall have commenced in *Subdistrict B*.
- (6) Variances/Exceptions. Variances and exceptions to the requirements of this ordinance shall be submitted and approved in accordance with the process and procedures set forth in Article 11, *Development Applications and Review procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

Exhibit 'G'
Development Standards

(D) SUBDISTRICT A: LARGE FORMAT RETAILER

- (1) **Concept Plan.** Development within *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 1. Subdistrict A Concept Plan* below.

FIGURE 1. SUBDISTRICT A CONCEPT PLAN



- (2) **Building Elevations.** Development within *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict A* contained in *Exhibit 'F'* of this ordinance.

- (3) **Permitted Land Uses.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

- (a) The following land uses shall be permitted ***By-Right***:

- WAREHOUSE/DISTRIBUTION ⁽¹⁾

NOTES:

- ⁽¹⁾: AS AN ACCESSORY LAND USE TO A GENERAL RETAIL STORE ONLY.

- (b) The following land uses shall be expressly ***Prohibited***:

Exhibit 'G'
Development Standards

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- TEMPORARY FUNDRAISING EVENTS BY NON-PROFIT
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- BUSINESS SCHOOL
- CONVALESCENT CARE FACILITY/NURSING HOME
- DAYCARE WITH SEVEN (7) OR MORE CHILDREN
- RETAIL STORE WITH GASOLINE SALES THAT HAS TWO (2) OR LESS DISPENSERS (*I.E. MAXIMUM OF FOUR [4] VEHICLES*)
- RETAIL STORE WITH GASOLINE SALES THAT HAS MORE THAN TWO (2) DISPENSERS
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROP-OFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- ELECTRICAL, WATCH, CLOCK, JEWELRY AND/OR SIMILAR REPAIR
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- FULL SERVICE CAR WASH AND AUTO DETAIL
- SELF SERVICE CAR WASH
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS

Exhibit 'G'
Development Standards

- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

(4) **Density and Development Standards.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A -- as depicted on the Subdistrict Plan contained in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict A* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	25'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(5) **Parking Requirements.** Parking requirements for specific land uses will be as calculated in Article 06, *Parking and Loading*, of the Unified Development Code (UDC); however, the following parking ratios shall apply regardless of these standards:

- (a) **Office:** One (1) Parking Space per 300 SF of Building Area.
- (b) **General Retail:** One (1) Parking Space per 250 SF of Building Area.
- (c) **Restaurant:** One (1) Parking Space per 100 SF of Building Area.
- (d) **Warehouse/Distribution:** One (1) Parking Space per 1,000 SF of Building Area.

Exhibit 'G'
Development Standards

- (6) **Off-Street Loading Requirements.** Loading docks shall *not* face directly onto the IH-30 Frontage Road, but may be located along the northern, western, and eastern facing building facades without restriction. Three (3) tiered landscaping should be used to mitigate the visibility of these areas.
- (7) **Residential Screening Requirements.** Any development in *Subdistrict A* shall be exempt from the *Residential Adjacency Screening Requirements* stipulated in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].
- (8) **Building Materials and Design Standards.** All buildings in *Subdistrict A* shall adhere to the following:
- (a) **Building Materials.** The following building materials shall be permitted: stone, brick, glass curtain wall, aluminum and glass storefront, glass block, tile, custom painted tilt-up concrete panel, and custom Concrete Masonry Units (CMU) (*i.e. units that have been sandblasted, burnished, or that have a split face -- light weight block or smooth faced block shall be prohibited*). In addition, the use of cementitious materials (*i.e. fiber cement, stucco, cementitious lap siding, tilt-up concrete or similar materials approved by the Director of Planning and Zoning or his/her designee*) shall be permitted without limitation for use on the building's exterior façade; however, stucco shall not be used within the first four (4) feet from grade on a building's façade.
- (b) **Articulation Requirements.** The articulation requirements stipulated in Section 04.01, *General Commercial District Standards*, and Section 06.02, *General Overlay District Standards*, of the Unified Development Code (UDC) shall not apply to *Subdistrict A*; however, all buildings in *Subdistrict A* should generally include an articulated entryway that creates some relief in the front façade of the building. This element will be reviewed by the Architectural Review Board (ARB) with the *PD Site Plan*.
- (c) **Roof Design Standards.** Flat roofs with or without parapets may be permitted; however, all rooftop mechanical equipment and/or other rooftop appurtenances (*excluding solar panels*) shall *not* be visible at-grade from the boundaries of *Subdistrict A*.
- (d) **Required Architectural Elements.** All buildings shall be required to incorporate a minimum of two (2) of the following architectural elements:
- CANOPIES, AWNINGS, OR PORTICOS
 - RECESSES/PROJECTIONS
 - ARCADES
 - PEAKED ROOF FORMS
 - ARCHES
 - OUTDOOR PATIOS
 - DISPLAY WINDOWS
 - ARCHITECTURAL DETAILS (*E.G. TILE WORK AND MOLDINGS*) INTEGRATED INTO THE BUILDING'S FAÇADE
 - ARTICULATED GROUND FLOOR LEVELS OR BASES
 - ARTICULATED CORNICE LINE
 - INTEGRATED PLANTERS OR WING WALLS THAT INCORPORATE LANDSCAPE AND SITTING AREAS
 - OFFSETS, REVEALS, OR PROJECTING RIB EXPRESSING ARCHITECTURAL OR

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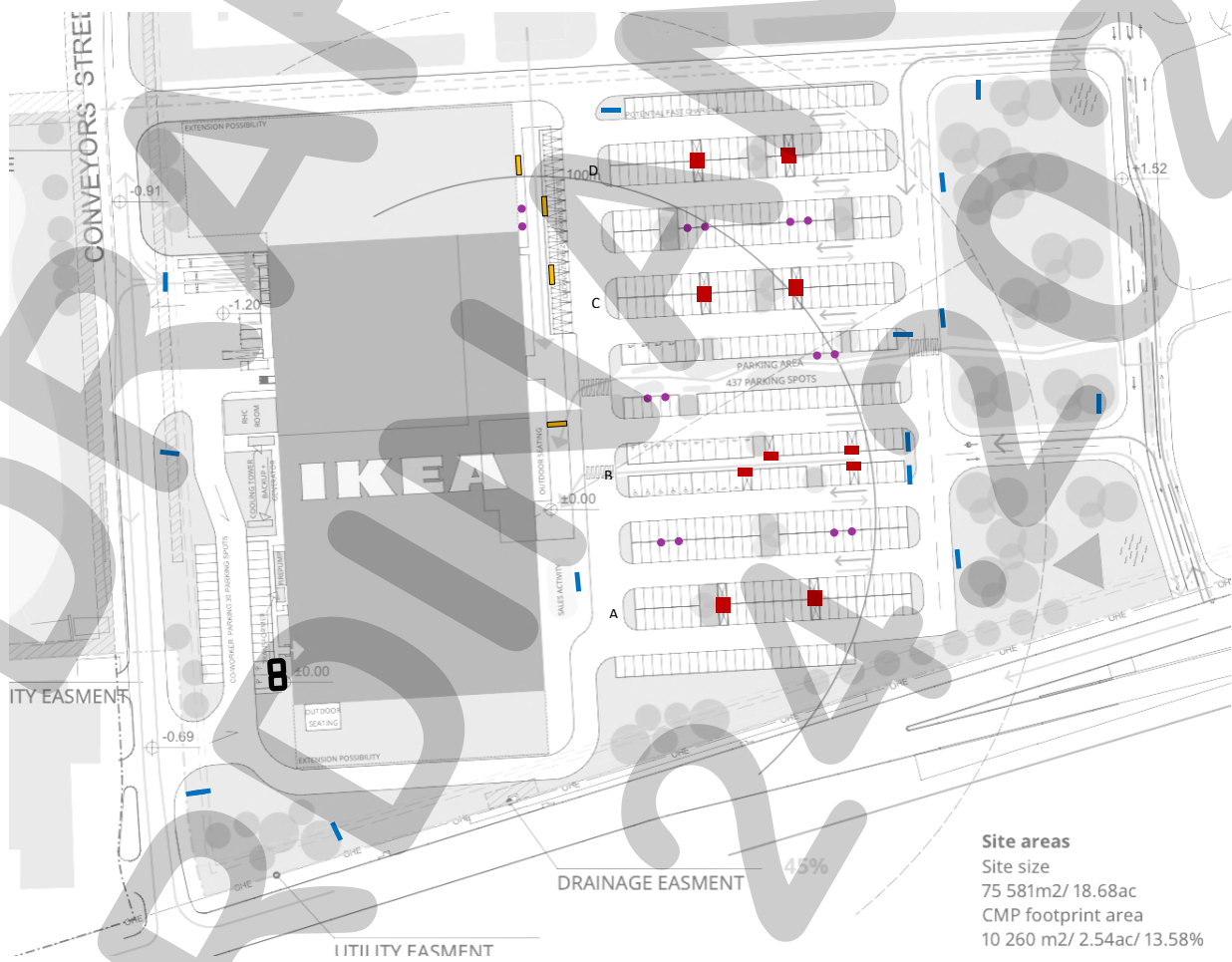
- STRUCTURAL BAYS
- VARIED ROOF HEIGHTS

(9) **Signage.** All signage shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, the following shall apply:

(a) **Shopping Center Signage Plan.** All signage in *Subdistrict A* shall generally adhere to the *Shopping Center Signage Plan* contained in *Figure 2*. At the request of the *Large Format Retailer*, the Director of Planning and Zoning or his/her designee shall have the authority to administratively grant changes to the location of the signage depicted on the *Shopping Center Signage Plan* in *Figure 2*.

FIGURE 2. SHOPPING CENTER SIGNAGE PLAN

KEY: ■ OR ■ = GREETING/TRAFFIC SIGNS; ■ = CART SIGNS; ● = PROMOTIONAL MESSAGING SIGNS



(b) **Wall Signage.** A business shall be allowed any number of attached wall signs, projection signs, canopy signs, or marquee signs, so long as the total face area of the attached signs do not exceed the following standards:

- (1) **North Façade:** 5.00% of the wall face.
- (2) **South Façade:** 15.00% of the wall face.
- (3) **East Façade:** 20.00% of the wall face.

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- (4) West Façade: 5.00% of the wall face.
- (c) Freestanding Monopole Sign. *Subdistrict A* shall conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances for *Freestanding Monopole Signs*; however, one (1) *Freestanding Monopole Sign* in this *Subdistrict* may be a maximum of 120-feet in height, and have up to three (3) sign faces a maximum of 700 SF each (*i.e. an overall maximum signage area of 2,100 SF*). This sign shall generally adhere to the *Freestanding Monopole Sign* depicted in the *Conceptual Building Elevations | Subdistrict A* contained in *Exhibit 'F'* of this ordinance. One (1) additional *Freestanding Monopole Signs -- conforming to the setback requirements of the Municipal Code of Ordinances --* shall be permitted on the site and may be established as *Freestanding Monopole Signs* or *Digital Sign (at the same maximum size and square footage permitted for Freestanding Monopole Signs by the Municipal Code of Ordinances)*.
- (d) Digital Wall or Banner Signage. In addition to the wall signage permitted above, one (1) 700 SF *Digital Wall or Banner Signs* shall be permitted on the southern or eastern building facades. Digital wall signage shall be subject to the requirements for *Changeable Electronic Variable Message Signs (CEVMS)* as stipulated by Section 32-233(3) through Section 32-233(6) of the Municipal Code of Ordinances.
- (e) Flag Pole Signs. Up to eight (8) flag poles with flags that have the company's name or logo shall be permitted at main points of ingress/egress into the site pending they do not exceed a maximum height of 40-feet. Flag poles displaying state or national flags shall meet the requirements of the Unified Development Code (UDC).
- (f) Greeting/Traffic Signs. *Greeting/Traffic Signs* shall adhere to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, *Traffic Signs* shall meet the following standards:
- (1) *Greeting/Traffic Signs* shall be permitted in accordance with the *Shopping Center Signage Plan* contained in *Figure 2* and conform to the sign standards contained in *Figures 3 & 4*.

FIGURE 3. GREETING SIGNS (ALL MEASUREMENTS IN MILLIMETERS)

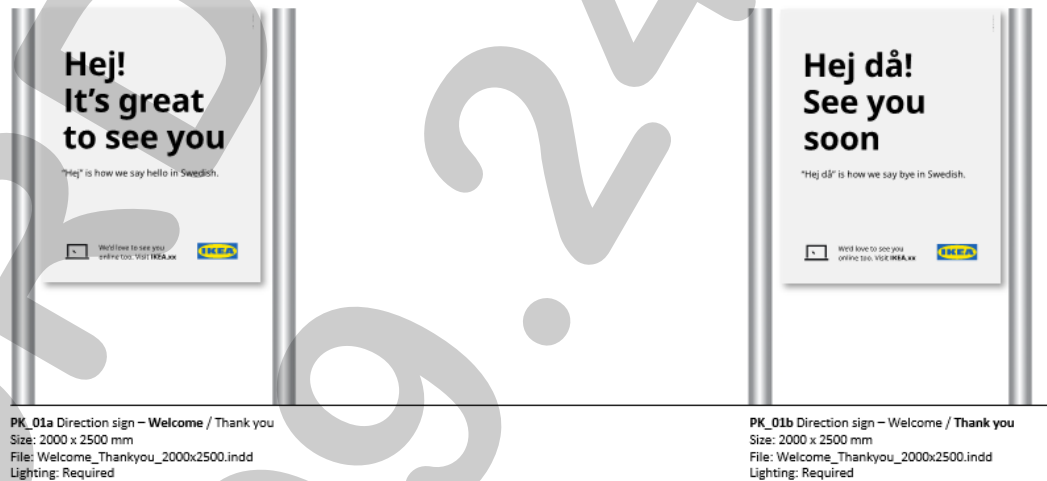
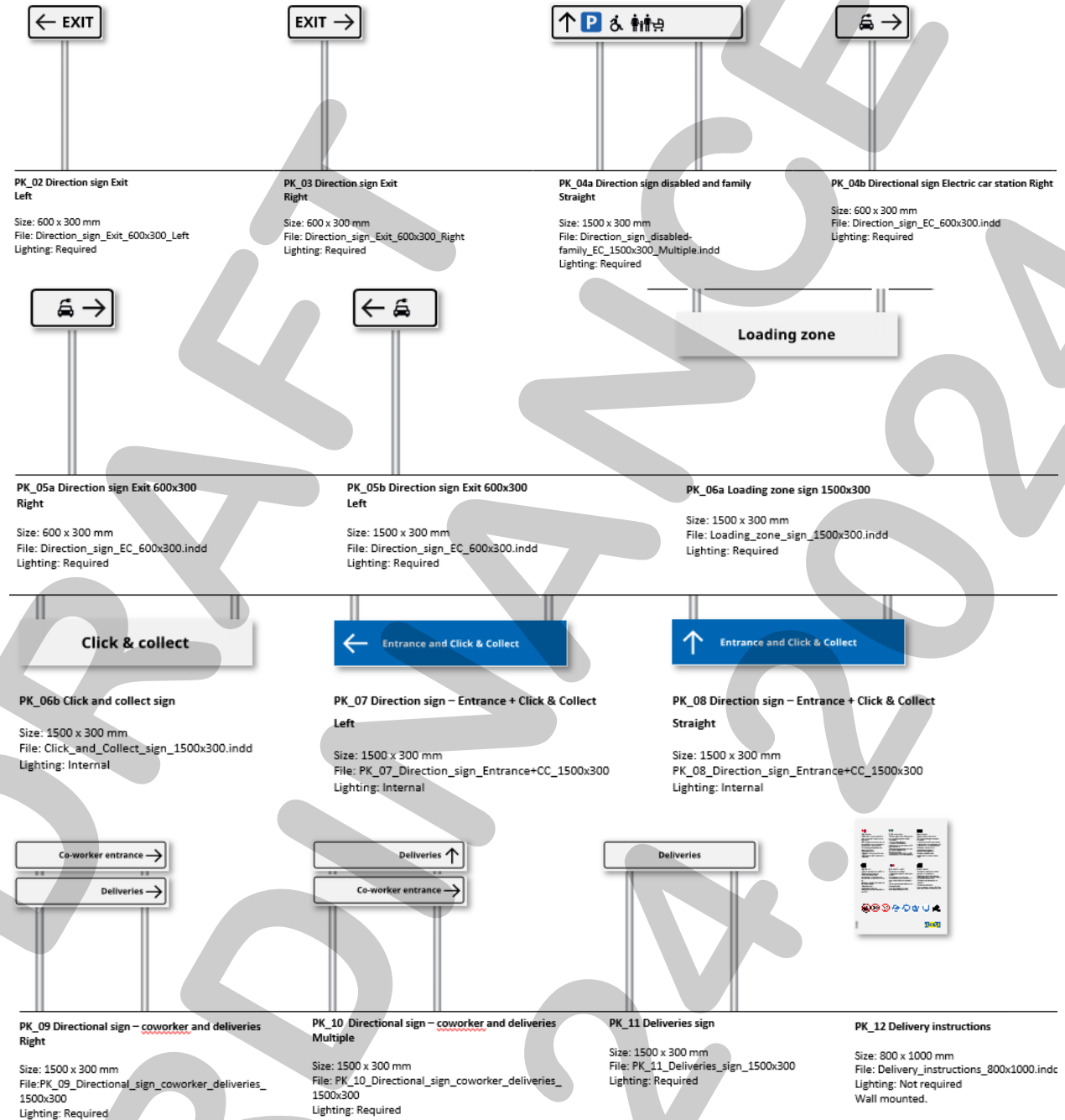


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FIGURE 4. TRAFFIC SIGNS (ALL MEASUREMENTS IN MILLIMETERS)



(2) *Traffic Signs* may be internally or externally illuminated, as long as the light source is fully shielded and directed downward.

(3) *Traffic Signs* may contain a commercial message.

(4) Unless otherwise depicted in the sign standards above, *Traffic Signs* may be a maximum of five (5) feet in height.

(g) Cart Signs. *Cart Signs* shall be permitted in accordance with the *Shopping Center*

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Signage Plan contained in Figure 2 and conform to the sign standards contained in Figure 5.

FIGURE 5. CART SIGNS (ALL MEASUREMENTS IN MILLIMETERS)



TR_01_Trolley_signs_1960x960
File: Trolley_signs_1960x960.indd
Size: 1960 x 960 mm

(h) **Promotional Messaging Signs.** A maximum of 12 *Promotional Messaging Signs* shall be permitted in the parking areas in accordance with the *Shopping Center Signage Plan* contained in Figure 2, and shall meet the following requirements:

(1) *Promotional Messaging Signs* shall conform to the sign standards contained in Figures 6 & 7.

FIGURE 6. PROMOTIONAL MESSAGING SIGNS (ALL MEASUREMENTS IN MILLIMETERS)

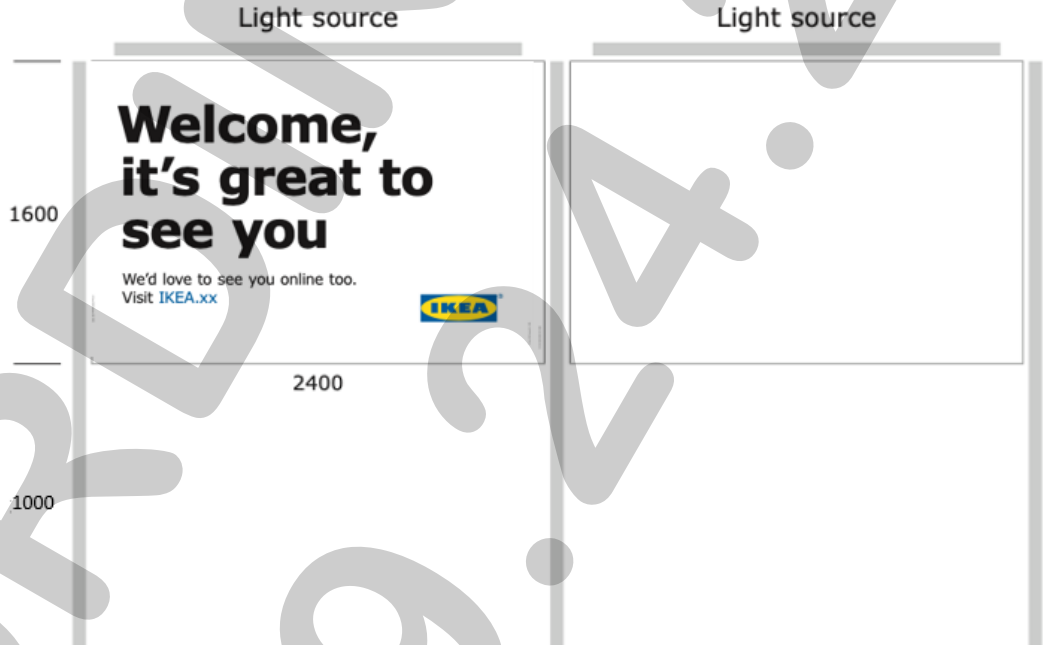


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FIGURE 7. EXAMPLE OF PROMOTIONAL MESSAGING SIGNS



- (2) *Promotional Messaging Signs* may be internally or externally illuminated as long as the light source is fully shielded and directed downward.
- (3) A sign permit shall not be required to change the face/copy of a *Promotional Message Sign*; however, the sign itself will require a sign permit to establish the location of the *Promotional Message Sign*.

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(E) SUBDISTRICT B: REGIONAL COMMERCIAL/RETAIL AND ENTERTAINMENT CENTER

(1) ***Permitted Land Uses.*** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B -- as depicted on the Subdistrict Plan contained in Exhibit 'C' of this ordinance --* shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted ***By-Right***:

- RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN ⁽¹⁾

NOTES:

⁽¹⁾: NO MORE THAN FOUR (4) RESTAURANTS WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN SHALL BE PERMITTED BY-RIGHT. ANY MORE THAN FOUR (4) RESTAURANTS WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN SHALL REQUIRE A SPECIFIC USE PERMIT (SUP).

(b) The following land uses shall be expressly ***Prohibited***:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS ⁽¹⁾
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY

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- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE ⁽²⁾
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- FULL SERVICE CAR WASH AND AUTO DETAIL
- SELF SERVICE CAR WASH
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

NOTES:

⁽¹⁾: UNLESS ACCESSORY TO A SPA OR HAIR SALON.

⁽²⁾: UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(2) **Density and Development Standards.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B* -- as depicted on the *Subdistrict Plan contained in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict B* shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	25'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

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GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(3) Parking Requirements. For the purposes of calculating the required parking within *Subdistrict B* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance --, the parking requirement for a particular land use or building may be satisfied by any property within the *Subdistrict* as long as the provided parking is: [1] not necessary for an existing land use, building or structure, and [2] is situated within 450-feet of the land use, building, or structure being served. The parking requirements for specific land uses shall be calculated as specified by Article 06, *Parking and Loading*, of the Unified Development Code (UDC); however, the following parking ratios shall apply regardless of these standards:

- (a) Office: One (1) Parking Space per 300 SF of Building Area.
- (b) General Retail: One (1) Parking Space per 250 SF of Building Area.
- (c) Restaurant: One (1) Parking Space per 100 SF of Building Area.
- (d) Warehouse/Distribution: One (1) Parking Space per 1,000 SF of Building Area.

(4) Residential Adjacency. The portion of *Subdistrict B* that abuts *Subdistrict D* shall be exempt from the *Residential Adjacency Screening Requirements* stipulated in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).

(5) Signage. In addition to the restrictions in Chapter 32, *Signs*, of the Municipal Code of Ordinances, and the requirements of this Planned Development District ordinance, *Subdistrict B* shall be subject to the following signage requirements:

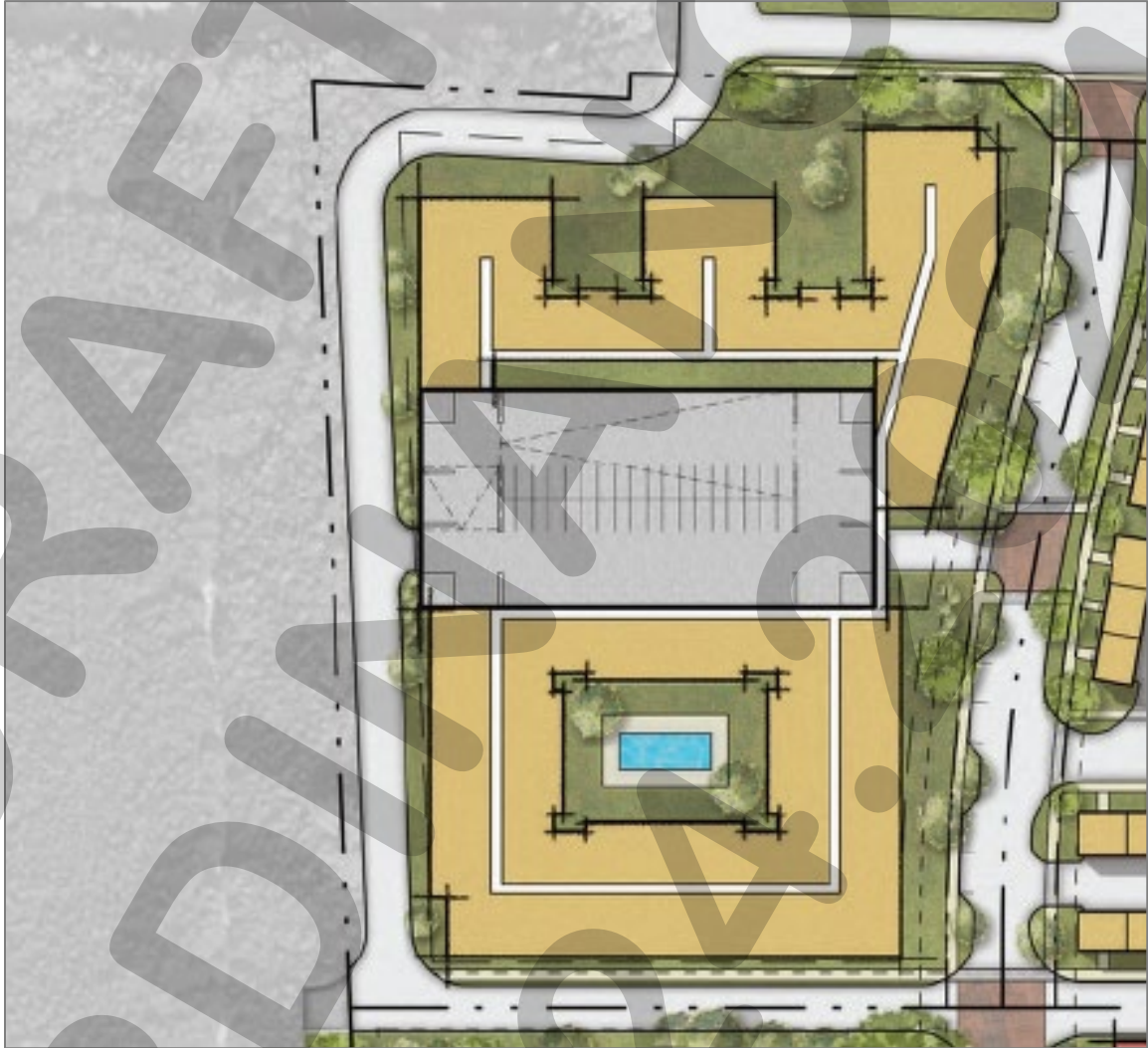
- (a) Shopping Center Signs. A maximum of three (3) *Shopping Center Signs* shall be permitted at the main points of ingress/egress into the subject property, provided that the signs do not exceed a maximum height of 35-feet. Each *Shopping Center Sign* may have two (2) sign faces, each with a maximum sign face of 360 square feet. The *Shopping Center Signs* may include information regarding the residential land uses included in *Subdistricts 'C' & 'D'*.

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(F) SUBDISTRICT C: URBAN RESIDENTIAL

- (1) **Concept Plan.** Development within *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 8. Subdistrict C Concept Plan* below.

FIGURE 8. SUBDISTRICT C CONCEPT PLAN



- (2) **Building Elevations.** Development within *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict C* contained in *Exhibit 'F'* of this ordinance.
- (3) **Permitted Land Uses.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict C* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as

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amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:

(a) The following land uses shall be the only land use permitted By-Right:

- URBAN RESIDENTIAL ^{(1), (2) & (3)}
- HOME OCCUPATION ⁽⁴⁾

NOTES:

- ⁽¹⁾: FOR THE PURPOSES OF THIS PLANNED DEVELOPMENT DISTRICT ORDINANCE, URBAN RESIDENTIAL SHALL BE DEFINED AS A CONDOMINIUM BUILDING WITH MULTI-FAMILY DWELLING UNITS, WITHIN WHICH DESIGNATED DWELLING UNITS ARE CONVEYED VIA FEE SIMPLE TITLE, WITH AN UNDIVIDED INTEREST IN THE BUILDING'S COMMON ELEMENTS, TO INCLUDE, BUT NOT BE LIMITED TO, HALLS, STAIRS, ELEVATORS, ROOF, PARKING SPACE, AND THE LAND WHEN THE BUILDING IS NOT CONSTRUCTED ON LEASED LAND. BASED ON THIS DEFINITION, ALL CONDOMINIUMS SHALL MEET THE FOLLOWING: [1] EACH UNIT IN A PROJECT HAS SEPARATE UTILITIES THAT ARE INDIVIDUALLY METERED, AND [2] EACH UNIT IS CONVEYED VIA A FEE SIMPLE DEED.
- ⁽²⁾: A MAXIMUM 250-DWELLING UNITS ARE PERMITTED WITHIN AN URBAN RESIDENTIAL DEVELOPMENT THAT SHALL INCORPORATE A PARKING GARAGE THAT IS WRAPPED BY UNITS. THIS DEVELOPMENT SHALL HAVE MINIMAL SURFACE PARKING FOR GUESTS, EMPLOYEES, AND VISITORS. THIS DEVELOPMENT MAY BE A MAXIMUM OF 250-UNITS ON APPROXIMATELY FOUR (4) ACRES (EXCLUDING ROADWAYS). FACADES OF THIS BUILDING SHALL GENERALLY ADHERE TO THE GENERAL OVERLAY DISTRICT STANDARDS; HOWEVER, INTERIOR FACING FACADES (I.E. FACING TOWARDS AN INTERNAL COURTYARD) MAY BE 100% STUCCO OR OTHER CEMENTIOUS MATERIAL PERMITTED BY THE UNIFIED DEVELOPMENT CODE (UDC).
- ⁽³⁾: THIS INCLUDES ACCESSORY LAND USES THAT ARE AMENITIES TO THE PROPOSED CONDOMINIUM LAND USE (E.G. SWIMMING POOL, GYM, ETC.).
- ⁽⁴⁾: AS AN ACCESSORY LAND USE TO AN URBAN RESIDENTIAL UNIT ONLY.

(4) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict C* -- as depicted on the *Subdistrict Plan contained in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict C* shall conform to the standards depicted in *Table 3*, which are as follows:

TABLE 3: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ⁽¹⁾	15'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	75'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- ¹: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- ²: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- ³: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE

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PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

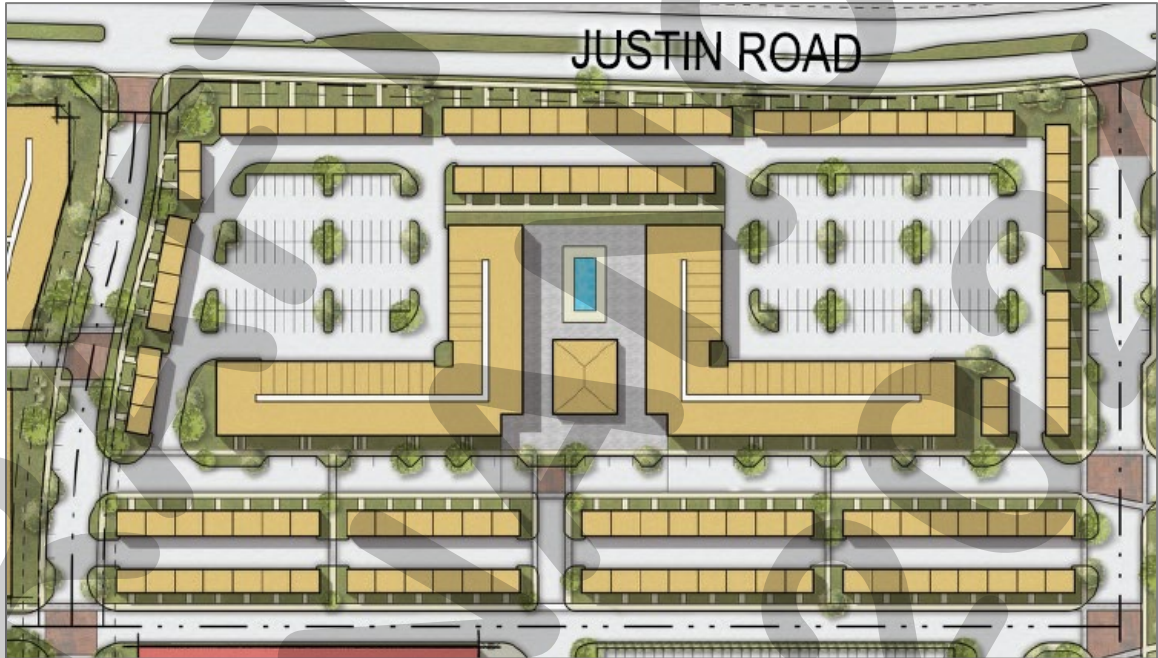
- (5) Parking Requirements. The minimum parking requirements for the *Urban Residential* land use shall be 1½ parking spaces per each unit, which shall be located in a structured parking garage. The structured parking garage shall incorporate screening for vehicle headlights using a material that is architecturally compatible with the *Urban Residential* building.

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(G) SUBDISTRICT D: LOW RISE RESIDENTIAL COMMUNITY

- (1) **Concept Plan.** Development within *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform with [1] the *Overall Concept Plan* -- contained in *Exhibit 'D'* of this ordinance --, and [2] *Figure 9. Subdistrict D Concept Plan* below.

FIGURE 9. SUBDISTRICT D CONCEPT PLAN



- (2) **Building Elevations.** Development within *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall generally conform to the *Building Elevations* depicted in the *Conceptual Building Elevations | Subdistrict D* contained in *Exhibit 'F'* of this ordinance.
- (3) **Permitted Land Uses.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in *Exhibit 'C'* of this ordinance -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as amended herein by granting this zoning change, and as may be amended in the future; however, the following shall apply:

(b) The following land uses shall be the only land use permitted ***By-Right***:

- LOW-RISE RESIDENTIAL COMMUNITY ⁽¹⁾, ⁽²⁾ & ⁽³⁾
- TOWNHOMES ⁽¹⁾, ⁽²⁾ & ⁽³⁾
- HOME OCCUPATION ⁽⁴⁾

NOTES:

⁽¹⁾: FOR THE PURPOSES OF THIS PLANNED DEVELOPMENT DISTRICT ORDINANCE, LOW-RISE RESIDENTIAL COMMUNITY SHALL BE DEFINED AS A CONDOMINIUM BUILDING WITH MULTI-FAMILY DWELLING UNITS, WITHIN WHICH DESIGNATED DWELLING UNITS ARE CONVEYED VIA FEE SIMPLE TITLE, WITH AN UNDIVIDED INTEREST IN THE BUILDING'S COMMON

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ELEMENTS, TO INCLUDE, BUT NOT BE LIMITED TO, HALLS, STAIRS, ELEVATORS, ROOF, PARKING SPACE, AND THE LAND WHEN THE BUILDING IS NOT CONSTRUCTED ON LEASED LAND. BASED ON THIS DEFINITION, ALL CONDOMINIUMS SHALL MEET THE FOLLOWING: [1] EACH UNIT IN A PROJECT HAS SEPARATE UTILITIES THAT ARE INDIVIDUALLY METERED, AND [2] EACH UNIT IS CONVEYED VIA A FEE SIMPLE DEED.

- (2): A MAXIMUM OF 115-TOWNHOMES AND 120-LOW-RISE RESIDENTIAL COMMUNITY DWELLING UNITS ARE PERMITTED WITHIN THE PROPOSED LOW-RISE RESIDENTIAL COMMUNITY. THESE UNITS MAY BE SURFACED PARKED; HOWEVER, [A] A MINIMUM OF 65.00% OF ALL 235 UNITS SHALL HAVE GARAGES; AND [B] 100.00% OF ALL THE TOWNHOME UNITS SHALL HAVE DEDICATED GARAGES THAT PROVIDE DIRECT ACCESS TO THE UNIT.
- (3): THIS INCLUDES ACCESSORY LAND USES THAT ARE AMENITIES TO THE PROPOSED CONDOMINIUM LAND USE (E.G. SWIMMING POOL, GYM, ETC.).
- (4): AS AN ACCESSORY LAND USE TO A TOWNHOME OR LOW-RISE RESIDENTIAL COMMUNITY UNIT ONLY.

- (4) **Density and Development Standards.** Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict D* -- as depicted on the *Subdistrict Plan* contained in Exhibit 'C' of this ordinance -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on *Subdistrict D* shall conform to the standards depicted in *Table 4*, which are as follows:

TABLE 4: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK ^{(1) & (5)}	10'
MINIMUM SIDE YARD SETBACK ⁽²⁾	10'
MINIMUM REAR YARD SETBACK ⁽²⁾	10'
MINIMUM BETWEEN BUILDINGS ⁽²⁾	15'
MAXIMUM BUILDING HEIGHT ⁽³⁾	60'
MAXIMUM LOT COVERAGE ⁽⁴⁾	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.
- 5: AWNINGS, PATIOS, STOOPS, OR SIMILAR RESIDENTIAL ENTRY FEATURES (AS DETERMINED BY THE DIRECTOR OF PLANNING AND ZONING) MAY EXTEND A MAXIMUM OF FIVE (5) FEET INTO THE FRONT YARD BUILDING SETBACK AND REQUIRED TEN (10) FOOT LANDSCAPE BUFFER ALONG JUSTIN ROAD.

- (6) **Parking Requirements.** The minimum parking requirements for the *Townhome* or *Low-Rise Multi-Family Community* land use shall be 1½ parking spaces per each unit.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/18/2024

PROJECT NUMBER: Z2024-041
PROJECT NAME: SUP for a Residential Infill at 324 Valiant Drive
SITE ADDRESS/LOCATIONS: 324 VALIANT DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Quadri Akamo of QJ Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	09/17/2024	Approved w/ Comments

09/17/2024: Z2024-041; Specific Use Permit (SUP) for Residential Infill for 324 Valiant Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2024-041) in the lower right-hand corner of all pages on future submittals.

M.4 Please show a 0' side setback on the south side of the site plan.

I.5 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the Chandlers Landing Phase #16 Subdivision, which consists of 59 residential lots, is 94.92% developed, and has been in existence since May 14, 1998.

I.6 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.7 Garage Requirements. According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is setback evenly with the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

M.8 Height Requirements. According to Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), the maximum building height for structures within a Zero Lot Line (ZL-5) District is 30-feet. In this case, the applicant's request exceeds the maximum height by a ½ -inch.

M.9 Ordinances. Please review the attached Draft Ordinance prior to the September 24, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than October 1, 2024.

I.10 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 15, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.11 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 24, 2024 and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on October 15, 2024.

I.12 City Council Meeting Dates. The projected City Council meeting dates for this case will be October 21, 2024 [1st Reading] and November 4, 2024 [2nd Reading].

I.13 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved w/ Comments

09/17/2024: 1. Fences are not allowed within or crossing utility easement.
2. Show and label 20' build line and utility easement.
3. Additional comments may come at time of building permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Approved w/ Comments

09/18/2024: * A/C UNIT SHOWN TO BE PLACED ACROSS THE PROPERTY LINE ON NEIGHBORS PROPERTY - NEED TO BE RELOCATED ON THIS LOT

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Approved w/ Comments

09/17/2024: The structure is shown to be less than 2 feet from the property line on the left side. Review IRC TABLE R302.1(1) EXTERIOR WALLS for requirements on the left side of the home including wall rating and projection and opening limitations.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/09/2024	Approved

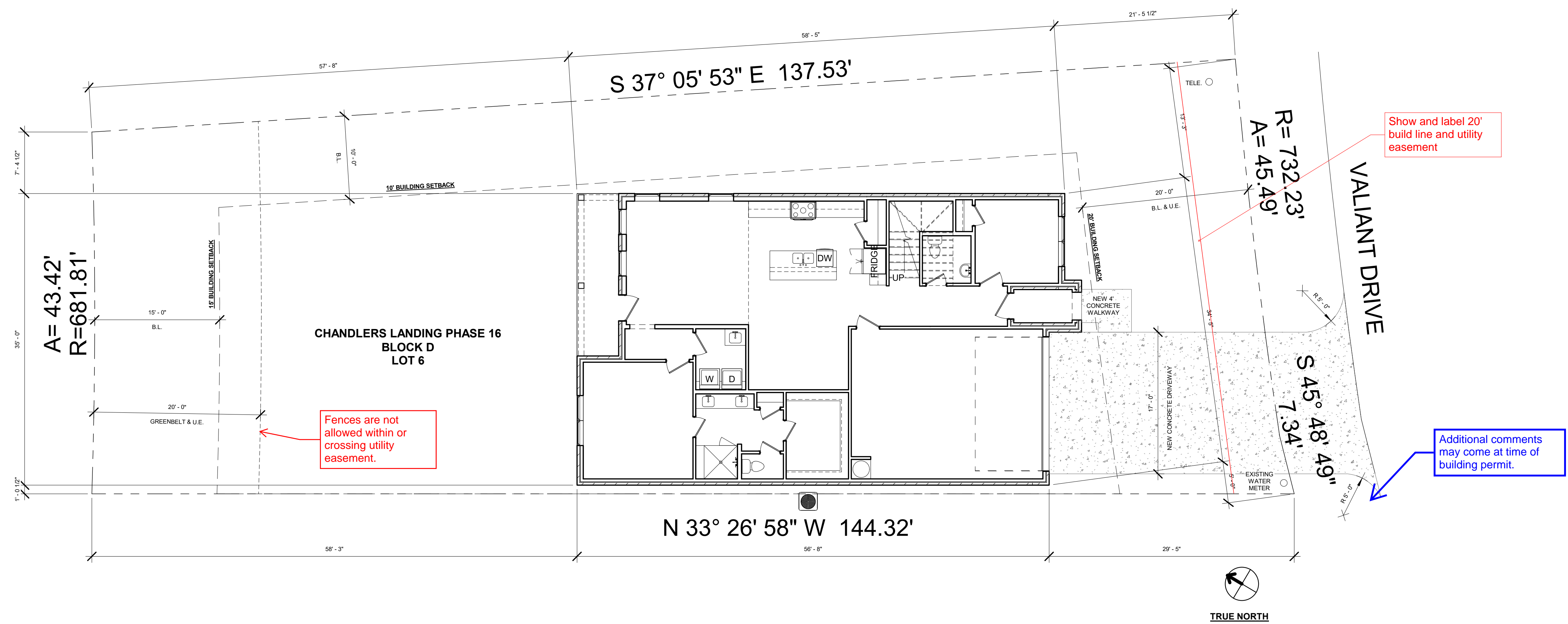
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/09/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved

No Comments



GENERAL SITE PLAN NOTES:

- 1.) LOT DRAINAGE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE.
- 2.) BUILDING AREA TO BE CLEARED OF ALL HUMUS, ROOTS, AND VEGETATION. CUT STUMPS A MINIMUM OF 2" BELOW GRADE AND 4" BELOW BEAMS.

GENERAL NOTES:

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
- 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
- 3.) Contractor must verify all dimensions and scale drawings.

1 SITE PLAN
1/8" = 1'-0"

QJ DEVELOPMENT LLC

324 Valiant Drive
Chancellors Landing Phase 16
Block D, Lot 6
Rockwall, Texas 75032

ISSUE FOR PERMIT
August 28, 2024



08/28/2024

Title
SITE PLAN

Sheet
A-001



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **324 Valiant Dr, Rockwall, TX 75032**

SUBDIVISION **Replat of Part of Chandlers Landing Phase 16** LOT **6** BLOCK **D**

GENERAL LOCATION **324 Valiant Dr, Rockwall, TX 75032**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-008**

CURRENT USE **UNDEVELOPED**

PROPOSED ZONING **PD-008**

PROPOSED USE **SINGLE FAMILY RESIDENCE**

ACREAGE **0.154 AC.** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **QJ DEVELOPMENT LLC**

APPLICANT **QJ DEVELOPMENT LLC**

CONTACT PERSON **QUADRI AKAMO**

CONTACT PERSON **QUADRI AKAMO**

ADDRESS **4422 MEADOW HAWK DRIVE**

ADDRESS **4422 MEADOW HAWK DRIVE**

CITY, STATE & ZIP **ARLINGTON, TX 76005**

CITY, STATE & ZIP **ARLINGTON, TX 76005**

PHONE **682-472-4708**

PHONE **682-472-4708**

E-MAIL **QAKAMO@GMAIL.COM**

E-MAIL **QAKAMO@GMAIL.COM**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED QUADRI AKAMO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 29th DAY OF AUGUST, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

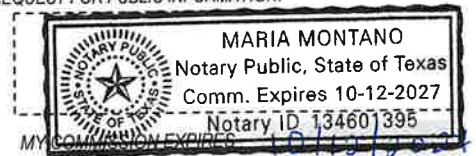
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 29th DAY OF August, 2024.

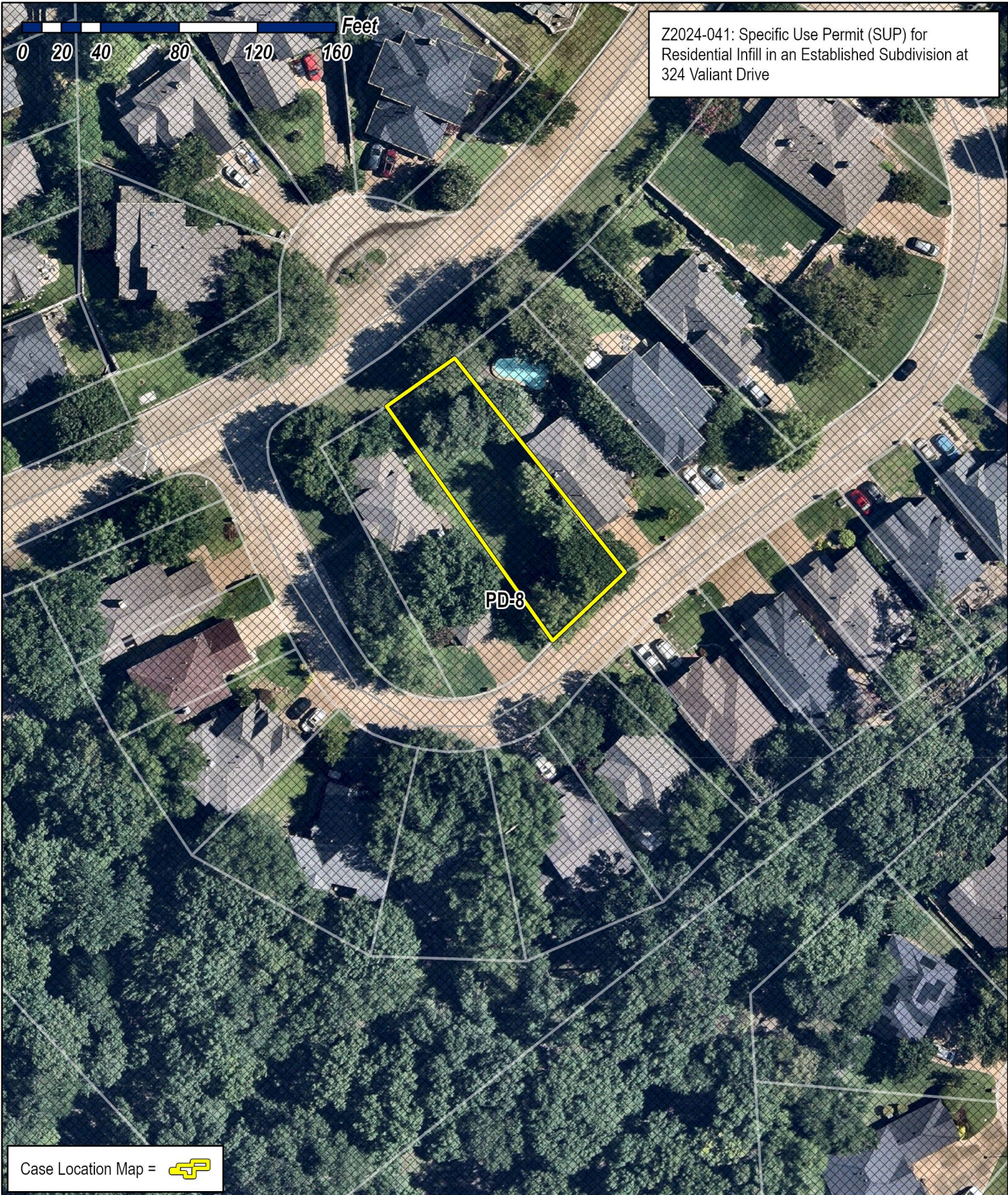
OWNER'S SIGNATURE

Quadri Akamo

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Maria Montano





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

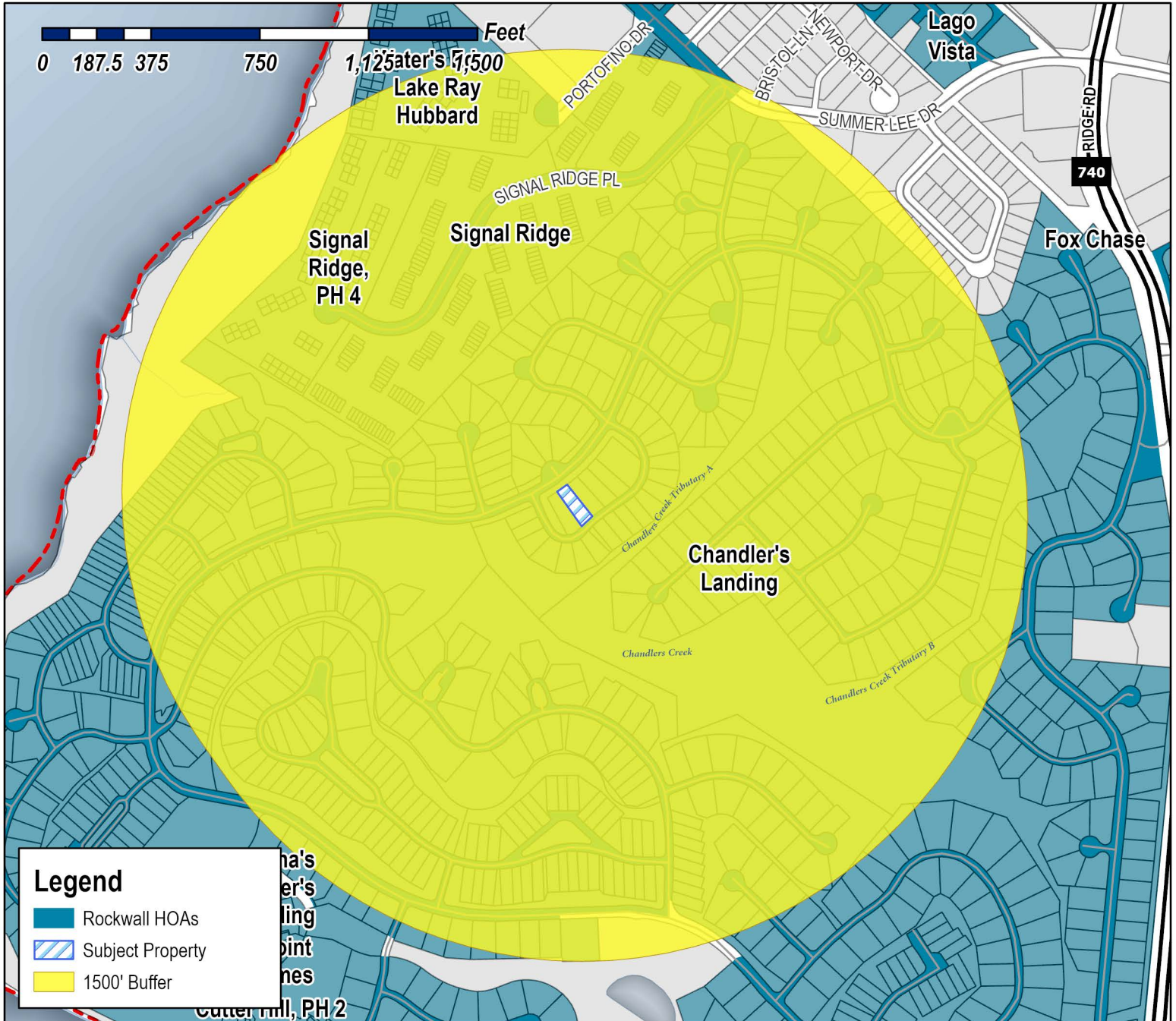
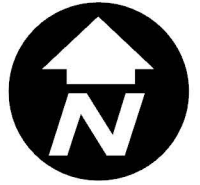




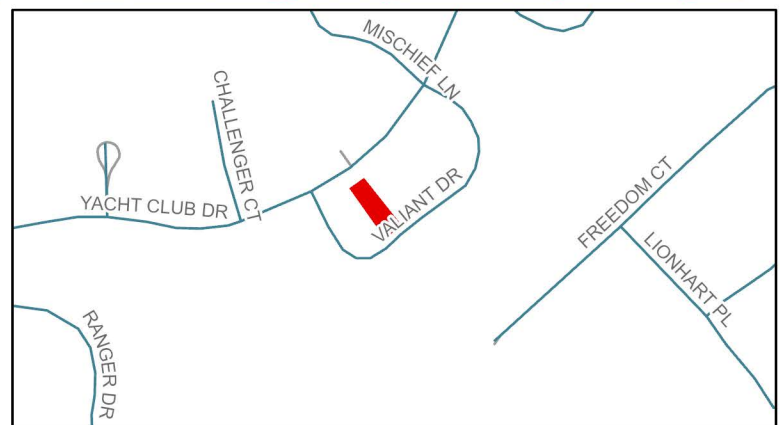
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2024-041
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 324 Valiant Drive



Date Saved: 9/10/2024
 For Questions on this Case Call (972) 771-7745

From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2024-041]
Date: Wednesday, September 18, 2024 10:25:52 AM
Attachments: [Public Notice \(P&Z\) \(09.16.2024\).pdf](#)
[HOA Map \(09.10.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 20, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 15, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 21, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2024-041: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Quadri Akamo of QJ Development, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive, and take any action necessary.

Thank you,

Melanie Zavala

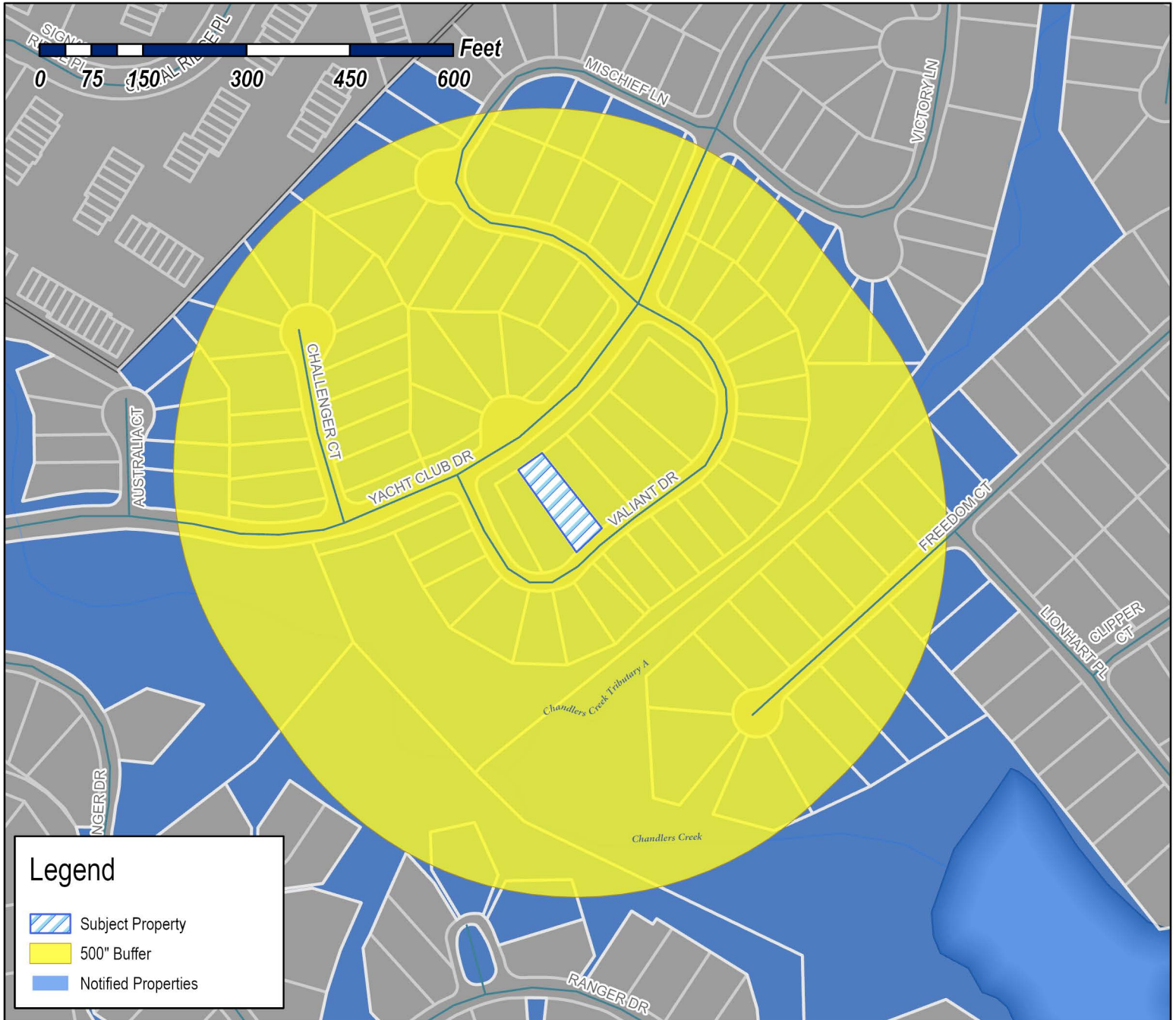
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

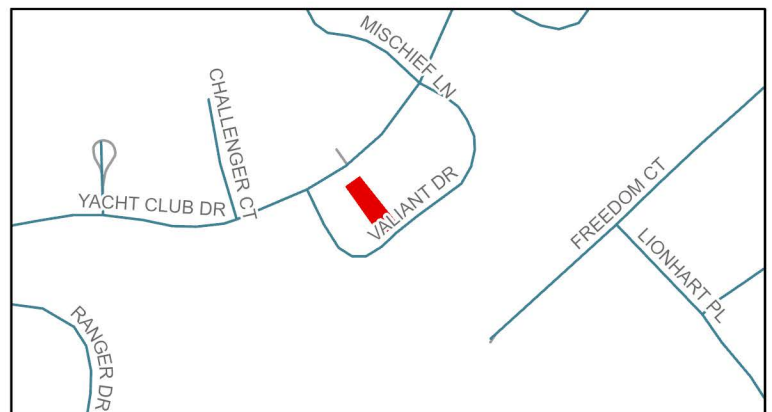
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Case Number: Z2024-041
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 324 Valiant Drive

Date Saved: 9/10/2024

For Questions on this Case Call: (972) 771-7745



CHANDLERS LANDING COMMUNITY ASSOC
1 COMMODORE PLAZA
ROCKWALL, TX 75032

GOODMAN CARLA
101 DAME PATTIE DR
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

RESIDENT
103 DAME PATTIE
ROCKWALL, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
ROBERT S AND DOLORES I JOHNSON - TRUSTEES
105 MISCHIEF LANE
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

THORNQUIST RACHAEL AND
JOSH HANSEN AND CHRIS-ANN ZIEGLER
113 CLIPPER CT
ROCKWALL, TX 75032

HANSEN JOSH AND
RACHEL THORNQUIST
113 CLIPPER CT
ROCKWALL, TX 75032

BRACE JUDE
116 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
118 MISCHIEF LN
ROCKWALL, TX 75032

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

LOWREY COLT A AND
LEO WISE
122 MISCHIEF LN
ROCKWALL, TX 75032

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
125 MISCHIEF LN
ROCKWALL, TX 75032

LOPEZ CHRIS MARK AND ASHLEY MARIE
126 MISCHIEF LN
ROCKWALL, TX 75087

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

RESIDENT
132 MISCHIEF LN
ROCKWALL, TX 75032

ROBISON BRUCE EMERSON
135 FREEDOM COURT
ROCKWALL, TX 75032

RESIDENT
139 FREEDOM CT
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD DR
HEATH, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

BAXTER ERIKA LEE GARDNER AND SCOTT
201 FREEDON CT
ROCKWALL, TX 75032

CHAVEZ JEREMY & DEBORAH
205 FREEDOM CT
ROCKWALL, TX 75032

LANE LAWRENCE DALE & HARRIETT B
209 FREEDOM COURT
ROCKWALL, TX 75032

MORRISON MICHAEL JARED AND
SARAH MARIE GOOCH
210 FREEDOM CT
ROCKWALL, TX 75032

MONKRESS MONTE R & MARGARET D
213 FREEDOM CT
ROCKWALL, TX 75032

GENTZEL DUSTIN AND SHANA
214 FREEDOM COURT
ROCKWALL, TX 75032

RESIDENT
217 FREEDOM CT
ROCKWALL, TX 75032

WILLIAMS HARRY E & MARGARET
218 FREEDOM CT
ROCKWALL, TX 75032

MCCASKILL KRISTOFER
221 FREEDOM COURT
ROCKWALL, TX 75032

AGNEW MICHAEL THOMAS AND KARLA KAY
222 FREEDOM COURT
ROCKWALL, TX 75032

LUCIANO ANTHONY
225 FREEDOM COURT
ROCKWALL, TX 75032

BELL LINDA W
226 FREEDOM CT
ROCKWALL, TX 75032

TONICK MICHAEL D & JANET A
229 FREEDOM CT
ROCKWALL, TX 75032

NASH TERRY L & MARGARET SPEAR
232 LIONHART PL
ROCKWALL, TX 75032

MOLTZAN HERBERT J & JANET R
236 LIONHART PL
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

WOOD JOHN S & LISA MARIE
293 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
295 VICTORY LN
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

LYNN JASON AND DANIELLE
297 VICTORY LANE
ROCKWALL, TX 75032

CURRA CHRISTOPHER
2975 BLACKBURN ST APT 1321
DALLAS, TX 75204

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

RIVERA LUIS
300 S WATTERS RD APT 127
ALLEN, TX 75103

MIRFENDERESKI JONAH JAVAD AND
NALINA MICHELLE SHAPIRO
301 VALIANT DRIVE
ROCKWALL, TX 75032

RICHARDS JOAN S
302 SHAMROCK CIR
ROCKWALL, TX 75032

PUSTEJOVSKY MARK
303 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
304 SHAMROCK CIR
ROCKWALL, TX 75032

HALL TABITHA AMY AND
TERESA ADAMS
305 VALIANT DR
ROCKWALL, TX 75032

SANFORD TIMOTHY & KELLEE
307 VALIANT DRIVE
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

BOWNE SHAROLDINE K
309 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
311 VALIANT DR
ROCKWALL, TX 75032

LOVELESS JERRY L & TOMMIE H
313 VALIANT DR
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

JOHNSTON CAROLINE
315 VALIANT DR
ROCKWALL, TX 75032

SARAH LOREDO A/K/A SARAH ARCE SPECIAL
COMMUNITY PROPERTY TRUST, A SU
JAIME & SARAH ARCE LIVING TRUST, SARAH
LOREDO/SARAH ARCE-T
315 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
317 VALIANT DR
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

COPPLER GERALD
319 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
320 VALIANT DR
ROCKWALL, TX 75032

BLASINGAME DAVID A AND LISA M HOUCHEIN
321 VALIANT DR
ROCKWALL, TX 75032

CONDIT TINA
322 VALIANT DRIVE
ROCKWALL, TX 75032

OWENS MICHAEL V
323 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
324 VALIANT DR
ROCKWALL, TX 75032

ROGERS JACY MARIE AND FRANK MARION
325 VALIANT DRIVE
ROCKWALL, TX 75032

RESIDENT
326 VALIANT DR
ROCKWALL, TX 75032

GENERAL DALE A & KATHRYN
327 VALIANT DR
ROCKWALL, TX 75032

IMBURGIA JAMES
329 VALIANT DR
ROCKWALL, TX 75032

STORY BRIAN K AND LANA K
331 VALIANT DRIVE
ROCKWALL, TX 75032

LE TAN T AND VIRGINIA I
333 VALIANT DR
ROCKWALL, TX 75032

DANIEL SANDRA SUE
335 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
337 VALIANT DR
ROCKWALL, TX 75032

MELENDEZ DANIEL ANTHONY & JOVANA NICOLE
4020 KIRKMEADOW LN
DALLAS, TX 75287

BRACK KENYATTA AND SELEAN TURNER
4501 YACHT CLUB DRIVE
ROCKWALL, TX 75032

ROCKWALL YELLOWJACKETS 3533 LLC
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

RESIDENT
5502 AUSTRALIA CT
ROCKWALL, TX 75032

MARSHALL SAMUEL AND DIANA
5502 CHALLENGER CT
ROCKWALL, TX 75032

LINLEY ZACHARY AND ELIZABETH HOLLAND-
5504 AUSTRALIA COURT
ROCKWALL, TX 75032

MCKAY ADRIAN AND ROBERTA
5504 CHALLENGER CT
ROCKWALL, TX 75032

RESIDENT
5506 CHALLENGER CT
ROCKWALL, TX 75032

WILSON STEPHEN MICHAEL AND LISA MARIE
5506 AUSTRALIA COURT
ROCKWALL, TX 75032

YOUNG SHERRY WHITE
5508 AUSTRALIA CT
ROCKWALL, TX 75032

NORTON ANGELA
5508 CHALLENGER CT
ROCKWALL, TX 75032

DESROSIERS RONALD J
5510 AUSTRALIA CT
HEATH, TX 75032

BRADSHAW ADRIAN
5510 CHALLENGER COURT
ROCKWALL, TX 75032

JOHNSON GREGORY AND TERESA
5512 CHALLENGER CT
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN
5514 CHALLENGER CT
ROCKWALL, TX 75032

CABANISS CHAR CHERICE
DAVID R DE LA CERDA
5516 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

RESIDENT
5520 CHALLENGER CT
ROCKWALL, TX 75032

CHESLIK EDWIN ALLEN JR AND AMBER NICHOLE
CARREON
5522 CHALLENGER CT
ROCKWALL, TX 75032

CONFIDENTIAL
5526 CHALLENGER COURT
ROCKWALL, TX 75032

SHELTON ROBERT M
5528 CHALLENGER CT
ROCKWALL, TX 75032

WATKINS JAMES & ELLEN
5530 CHALLENGER CT
ROCKWALL, TX 75032

HENDRICKS LORI L
5903 VOLUNTEER PL
ROCKWALL, TX 75032

THOMAS VELIA
7317 LOUGHEED PLZ
PLANO, TX 75025

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-041: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Quadri Akamo of QJ Development, LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.154-acre parcel of land identified as Lot 6, Block D, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 324 Valiant Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-041: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

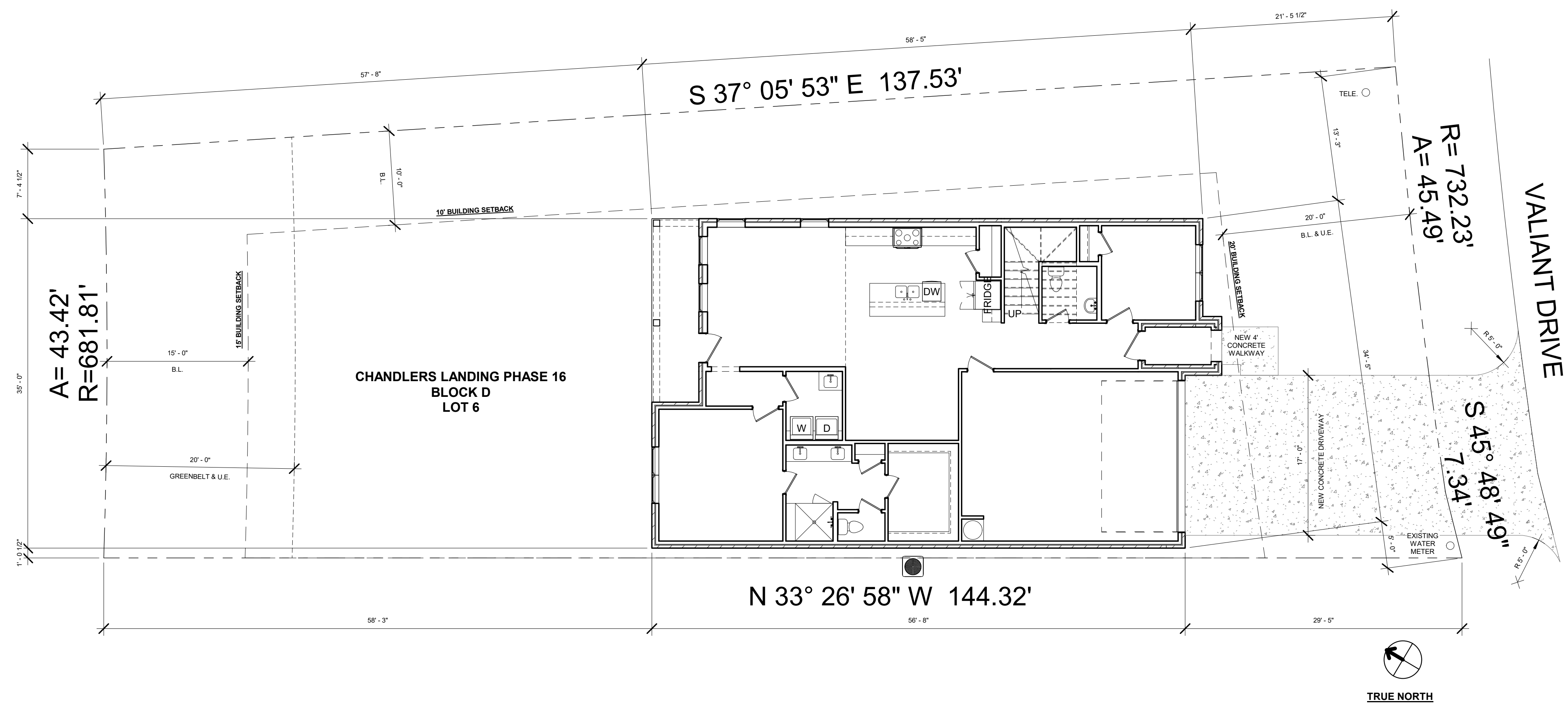
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



GENERAL SITE PLAN NOTES:

- 1.) LOT DRAINAGE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE.
- 2.) BUILDING AREA TO BE CLEARED OF ALL HUMUS, ROOTS, AND VEGETATION. CUT STUMPS A MINIMUM OF 2" BELOW GRADE AND 4" BELOW BEAMS.

GENERAL NOTES:

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
- 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
- 3.) Contractor must verify all dimensions and scale drawings.

1 SITE PLAN
1/8" = 1'-0"

QJ DEVELOPMENT LLC

324 Valiant Drive
Chandlers Landing Phase 16
Block D, Lot 6
Rockwall, Texas 75032

ISSUE FOR PERMIT

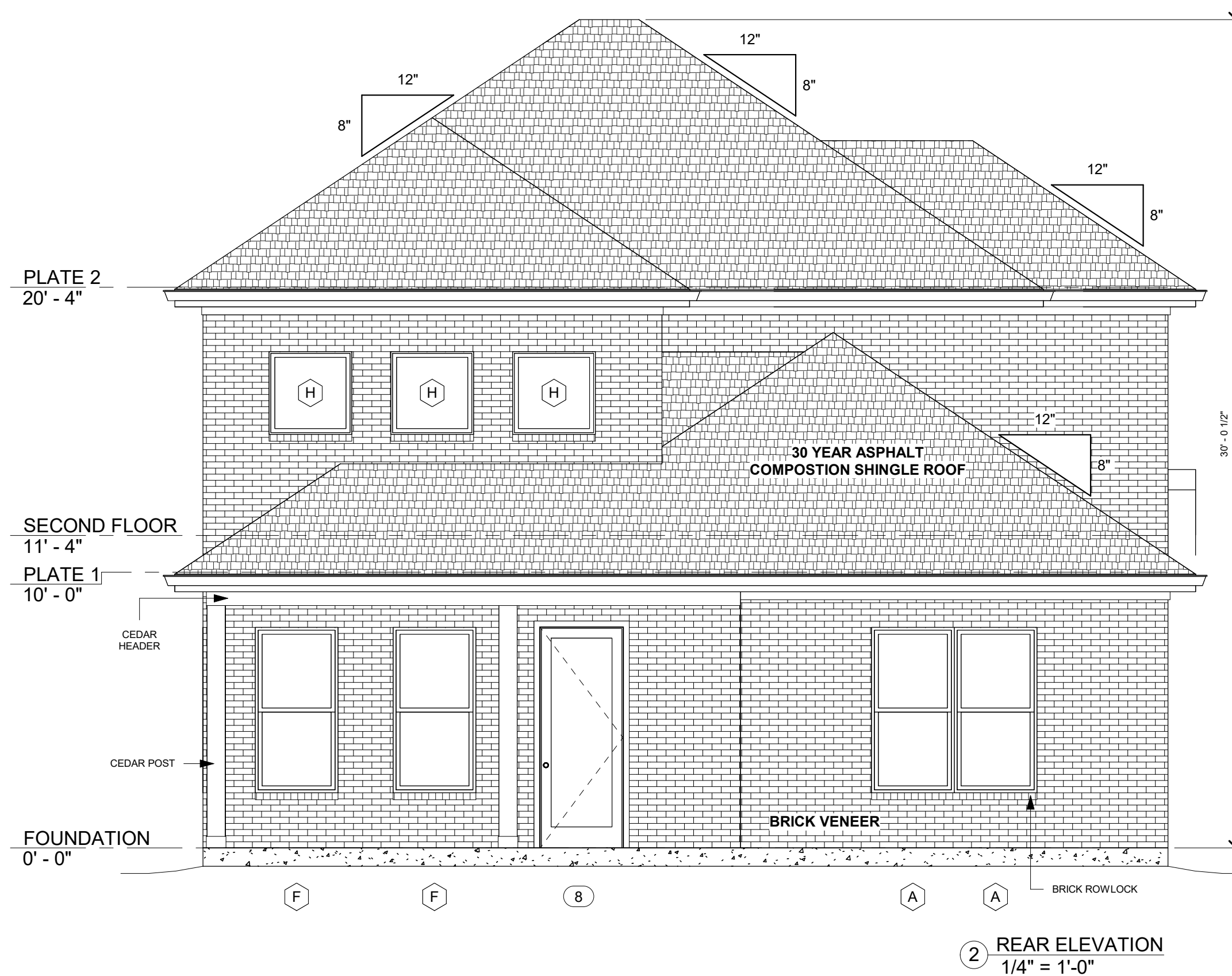
August 28, 2024



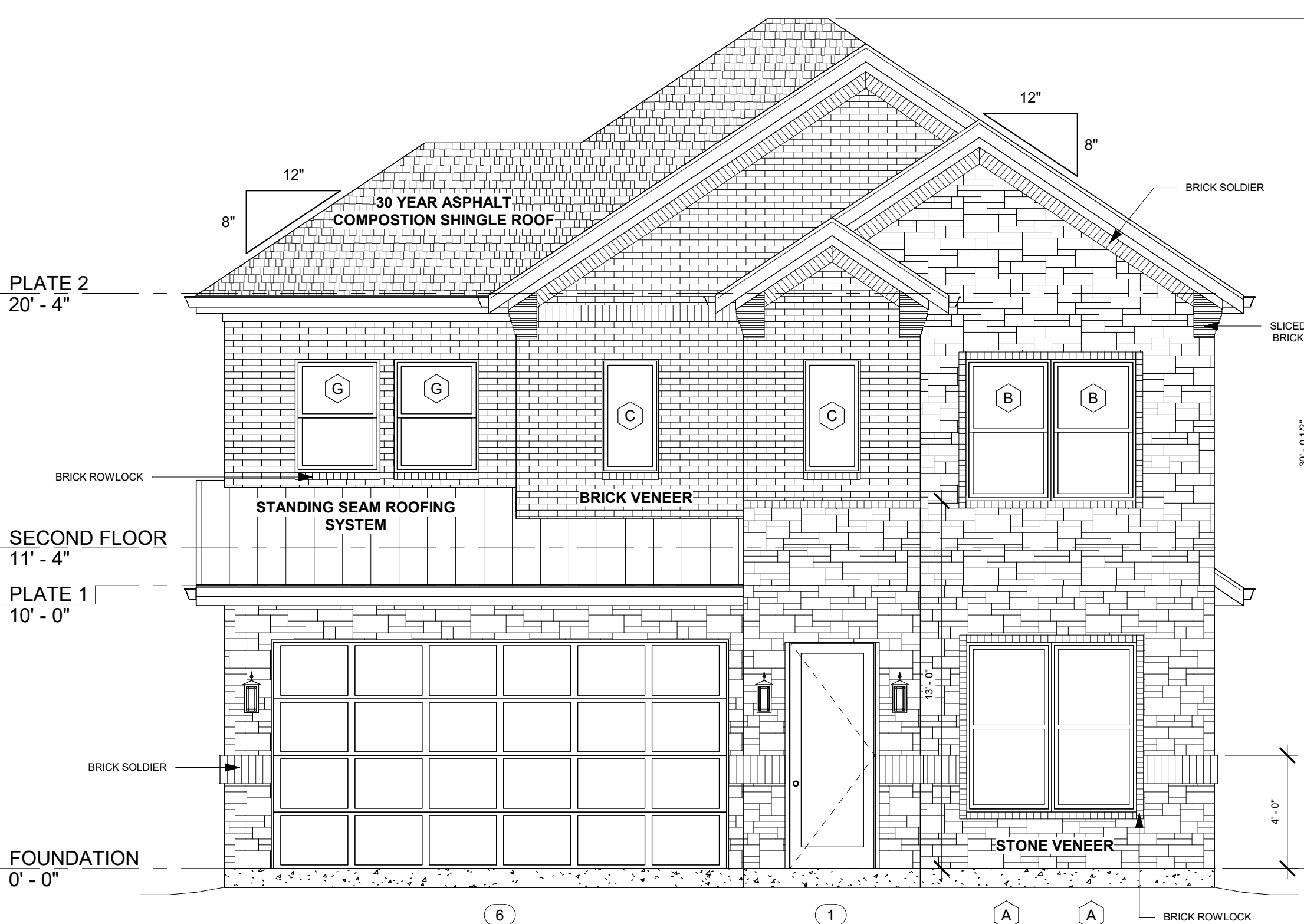
08/28/2024

Title
SITE PLAN

Sheet
A-001



2 REAR ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
- 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
- 3.) Contractor must verify all dimensions and scale drawings.

GENERAL ELEVATION NOTES:

1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

QJ DEVELOPMENT LLC

324 Valiant Drive
Chandlers Landing Phase 16
Block D, Lot 6
Rockwall, Texas 75032

ISSUE FOR PERMIT

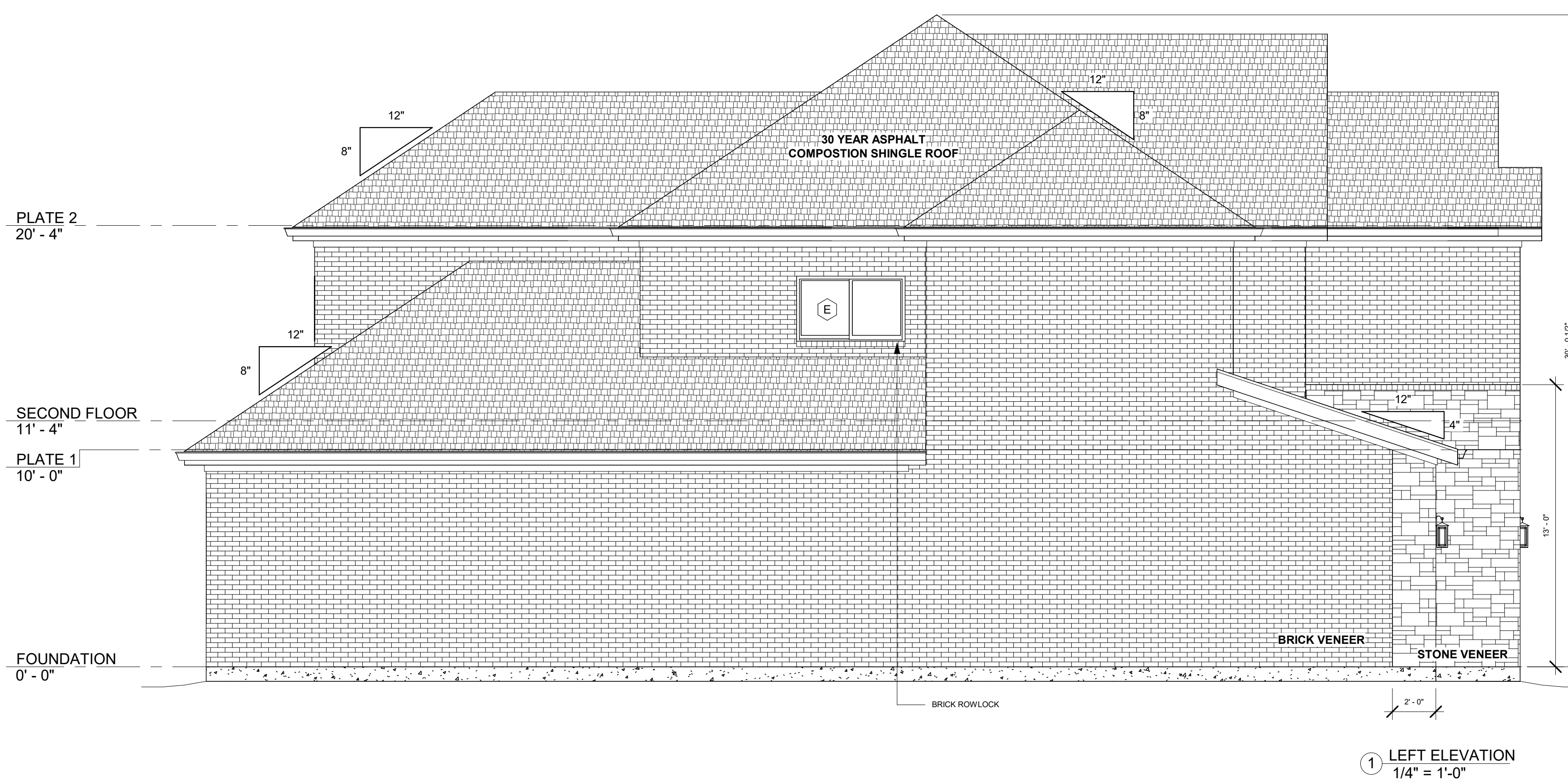
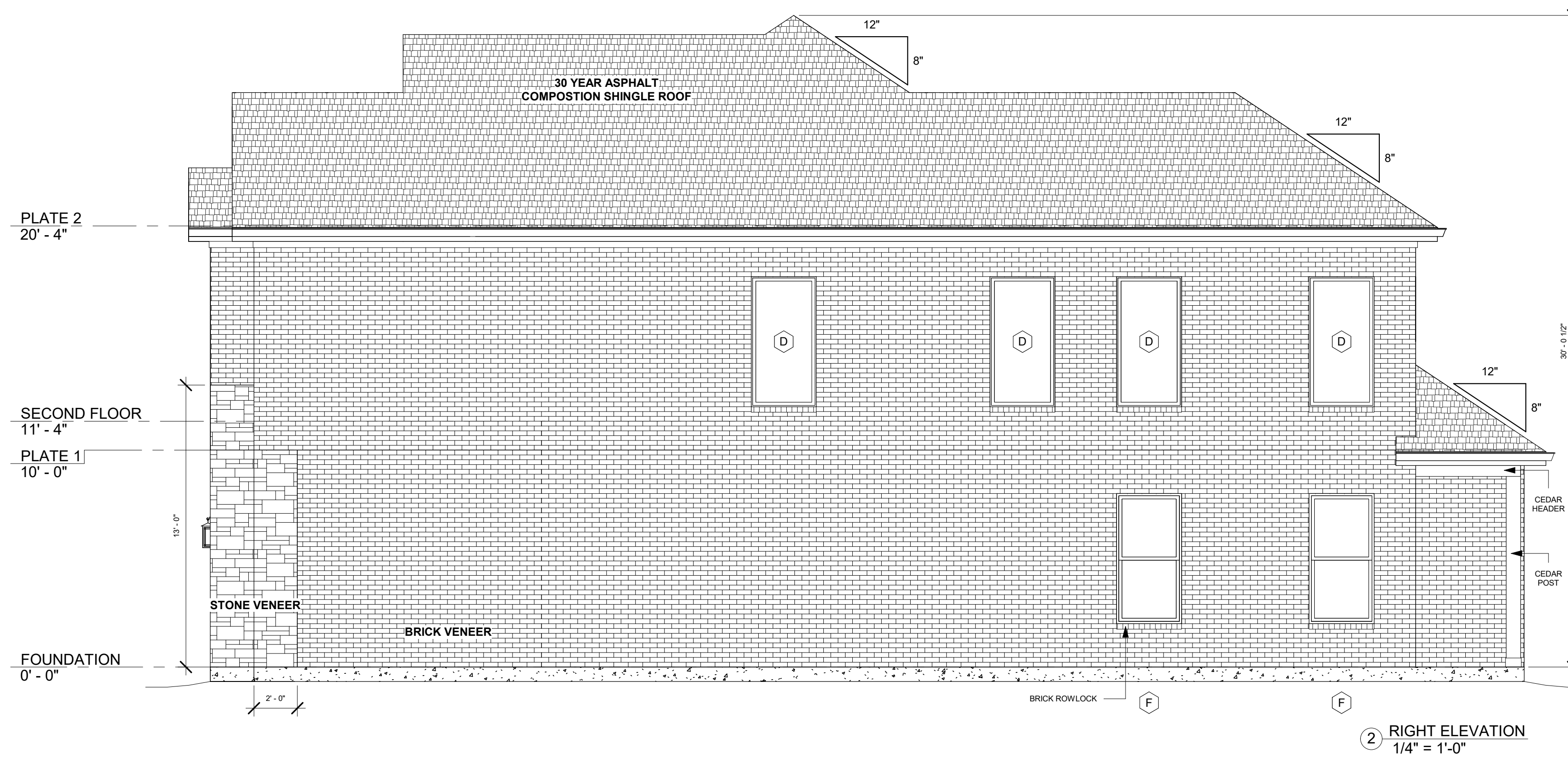
August 28, 2024



08/28/2024

Title
ELEVATIONS

Sheet
A-301



GENERAL ELEVATION NOTES:

1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

GENERAL NOTES:

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
- 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
- 3.) Contractor must verify all dimensions and scale drawings.



08/28/2024

Title
ELEVATIONS

Sheet
A-302

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.154-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK D, OF THE CHANDLER'S LANDING #16 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS the City Council has received an application for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the construction of a single-family home on a 0.154-acre parcel of land identified as Lot 6, Block D, of the Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, as more specifically described and depicted in Exhibit 'A' of this ordinance; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas;

WHEREAS the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas;

NOW, THEREFORE BE IT ORDAINED that the City Council of the City of Rockwall, Texas, do hereby ordain, enact, and pass the following ordinance:

SECTION 1. That Planned Development District 8 (PD-8) and the Unified Development Code (UDC) Ordinance No. 20-02 of the City of Rockwall, Texas, as previously amended, be amended to allow the construction of a single-family home on a 0.154-acre parcel of land identified as Lot 6, Block D, of the Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, as more specifically described and depicted in Exhibit 'A' of this ordinance; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas;

SECTION 2. That the Unified Development Code (UDC) Ordinance No. 20-02 of the City of Rockwall, Texas, as previously amended, be amended to allow the construction of a single-family home on a 0.154-acre parcel of land identified as Lot 6, Block D, of the Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, as more specifically described and depicted in Exhibit 'A' of this ordinance; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas;

Pursuant to Ordinance No. 20-02, as heretofore amended and may be amended in the future --

2.1 OPERATIONAL CONDITIONS

The Applicant hereby agrees to the following conditions for the Subject Property:

- 1. To demonstrate compliance with the Subject Property Residential Plot Plan as shown in Exhibit 'B'.
- 2. To demonstrate compliance with the Subject Property Building Elevations as shown in Exhibit 'C'.
- 3. Obtain all necessary permits from the City of Rockwall, including but not limited to a Specific Use Permit (SUP) and any other permits required by the City of Rockwall.

2.2 COMPLIANCE

Applicant hereby agrees to comply with all applicable City of Rockwall Ordinance No. 02-02 Specific Use Permits (SUP) and Ordinance No. 11 Development Applications and Review Procedures, and all applicable City of Rockwall Ordinance No. 20-02 Subject Property.

- 1. Upon issuance of a Building Permit, the Applicant shall comply with all applicable City of Rockwall Ordinance No. 02-02 Specific Use Permits (SUP) and Ordinance No. 11 Development Applications and Review Procedures, and all applicable City of Rockwall Ordinance No. 20-02 Subject Property, after proper notice.

SECTION 3. The Applicant shall comply with all applicable City of Rockwall Ordinance No. 02-02 Specific Use Permits (SUP) and Ordinance No. 11 Development Applications and Review Procedures, and all applicable City of Rockwall Ordinance No. 20-02 Subject Property.

SECTION 4. The Applicant shall comply with all applicable City of Rockwall Ordinance No. 02-02 Specific Use Permits (SUP) and Ordinance No. 11 Development Applications and Review Procedures, and all applicable City of Rockwall Ordinance No. 20-02 Subject Property.

SECTION 5. Applicant shall be responsible for obtaining all necessary permits from the City of Rockwall, including but not limited to a Specific Use Permit (SUP) and any other permits required by the City of Rockwall. Applicant shall pay a fee of TWO THOUSAND DOLLARS (\$2,000.00) for the permit.

SECTION 6. Applicant shall be responsible for obtaining all necessary permits from the City of Rockwall, including but not limited to a Specific Use Permit (SUP) and any other permits required by the City of Rockwall. Applicant shall pay a fee of TWO THOUSAND DOLLARS (\$2,000.00) for the permit.

SECTION 7. T

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF NOVEMBER, 2024.

Tr Mayor

ATTEST:

Kr T City Secretary

APPROVED AS TO FORM:

Cr City Attorney

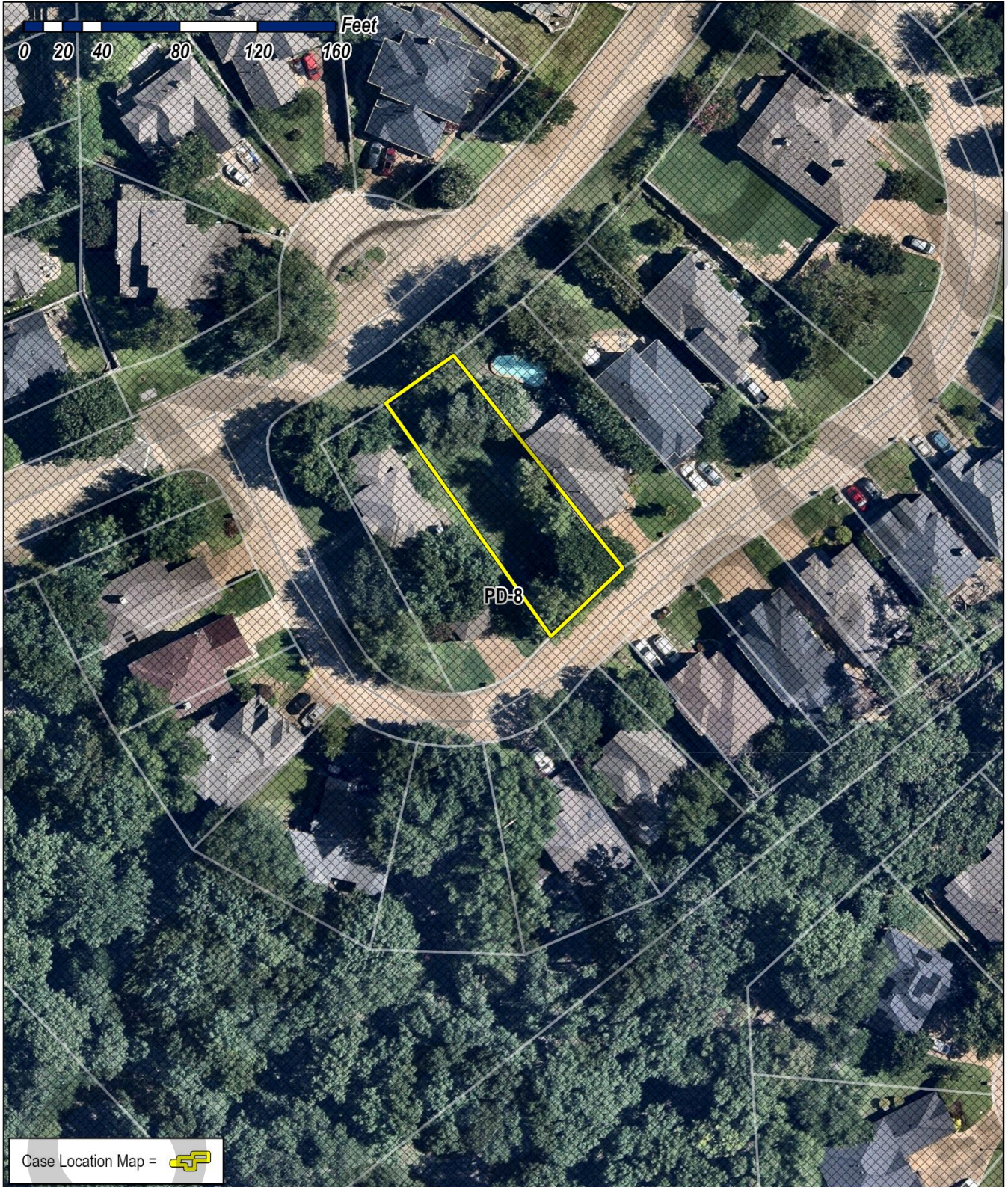
1st R October 21, 2024

2nd R November 4, 2024

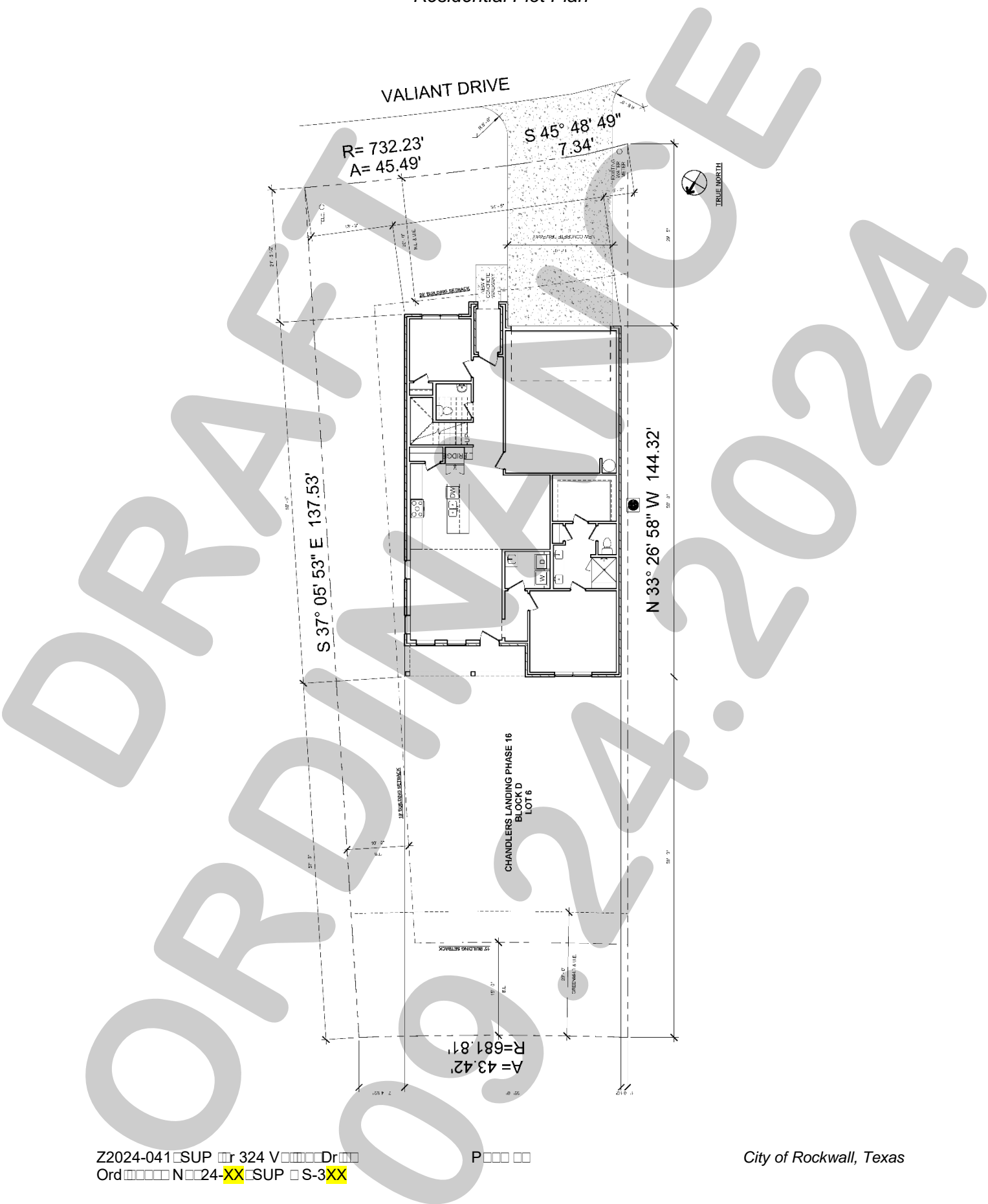
Exhibit 'A':
Location Map

Address: 324 Valiant Drive

Legal Description: Lot 6, Block D, Chandler's Landing #16 Addition



**Exhibit 'B':
Residential Plot Plan**

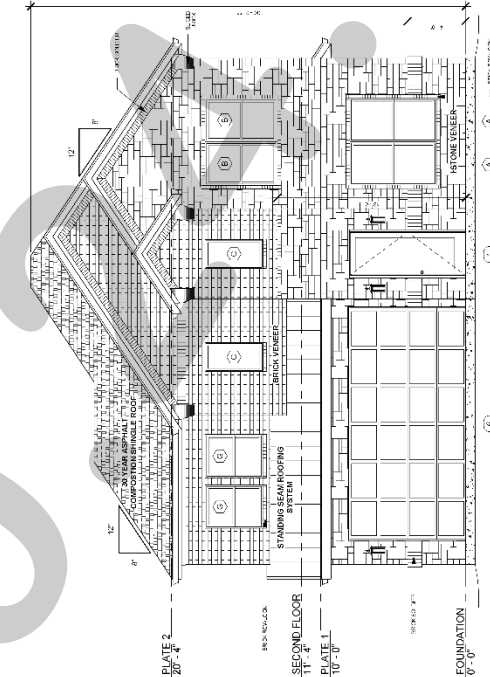
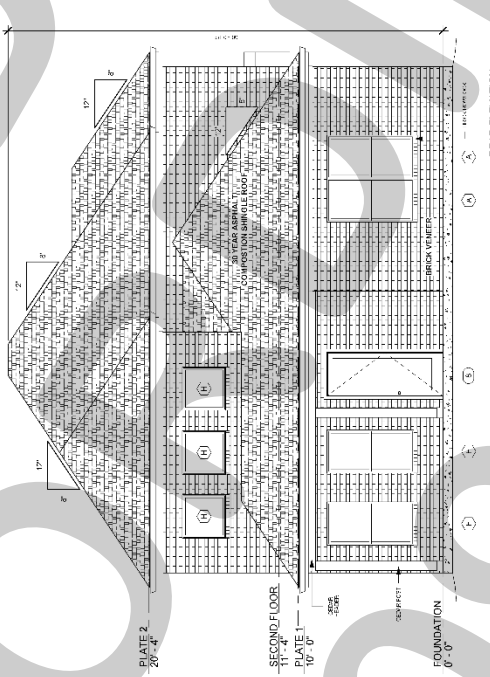
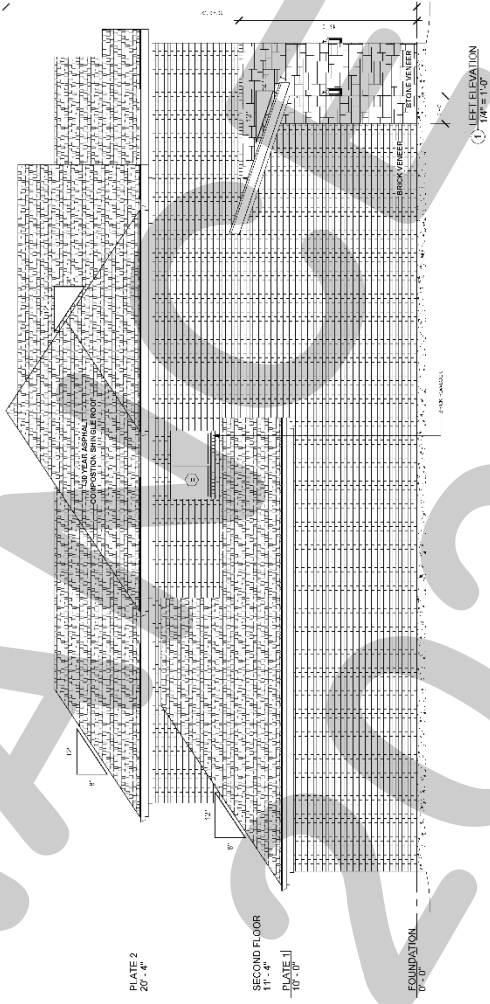
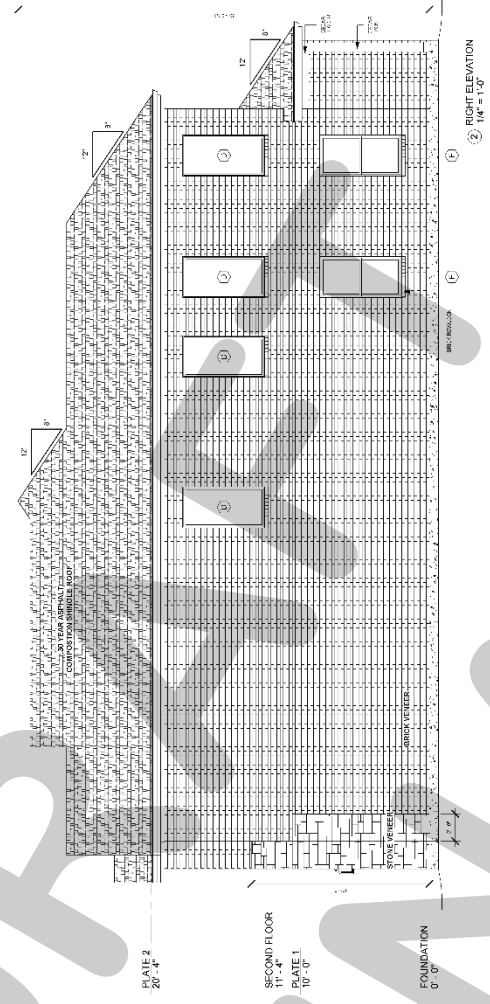


Z2024-041 SUP r 324 V Dr
Ord N 24-XX SUP S-3XX

P

City of Rockwall, Texas

Exhibit 'C':
Building Elevations



Z2024-041 SUP r 324 V Dr
Ord N 24-XX SUP S-3XX

P

City of Rockwall, Texas

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/18/2024

PROJECT NUMBER: Z2024-042
PROJECT NAME: SUP for Residential Infill
SITE ADDRESS/LOCATIONS: 515 S CLARK ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Nadia Ramos for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 515 S. Clark Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	09/17/2024	Approved w/ Comments

09/17/2024: Z2024-042; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 515 S. Clark Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 515 S. Clark Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.4 For reference, include the case number (Z2024-042) in the lower right-hand corner of all pages on future submittals.

I.5 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located within the J.E. Harris Subdivision, which consists of 8 residential lots, is 87.5% developed, and has been in existence since June 4, 1960.

I.6 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.7 Please provide an updated residential plot plan showing the proposed driveway, parking spaces, and location of the proposed home to ensure it'll meet the district's setback requirements.

M.8 Garage Requirements. According to Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), each dwelling unit within a Two Family (2F) District requires two (2) off-street parking spaces plus one (1) garage parking space. In this case, the proposed home does not incorporate a garage. This will require a variance from the Planning and Zoning Commission.

M.9 Height Requirements. According to Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), the maximum building height for structures within a Two Family (2F) District is 32-feet. In this case, the applicant's request exceeds the maximum height by a five (5) feet, five (5) inches.

M.10 Ordinances. Please review the attached Draft Ordinance prior to the September 24, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than October 1, 2024.

I.11 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 15, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.12 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 24, 2024 and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on October 15, 2024.

I.13 City Council Meeting Dates. The projected City Council meeting dates for this case will be October 21, 2024 [1st Reading] and November 4, 2024 [2nd Reading].

I.14 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved w/ Comments

09/17/2024: 1. This property is located within the 100yr floodplain. Please provide a site plan showing the proposed location of the home and driveway within the lot. Show erosion hazard setback per Engineering Standards of Design Manual.
2. Additional comments may come at time of building permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Needs Review

09/18/2024: * NEED A PLOT PLAN TO SEE WHERE THE HOUSE IS LOCATED ON THE LOT
* LARGE PORTION OF THE BACK OF THE PROPERTY IS WITHIN A FLOODPLAIN

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Approved w/ Comments

09/17/2024: no plan provided that shows the location of the home on the property. Separation distances from lot lines need to still be reviewed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/12/2024	Approved

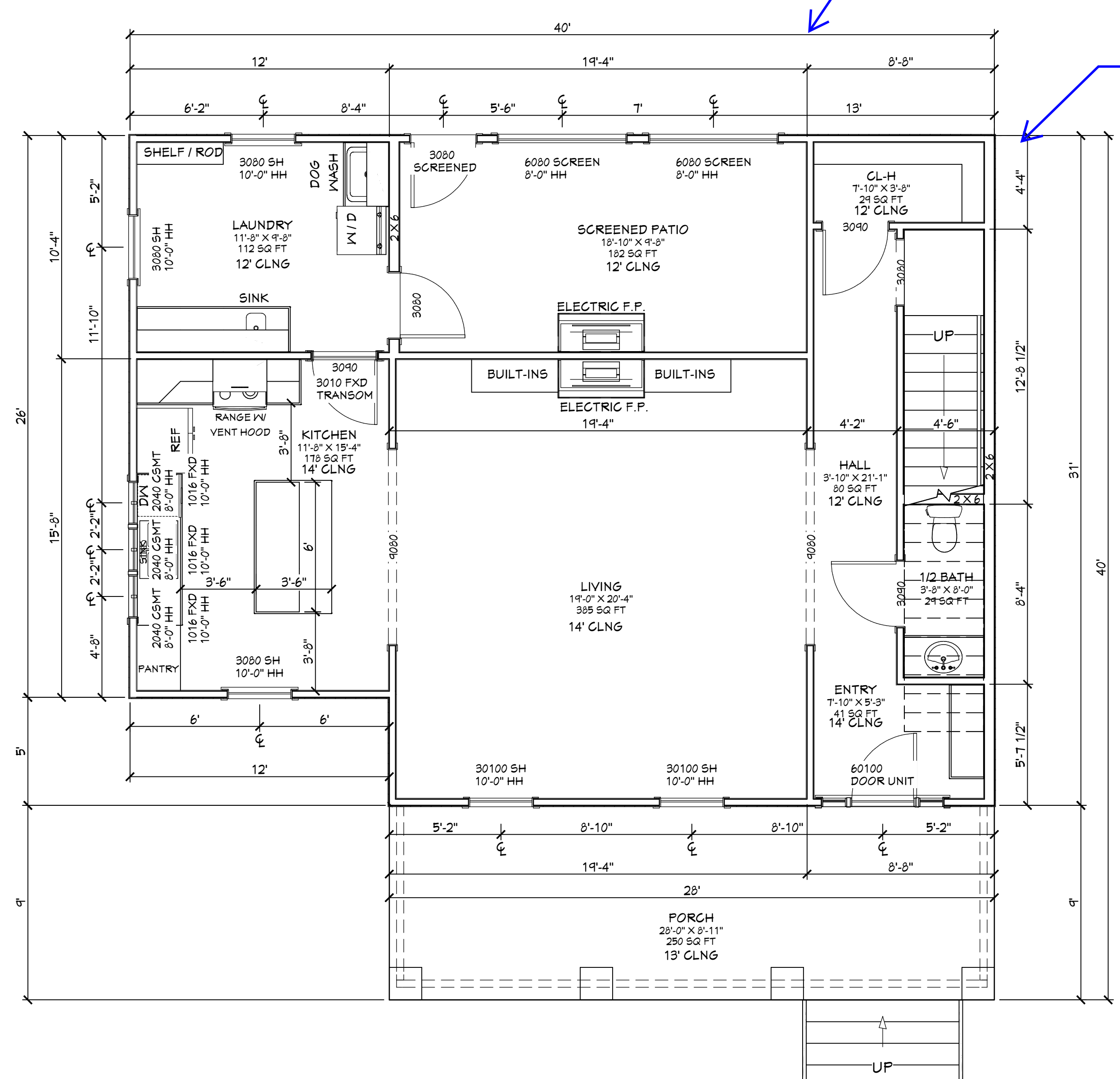
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/12/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved

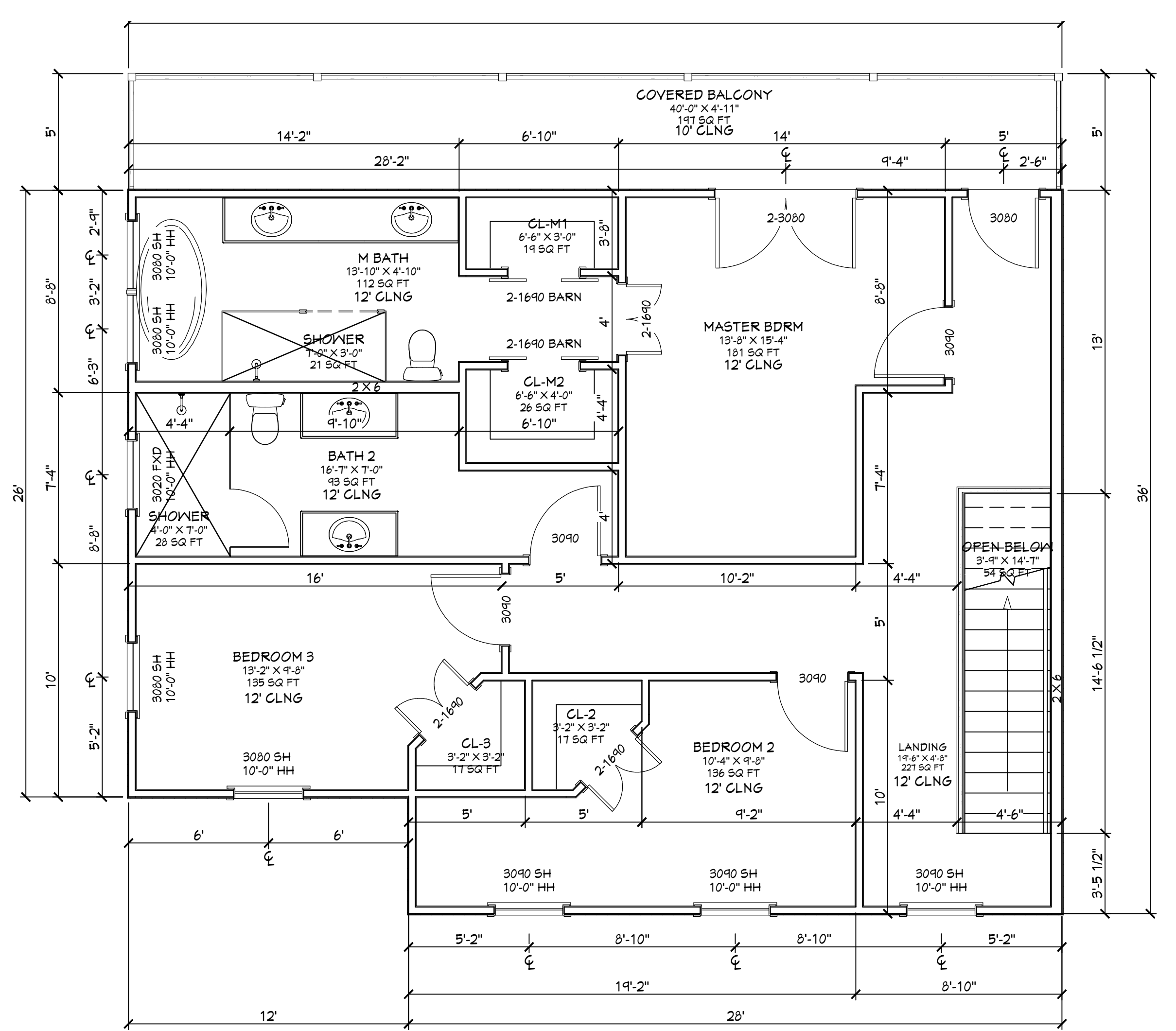
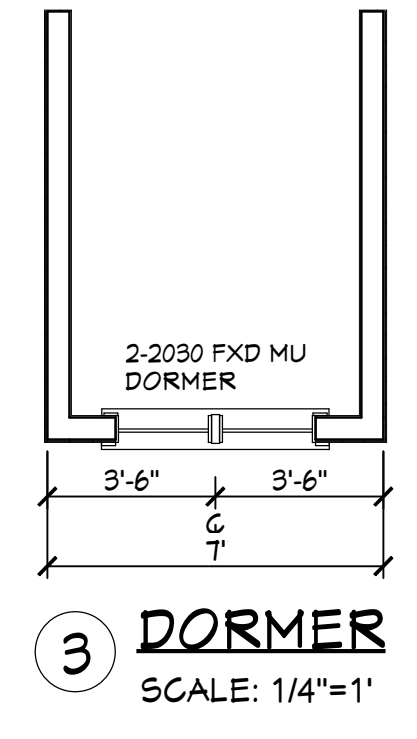
No Comments



1 FLOOR PLAN - 1ST
SCALE: 1/4"=1'

AREAS	
FIRST FLOOR LIVING	988 SQ. FT.
SECOND FLOOR LIVING	1133 SQ. FT.
TOTAL LIVING AREA	2121 SQ. FT.
COVERED PORCH	252 SQ. FT.
COVERED BALCONY	200 SQ. FT.
TOTAL SQ FT	2573 SQ. FT.

LIVING AREA
988 SQ FT



2 FLOOR PLAN - 2ND
SCALE: 1/4"=1'

LIVING AREA
1114 SQ FT

PLANS FOR: SPARROW 15
NADIA AND ANTHONY RAMOS

TITLE: FLOOR PLANS

SHANNON NEWSOM
MARK NEWSOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
9/9/2024

SCALE:
AS SHOWN

SHEET:

A-4



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 515 S Clark Rockwall TX 75187

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION Downtown Rockwall area

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential CURRENT USE empty lot

PROPOSED ZONING Single family Res PROPOSED USE single family home

ACREAGE 1.8 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Anthony + Nadia Ramos</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Anthony + Nadia Ramos</u>
CONTACT PERSON	<u>Anthony Ramos</u>	CONTACT PERSON	<u>Anthony Ramos</u>
ADDRESS	<u>515 S Clark st</u>	ADDRESS	<u>515 S Clark st</u>
CITY, STATE & ZIP	<u>Rockwall TX 75187</u>	CITY, STATE & ZIP	<u>Rockwall TX 75187</u>
PHONE	<u>469 544 1369</u>	PHONE	<u>469 544 1369</u>
E-MAIL	<u>info@the.whitesparrowproperties.com</u>	E-MAIL	<u>info@the.whitesparrowproperties.com</u>

NOTARY VERIFICATION [REQUIRED]

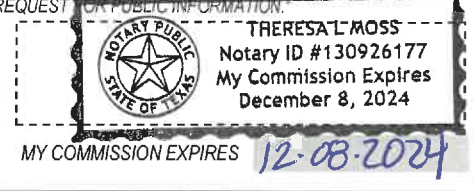
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Nadia + Anthony Ramos [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

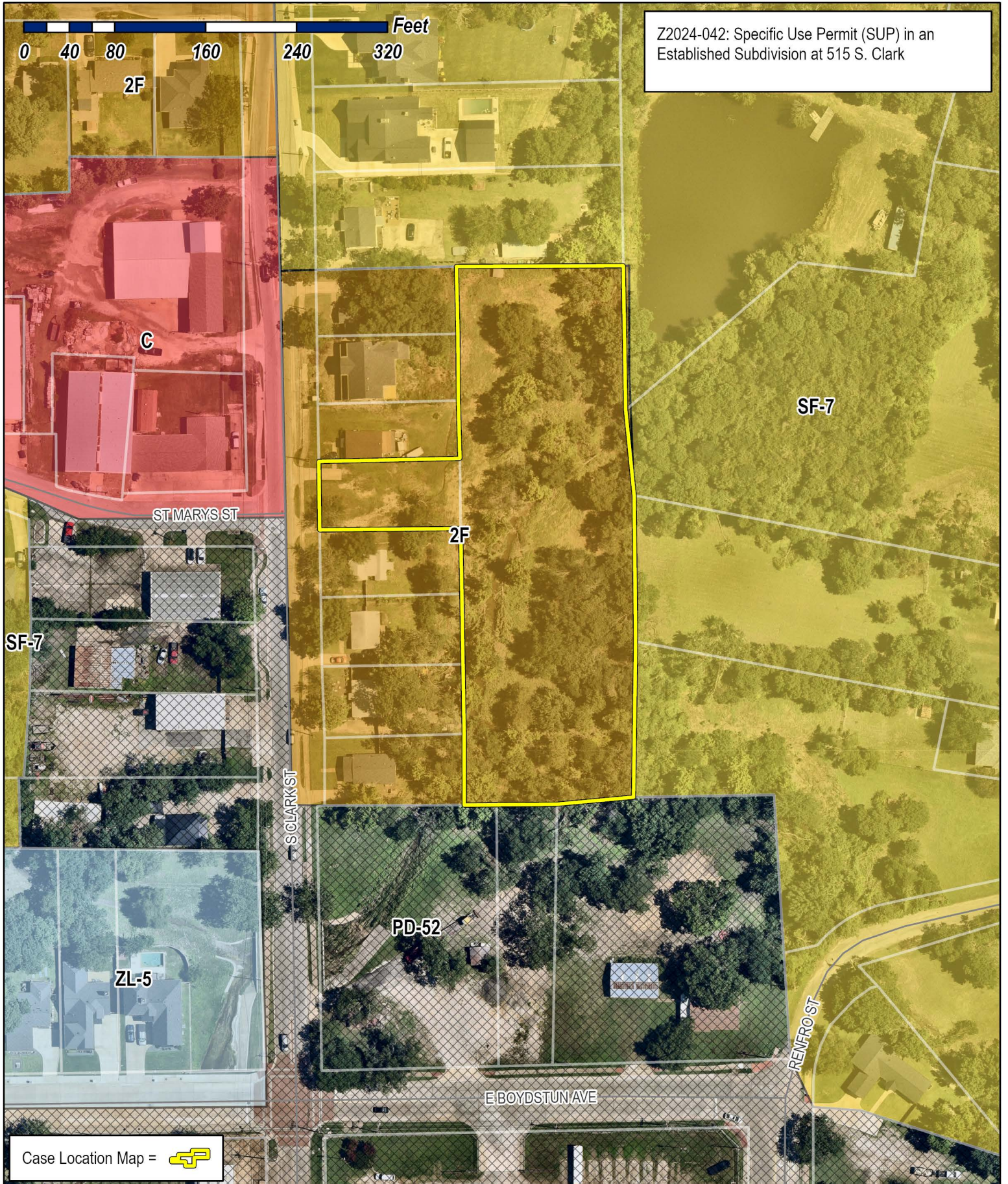
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 230.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 9th DAY OF September, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF September, 2024.


OWNER'S SIGNATURE Nadia Ramos

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Theresa L Moss





Z2024-042: Specific Use Permit (SUP) in an Established Subdivision at 515 S. Clark

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2024-042]
Date: Wednesday, September 18, 2024 10:22:05 AM
Attachments: [Public Notice \(P&Z\) \(09.16.2024\).pdf](#)
[HOA Map \(9.18.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 20, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 15, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 21, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-042: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Nadia Ramos for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 515 S. Clark Street, and take any action necessary.

Thank you,

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

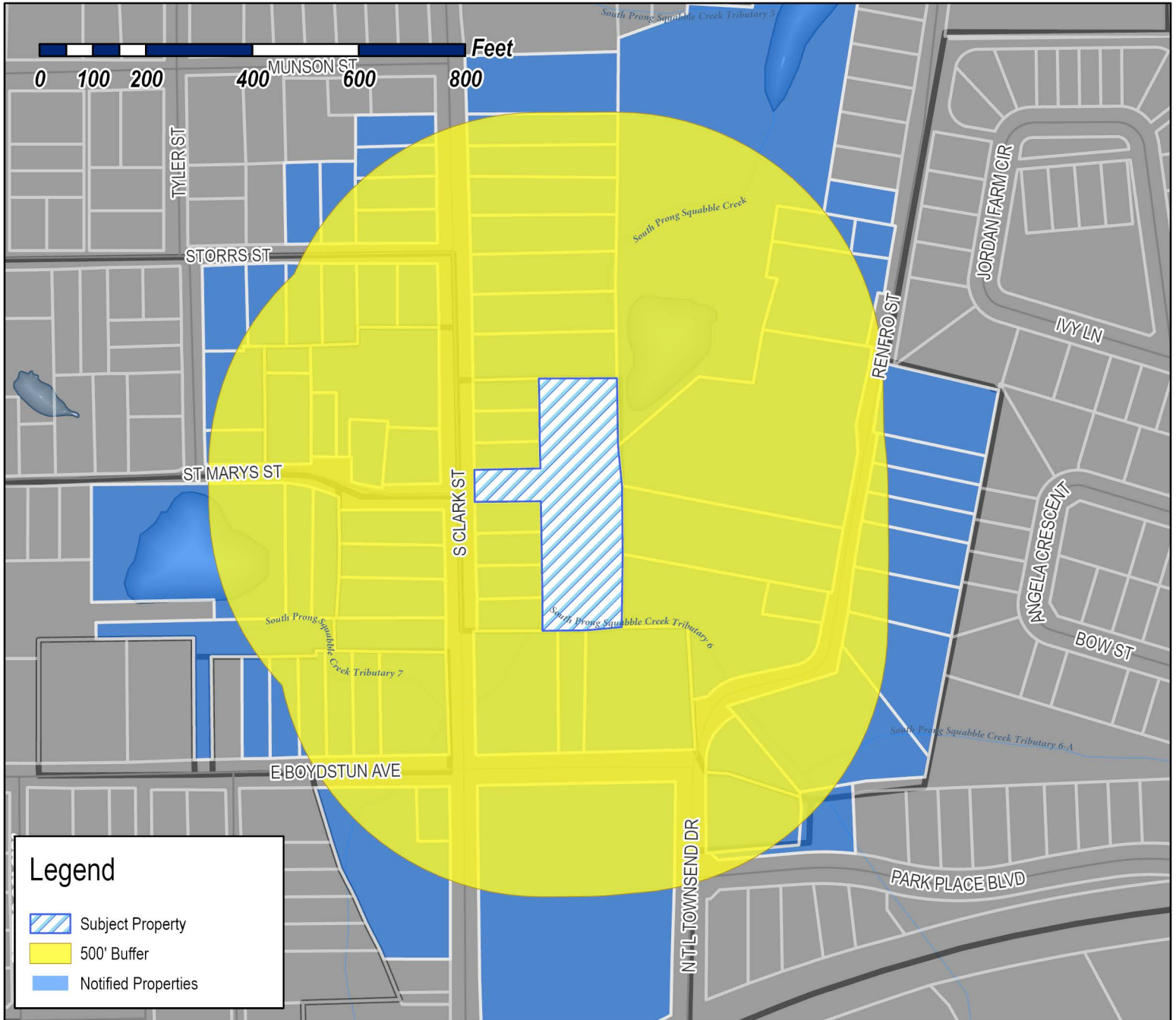
972-771-7745 Ext. 6568




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



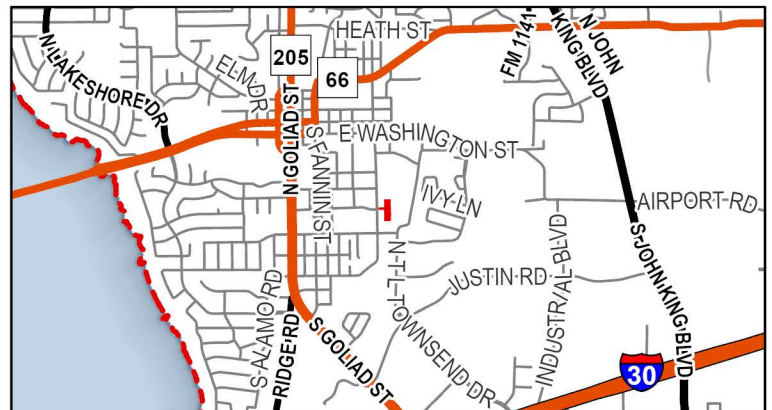
Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-042
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Two Family (2F) District
Case Address: 515 S. Clark Street

Date Saved: 9/12/2024

For Questions on this Case Call: (972) 771-7745



MCCALLUM V LLC
DARRELL ALAN MCCALLUM AND SHARON
FRANCES MCCALLUM AS MEMBERS
1 SOAPBERRY LN
ROCKWALL, TX 75087

WIMPEE JOE &
CODY WIMPEE
105 W KAUFMAN ST
ROCKWALL, TX 75087

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

TUTTLE LEON ETUX
1408 DHAKA DR
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HOGUE MICHAEL & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HOGUE MIKE
1498 HUBBARD DRIVE
FORNEY, TX 75126

CASTRO DEVELOPMENT LLC
16424 FALLKIRK DRIVE
DALLAS, TX 75248

HELTON TIMOTHY STEVEN AND DELENA ANN
1804 STONE HARBOR WAY
KNOXVILLE, TN 37922

LOWREY SUSAN
2070 PONTCHARTRAIN DR
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD HARRIS - TRUSTEE
210 GLENN AVE
ROCKWALL, TX 75087

BENSLEY MARCO AND DARBY KATHRYN
2255 GARDEN CREST DR
ROCKWALL, TX 75087

STARK ROBERT SCOTT
3090 N GOLIAD ST SUITE 102 #213
ROCKWALL, TX 75087

COWAN PHYLLIS
3299 ROCHELL RD
ROCKWALL, TX 75032

CLARK STREET VENTURES LLC
401 COUNTRY RIDGE RD
ROCKWALL, TX 75087

COMBS MARK HILTON AND VERONICA RUTH
401 SOUTH CLARK STREET
ROCKWALL, TX 75087

LIVINGSTON JUSTIN AND BROOKE
403 S CLARK STREET
ROCKWALL, TX 75087

RESIDENT
404 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN R & BROOKE D
405 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S. CLARK ST.
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
412 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
500 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
501 SHERMAN ST
ROCKWALL, TX 75087

BRYAN KYLE AND HALEY BROOKE BOWEN
501 S CLARK ST
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

GARTH GARY AND CYNTHIA
503 SOUTH CLARK ST
ROCKWALL, TX 75087

RESIDENT
506 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
507 RENFRO ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

CASTRO RENE AND BETSY
509 SOUTH CLARK STREET
ROCKWALL, TX 75087

RESIDENT
510 S CLARK
ROCKWALL, TX 75087

RESIDENT
511 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
512 S CLARK
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
515 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
601 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

RESIDENT
602 S CLARK ST
ROCKWALL, TX 75087

LEE STEPHANIE
602 STORRS ST
ROCKWALL, TX 75087

RESIDENT
603 ST MARYS ST
ROCKWALL, TX 75087

RESIDENT
603 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
604 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

RESIDENT
605 RENFRO ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
606 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
606 S CLARK ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

RESIDENT
607 ST MARY
ROCKWALL, TX 75087

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

RESIDENT
607 S CLARK ST
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

RESIDENT
608 ST MARYS ST
ROCKWALL, TX 75087

RESIDENT
608 STORRS ST
ROCKWALL, TX 75087

RESIDENT
609 STORRS ST
ROCKWALL, TX 75087

RESIDENT
610 S CLARK ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

WIMPEE ERIC D
610 STORRS STREET
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

RESIDENT
612 STORRS ST
ROCKWALL, TX 75087

RESIDENT
613 ST MARYS PL
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

RESIDENT
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

KENNEDY BLAKE
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO STREET
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

DITO JAAP & ESTHER
627 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

KENNEDY BRENDA K
701 T L TOWNSEND DR
ROCKWALL, TX 75087

RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
703 TOWNSEND DR
ROCKWALL, TX 75087

RESIDENT
703 E BOYSTUN AVE
ROCKWALL, TX 75087

RESIDENT
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

RESIDENT
707 S CLARK
ROCKWALL, TX 75087

RESIDENT
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

501 SHERMAN, A SERIES OF STARK FAMILY
PROPERTIES, LLC
710 AGAPE CIR
ROCKWALL, TX 75087

507-509 SHERMAN, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK
710 AGAPE CIR
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
880 SHORES BLVD
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-042: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Nadia Ramos for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas, zoned Two-Family (2F) District, addressed as 515 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-042: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

RAMOS SPEC HOUSE



PERSPECTIVE VIEW
NTS

GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR'S PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
2. ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETS.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title	Description	Comments
A-1	COVER SHEET		
A-2	ROOF PLAN		
A-3	ELEVATIONS		
A-4	FLOOR PLANS		
A-5	DOOR AND WINDOW SCHEDULES		
A-6	ELECTRICAL PLAN		

PLANS FOR: SPARROW 15
NADIA AND ANTHONY RAMOS

TITLE: COVER SHEET

SHANNON NEWSOM MARK NEWSOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
9/9/2024

SCALE:
AS SHOWN

SHEET:

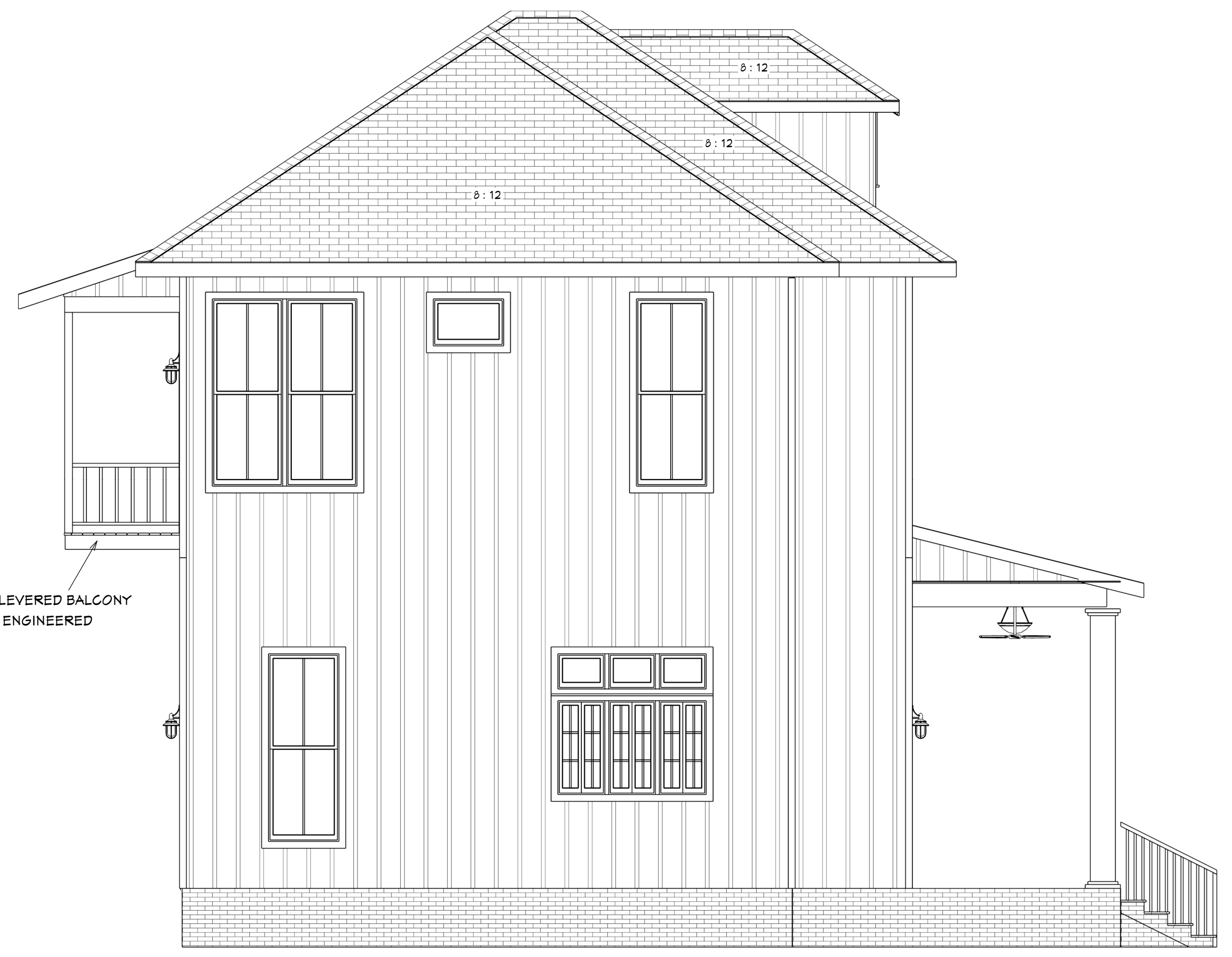
A-1



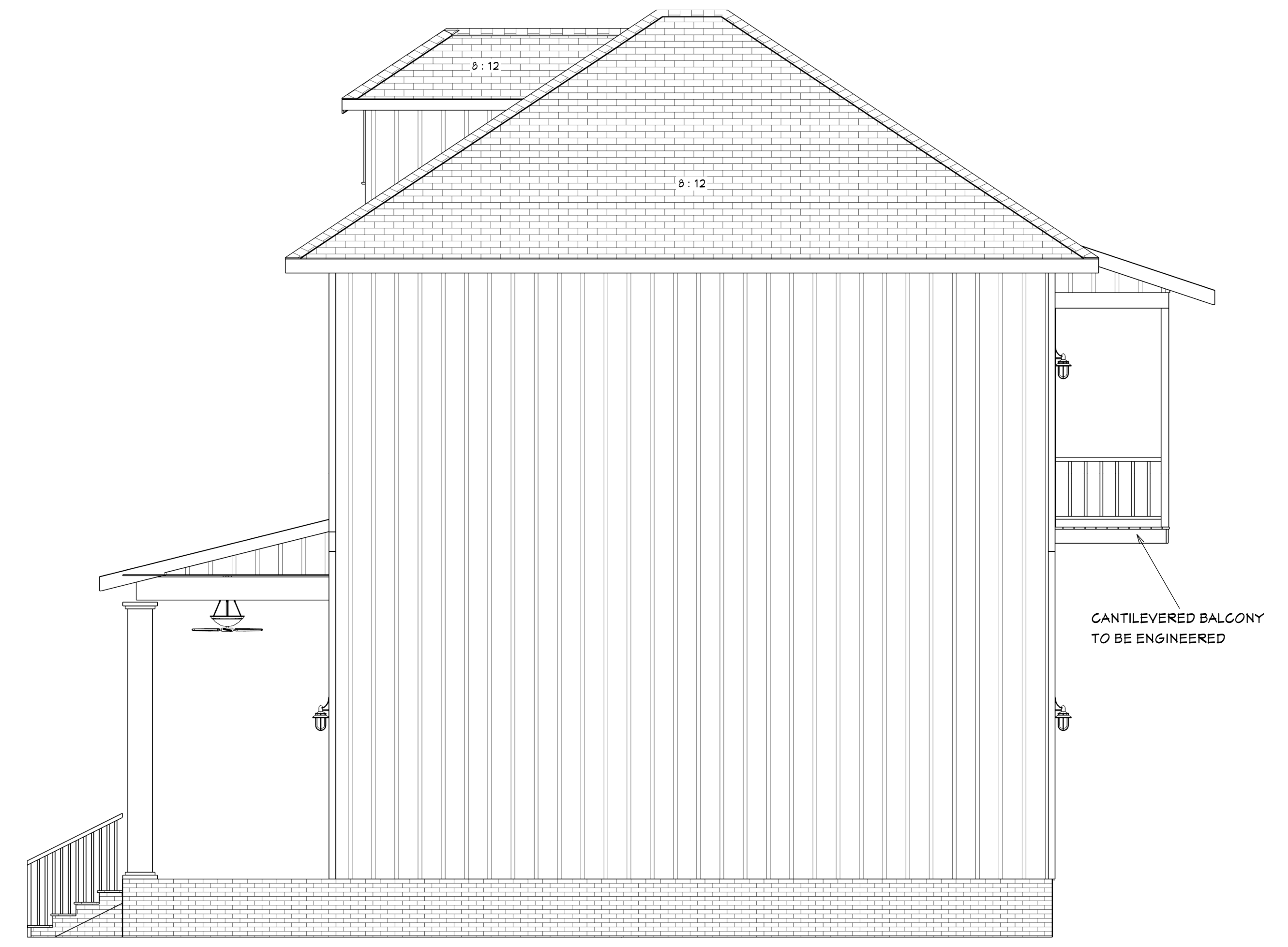
1 FRONT ELEVATION
SCALE: 1/4"=1'



2 REAR ELEVATION
SCALE: 1/4"=1'



3 LEFT ELEVATION
SCALE: 1/4"=1'



4 RIGHT ELEVATION
SCALE: 1/4"=1'

PLANS FOR: SPARROW 15
NADIA AND ANTHONY RAMOS

TITLE: ELEVATIONS

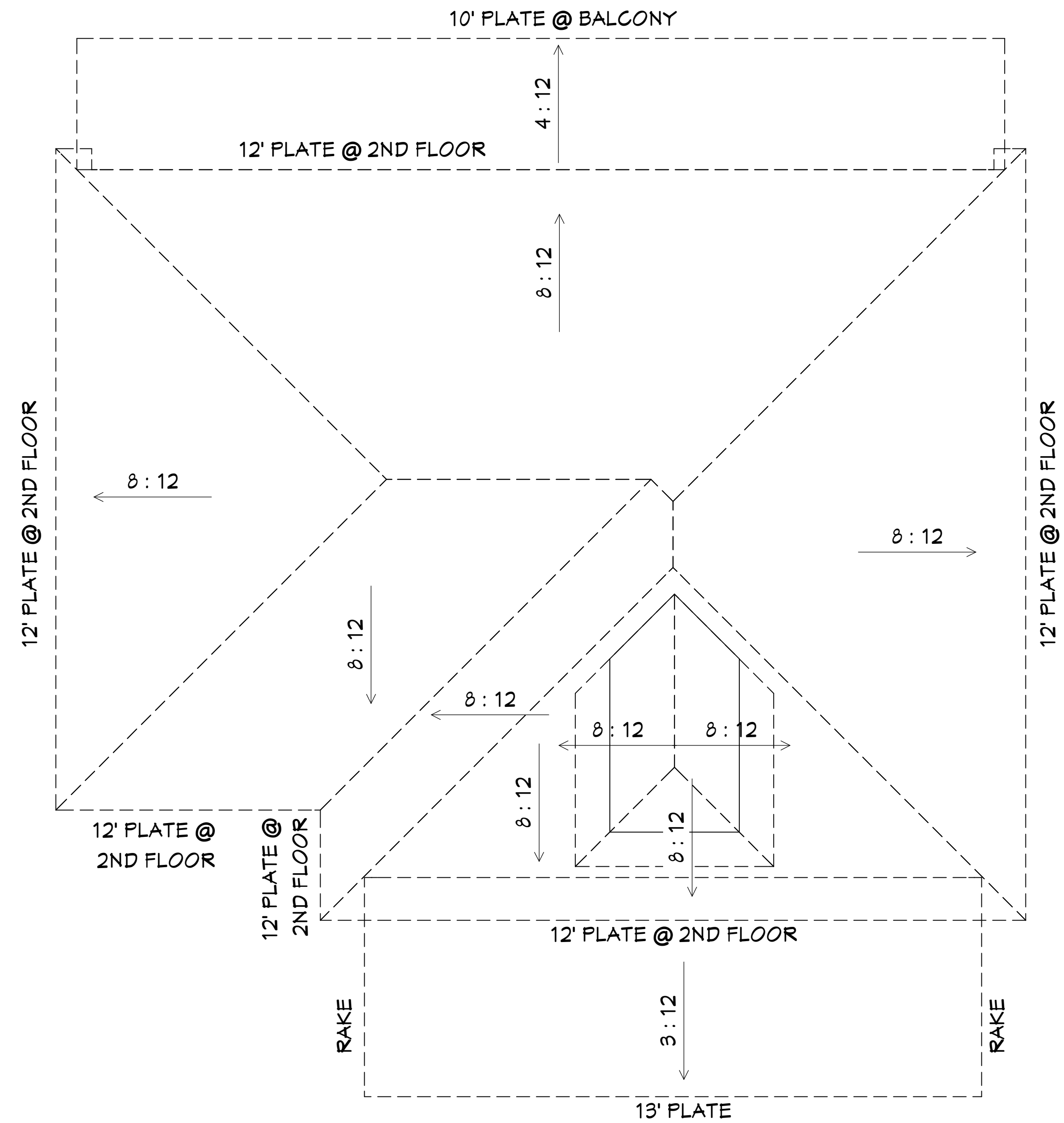
SHANNON NEWSOM MARK NEWSOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
9/9/2024

SCALE:
AS SHOWN

SHEET:

A-3



1 **ROOF PLAN**
SCALE: 1/4"=1'

NOTE:
1. APPROXIMATELY 2320 S.F. ROOFING AREA.

PLANS FOR: SPARROW 15
NADIA AND ANTHONY RAMOS

TITLE: **ROOF PLAN**

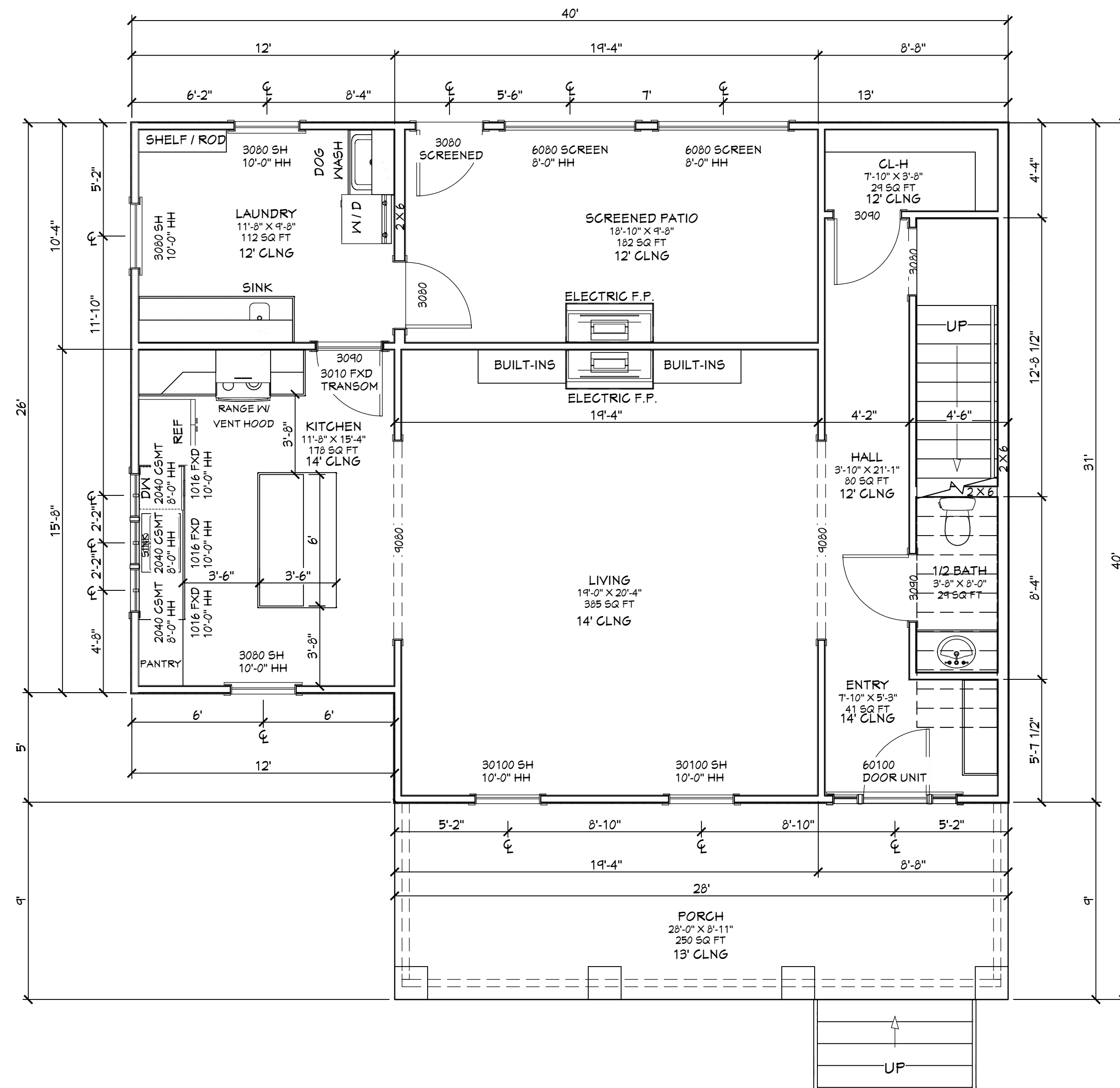
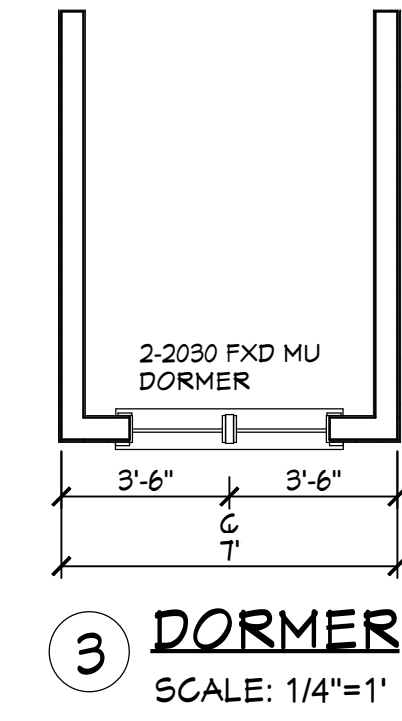
SHANNON NENSON MARK NENSON
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
9/9/2024

SCALE:
AS SHOWN

SHEET:

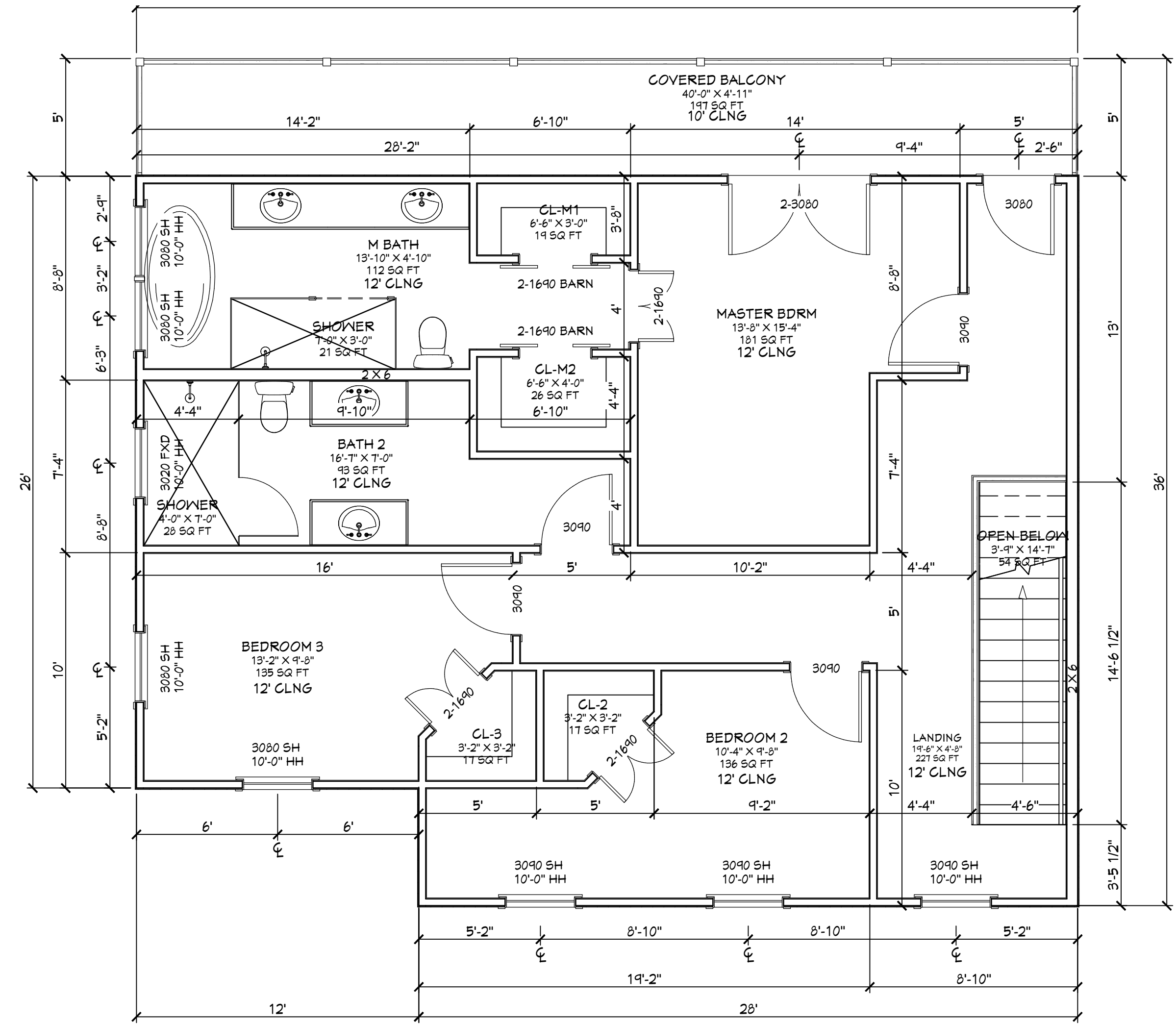
A-2



1 FLOOR PLAN - 1ST
SCALE: 1/4"=1"

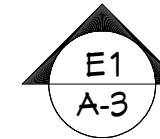
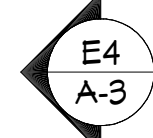
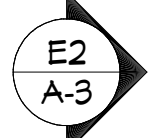
AREAS	
FIRST FLOOR LIVING	488 SQ. FT.
SECOND FLOOR LIVING	1133 SQ. FT.
TOTAL LIVING AREA	2121 SQ. FT.
COVERED PORCH	252 SQ. FT.
COVERED BALCONY	200 SQ. FT.
TOTAL SQ FT	2573 SQ. FT.

LIVING AREA
488 SQ FT



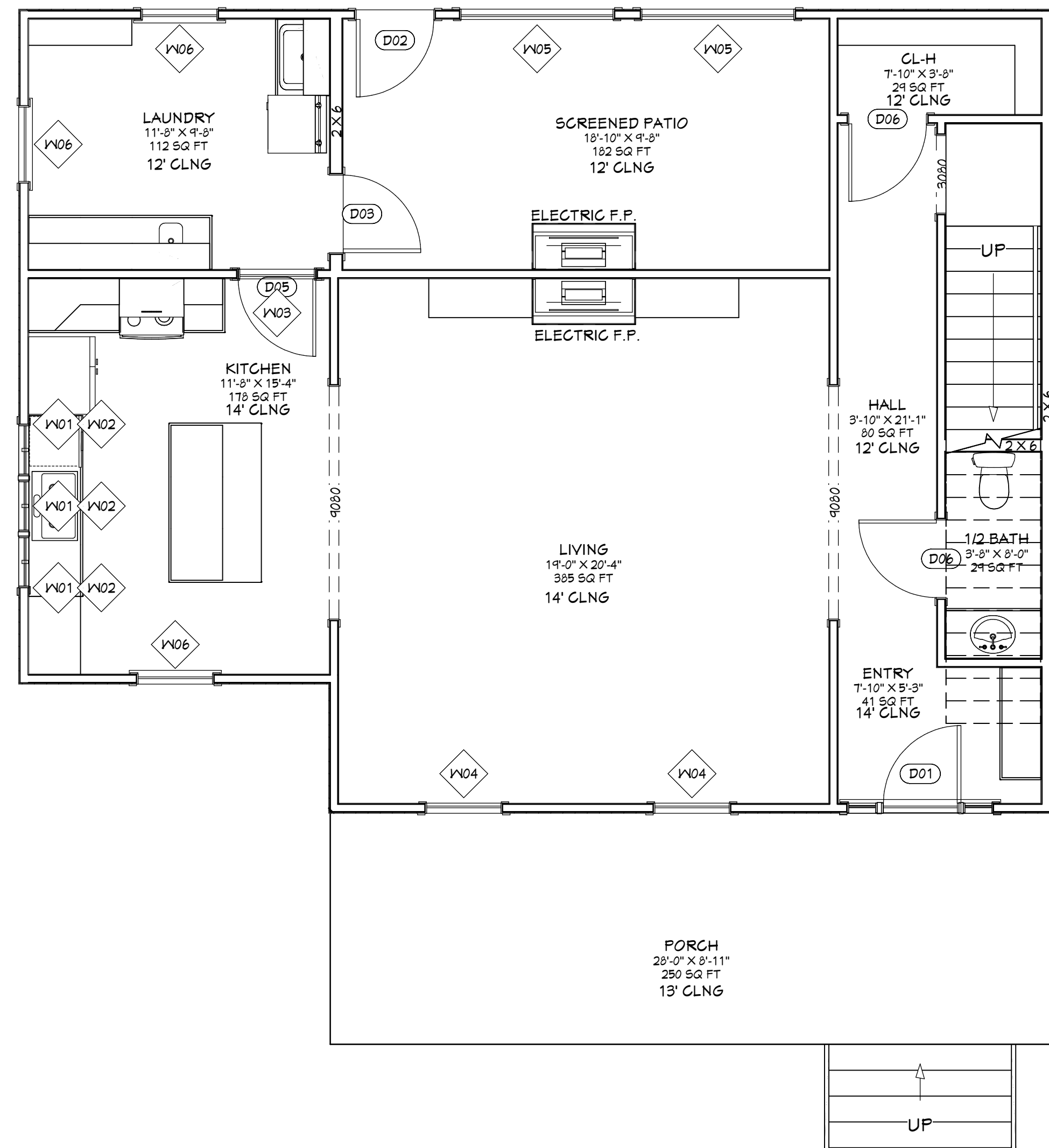
2 FLOOR PLAN - 2ND
SCALE: 1/4"=1"

LIVING AREA
1114 SQ FT

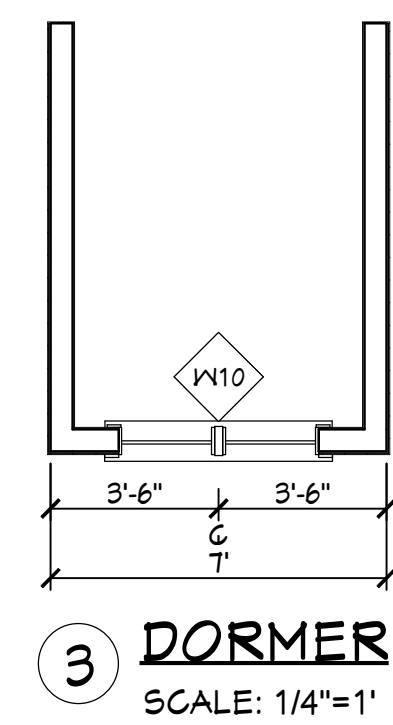
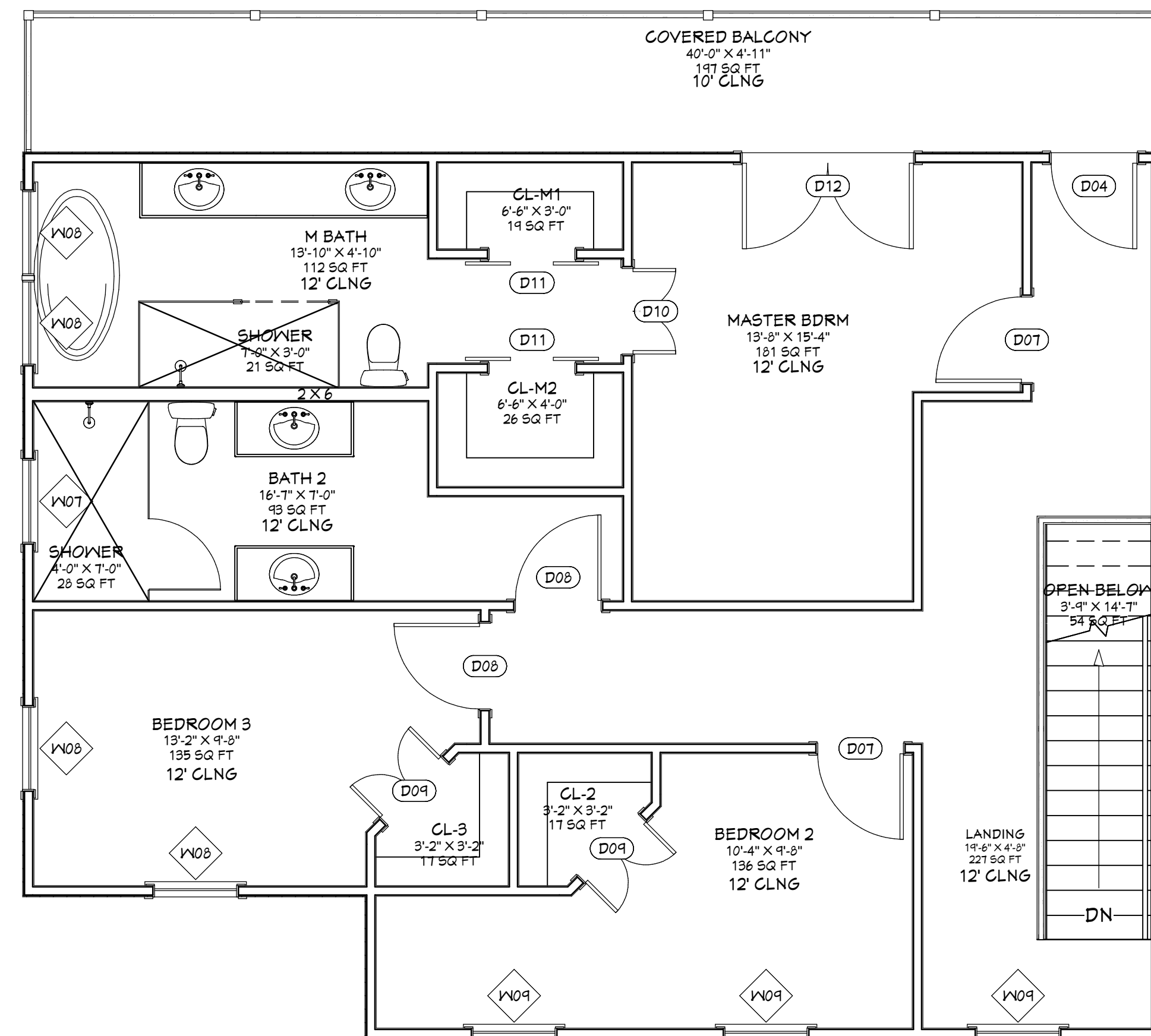


DOOR SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION
D01	60100 DOOR UNIT	1	1	5880	68"	96"	69"X97"	MULLED UNIT
D02	3080 SCREENED	1	1	3080 R EX	36"	96"	38"X99"	EXT. HINGED-DOOR F01
D03	3080	1	1	3080 R EX	36"	96"	38"X99"	EXT. HINGED-DOOR E02
D04	3080	1	2	3080 L EX	36"	96"	38"X99"	EXT. HINGED-DOOR F01
D05	3090	1	1	3090 L IN	36"	108"	38"X110 1/2"	HINGED-DOOR F10
D06	3090	2	1	3090 R IN	36"	108"	38"X110 1/2"	HINGED-DOOR F10
D07	3090	2	2	3090 L IN	36"	108"	38"X110 1/2"	HINGED-DOOR F10
D08	3090	2	2	3090 R IN	36"	108"	38"X110 1/2"	HINGED-DOOR F10
D09	2-1690	2	2	3080 L/R IN	36"	96"	38"X98 1/2"	DOUBLE HINGED-DOOR F10
D10	2-1690	1	2	3090 L/R IN	36"	108"	38"X110 1/2"	DOUBLE HINGED-DOOR F10
D11	2-1690 BARN	2	2	3090 L/R	36"	108"	38"X110 1/2"	DOUBLE BARN-DOOR F10
D12	2-3080	1	2	6080 L/R EX	72"	96"	74"X99"	EXT. DOUBLE HINGED-DOOR F01

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER
W01	2040 C5MT 8'-0" HH	3	1	2040DC	24"	48"	25"X49"	DOUBLE CASEMENT-LHL/RHR	2X6X28" (2)
W02	1016 FXD 10'-0" HH	3	1	2016FX	24"	18"	25"X19"	FIXED GLASS	2X6X28" (2)
W03	3010 FXD TRANSOM	1	1	30010FX	36"	10"	37"X11"	FIXED GLASS	2X6X40" (2)
W04	30100 SH 10'-0" HH	2	1	30100SH	36"	120"	37"X121"	SINGLE HUNG	2X6X40" (2)
W05	6080 SCREEN 8'-0" HH	2	1	6080FX	72"	96"	73"X97"	FIXED GLASS	2X6X76" (2)
W06	3080 SH 10'-0" HH	3	1	3080SH	36"	96"	37"X97"	SINGLE HUNG	2X6X40" (2)
W07	3020 FXD 10'-0" HH	1	2	3020FX	36"	24"	37"X25"	FIXED GLASS	2X6X40" (2)
W08	3080 SH 10'-0" HH	4	2	3080SH	36"	96"	37"X97"	SINGLE HUNG	2X6X40" (2)
W09	3090 SH 10'-0" HH	3	2	3090SH	36"	108"	37"X109"	SINGLE HUNG	2X6X40" (2)
W10	2-2030 FXD MU DORMER	1	3	4230	50"	36"	51"X37"	MULLED UNIT	2X6X54" (2)



1 DOOR & WINDOW SCHEDULES
SCALE: 1/4"=1'



PLANS FOR: SPARROW 15
NADIA AND ANTHONY RAMOS

TITLE: DOOR AND WINDOW SCHEDULES

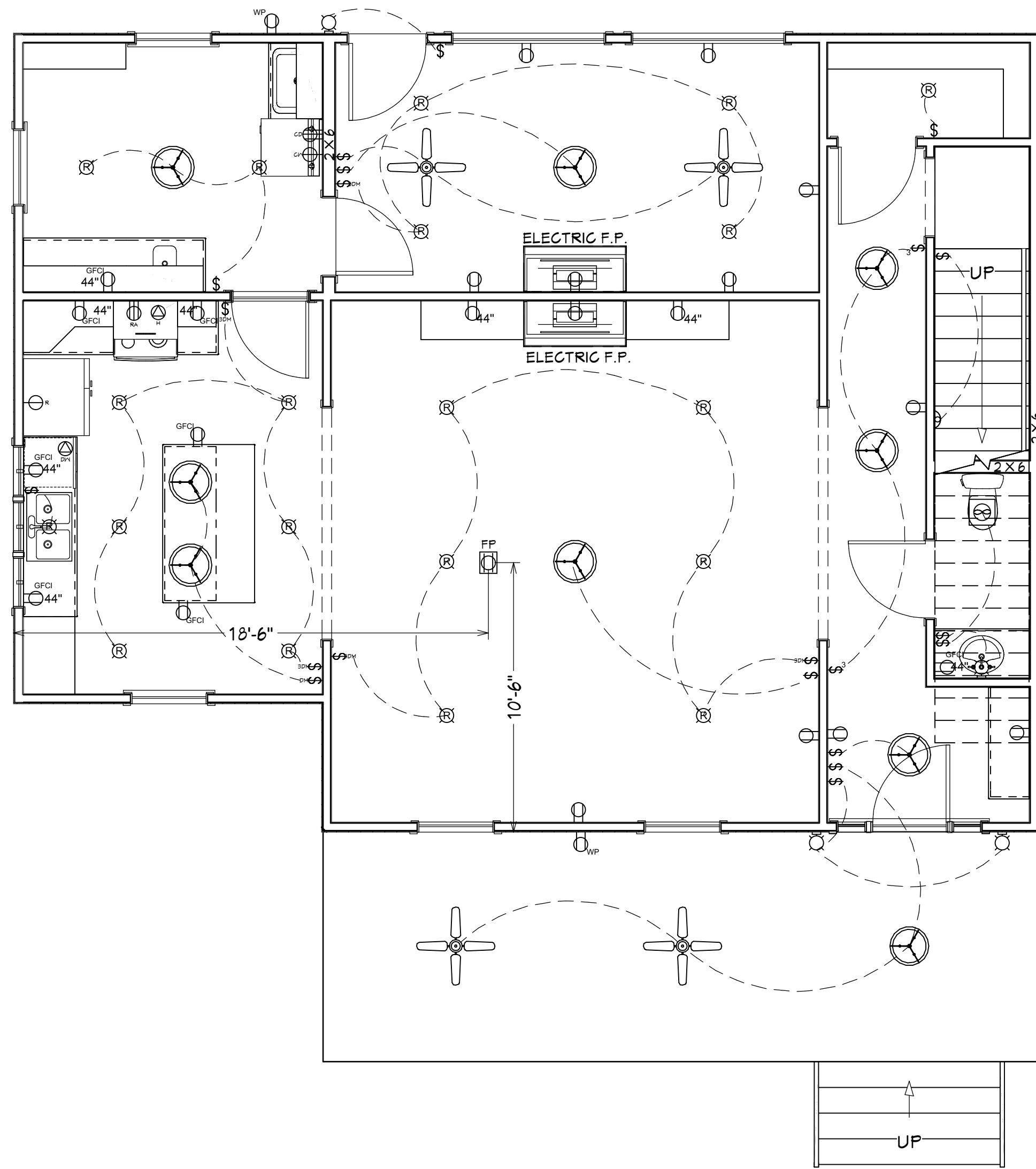
SHANNON NEWMOM MARK NEWMOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
9/9/2024

SCALE:
AS SHOWN

SHEET:

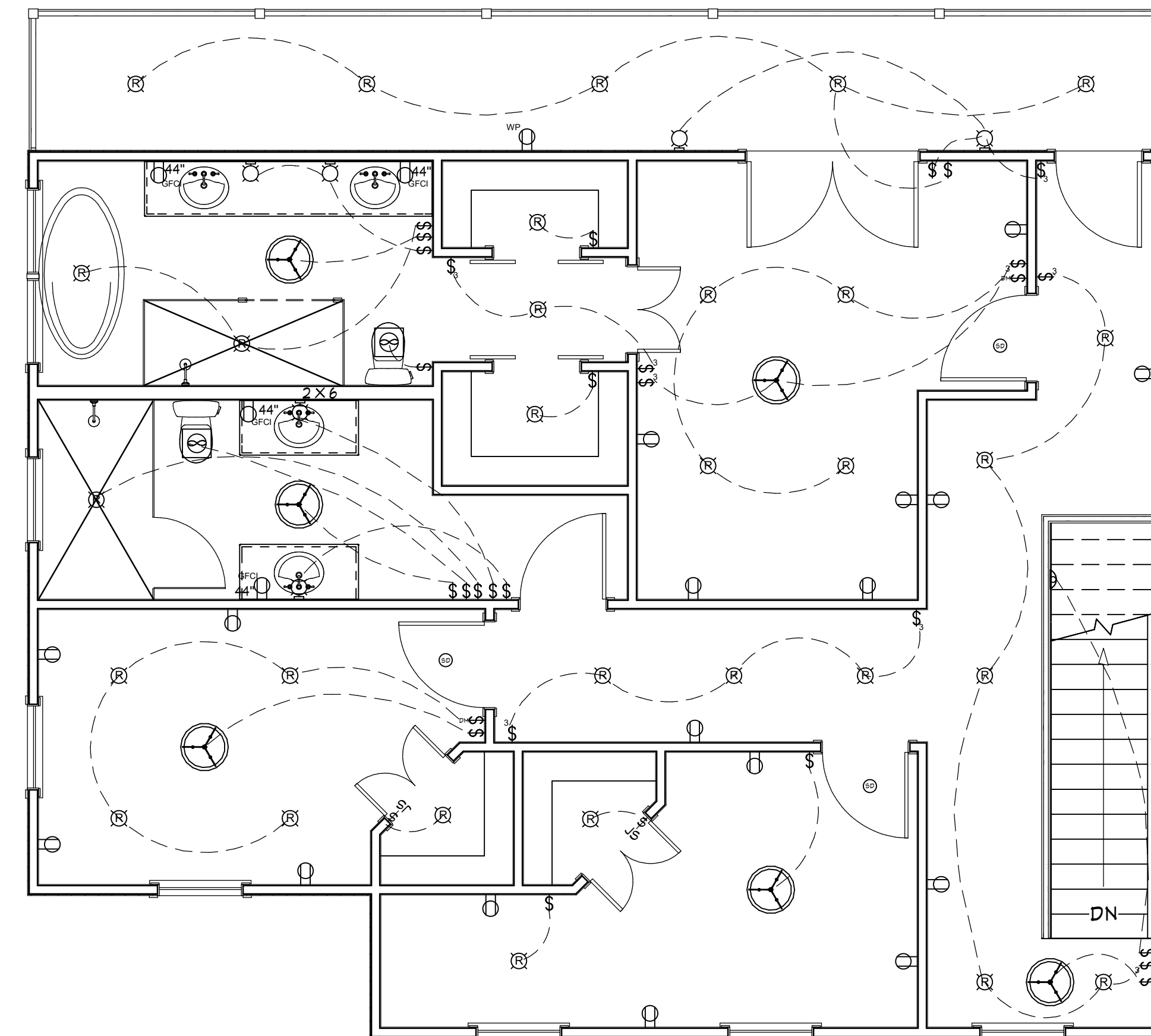
A-5



1 **ELECTRICAL PLAN - 1ST FLOOR**
SCALE: 1/4"=1'

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	MOTION SENSOR SPOTLIGHT

- NOTES:
1. WIRE SOFFIT OUTLETS TO SWITCH IN ENTRY.
 2. WIRE FOR CABINET LIGHTING PER OWNER SPECS.
 3. VERIFY FLOOR PLUG LOCATIONS WITH OWNER.
 4. VERIFY LOCATION AND TYPE OF WATER HEATER WITH OWNER.



2 **ELECTRICAL PLAN - 2ND FLOOR**
SCALE: 1/4"=1'

PLANS FOR: SPARROW 15
NADIA AND ANTHONY RAMOS

TITLE: **ELECTRICAL PLAN**

SHANNON NEWSOM MARK NEWSOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
9/9/2024

SCALE:
AS SHOWN

SHEET:

A-6



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-042

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
509 S. Clark Street	Single-Family Home	1945	884	240	Siding
510 S. Clark Street	Commercial	1970	6,668	N/A	Metal
511 S. Clark Street	Duplex	2023	2400, 1649	N/A	Siding
512 S. Clark Street	Commercial	1960	3,329	N/A	Siding
513 S. Clark Street	Single-Family Home	1966	844	N/A	N/A
515 S. Clark Street	Vacant	N/A	N/A	N/A	N/A
601 S. Clark Street	Single-Family Home	1945	789	N/A	Siding
602 S. Clark Street	Commercial	2000	10,400	N/A	Brick
603 S. Clark Street	Single-Family Home	1945	768	N/A	Siding
604 S. Clark Street	Commercial	1953	400	1050	Metal
605 S. Clark Street	Single-Family Home	1945	768	N/A	Siding
606 S. Clark Street	Commercial	1980	1,500	N/A	Brick and Siding
AVERAGES:		1967	2,635	645	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-042

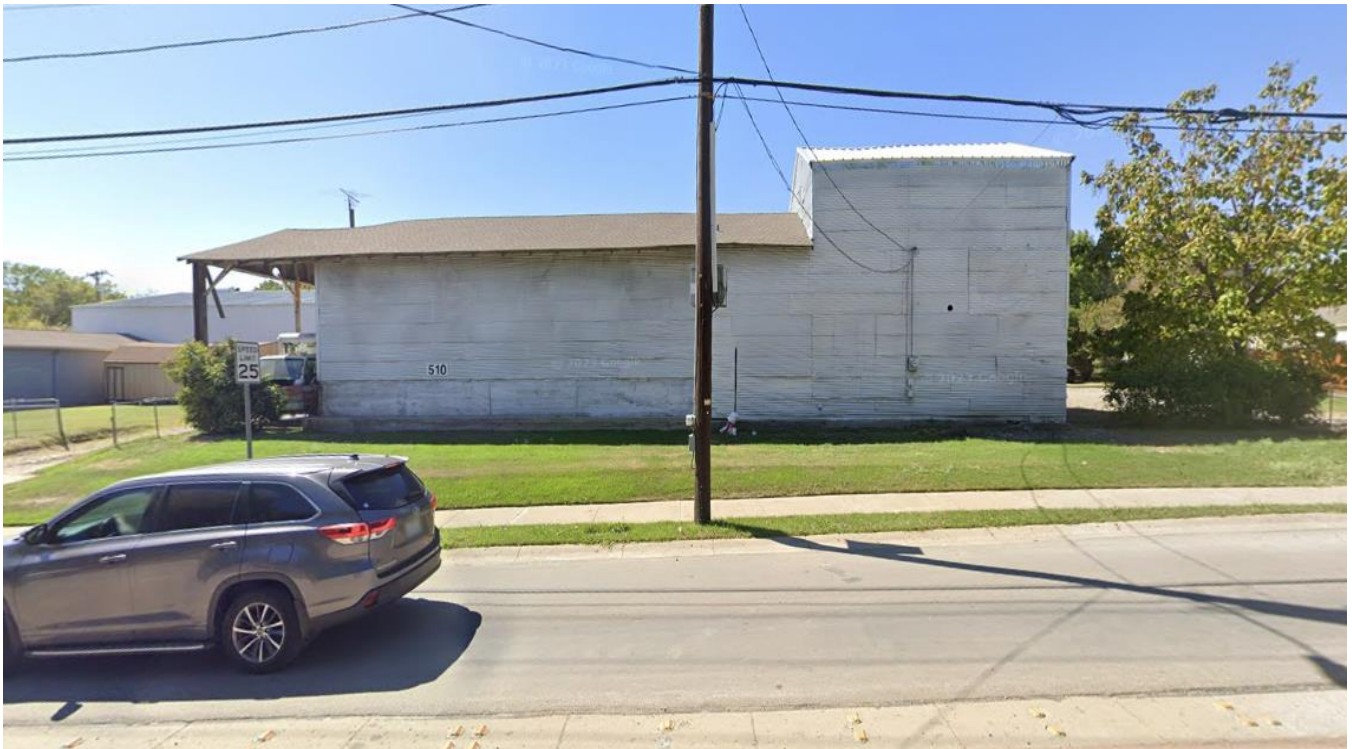
PLANNING AND ZONING DEPARTMENT

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509 S. Clark Street



510 S. Clark Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-042

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511 S. Clark Street



512 S. Clark Street



CITY OF ROCKWALL

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513 S. Clark Street



515 S. Clark Street



CITY OF ROCKWALL

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601 S. Clark Street



602 S. Clark Street



CITY OF ROCKWALL

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603 S. Clark Street



604 S. Clark Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-042

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



605 S. Clark Street



606 S. Clark Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 1.80-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8 OF THE HARRIS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS the City Council has received a request from the Neighborhood Residential Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the construction of a single-family home on a 1.80-acre parcel of land identified as Lot 8 of the Harris Addition, City of Rockwall, Rockwall County, Texas; and more specifically described and depicted in Exhibit 'A' of this Ordinance; and the City Council has determined that the Subject Property is zoned R-1 Single-Family Residential District and that the proposed construction of a single-family home on the Subject Property is consistent with the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as amended, and that the proposed construction of a single-family home on the Subject Property is in the public interest and that the City Council has the authority to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the construction of a single-family home on the Subject Property.

WHEREAS the City Council has determined that the proposed construction of a single-family home on the Subject Property is consistent with the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as amended, and that the proposed construction of a single-family home on the Subject Property is in the public interest and that the City Council has the authority to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the construction of a single-family home on the Subject Property.

NOW, THEREFORE BE IT ORDAINED that the City Council of the City of Rockwall, Texas, do hereby enact the following Ordinance:

SECTION 1. That the Unified Development Code (UDC) Ordinance No. 20-02 of the City of Rockwall, Texas, as amended, be amended to add a new Section 03-01-04, Residential Infill in an Established Subdivision, to the UDC, and that the proposed construction of a single-family home on the Subject Property is consistent with the UDC Ordinance No. 20-02 of the City of Rockwall, Texas, as amended, and that the proposed construction of a single-family home on the Subject Property is in the public interest and that the City Council has the authority to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the construction of a single-family home on the Subject Property.

SECTION 2. That the Special Use Permit (SUP) for Residential Infill in an Established Subdivision be subject to the following conditions: 03-01-01 General Residential District Standards and 03-11-01 Two-Family (2F) District, and that the proposed construction of a single-family home on the Subject Property is consistent with the UDC Ordinance No. 20-02 of the City of Rockwall, Texas, as amended, and that the proposed construction of a single-family home on the Subject Property is in the public interest and that the City Council has the authority to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the construction of a single-family home on the Subject Property.

UDC Ordinance No. 20-02-- as heretofore amended and may be amended in the future --

2.1 OPERATIONAL CONDITIONS

The following conditions shall apply to the Subject Property and shall be a condition of any approval:

1. The applicant shall submit a Residential Plot Plan and Exhibit 'B' as required.
2. The applicant shall submit Building Elevations and Exhibit 'C' as required.
3. Other conditions shall apply to the Subject Property as required by the CCR, SUP, and other applicable codes and ordinances.

2.2 COMPLIANCE

All applications for Specific Use Permits (SUP) shall comply with the City of Rockwall Development Applications and Review Procedures, and the City of Rockwall Code of Ordinances, UDC Ordinance No. 20-02, Subject Property and other applicable codes and ordinances.

1. Upon approval of a Building Permit, the applicant shall be required to pay a fee of \$2,000.00 (Two Thousand Dollars) after proper notice is given to the City of Rockwall. This fee shall be non-refundable and shall be used for the City of Rockwall's administrative costs. The City of Rockwall reserves the right to revoke this fee if the applicant fails to comply with the City of Rockwall Development Applications and Revision Procedures, and the City of Rockwall Code of Ordinances, UDC Ordinance No. 20-02.

SECTION 3. The City of Rockwall reserves the right to amend, modify, or delete any of the conditions of this ordinance at any time without notice.

SECTION 4. The City of Rockwall reserves the right to amend, modify, or delete any of the conditions of this ordinance at any time without notice.

SECTION 5. Any applicant who fails to comply with the conditions of this ordinance shall be liable to the City of Rockwall for a civil penalty of TWO THOUSAND DOLLARS (\$2,000.00) per violation. This penalty shall be in addition to any other penalties or fines that may be assessed.

SECTION 6. The City of Rockwall reserves the right to amend, modify, or delete any of the conditions of this ordinance at any time without notice. The City of Rockwall also reserves the right to require the applicant to pay a fee of \$2,000.00 (Two Thousand Dollars) for the City of Rockwall's administrative costs. This fee shall be non-refundable and shall be used for the City of Rockwall's administrative costs. The City of Rockwall reserves the right to revoke this fee if the applicant fails to comply with the City of Rockwall Development Applications and Revision Procedures, and the City of Rockwall Code of Ordinances, UDC Ordinance No. 20-02.

SECTION 7. The City of Rockwall reserves the right to amend, modify, or delete any of the conditions of this ordinance at any time without notice.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF NOVEMBER, 2024.

Tr _____ Mayor

ATTEST:

Kr _____ City Secretary

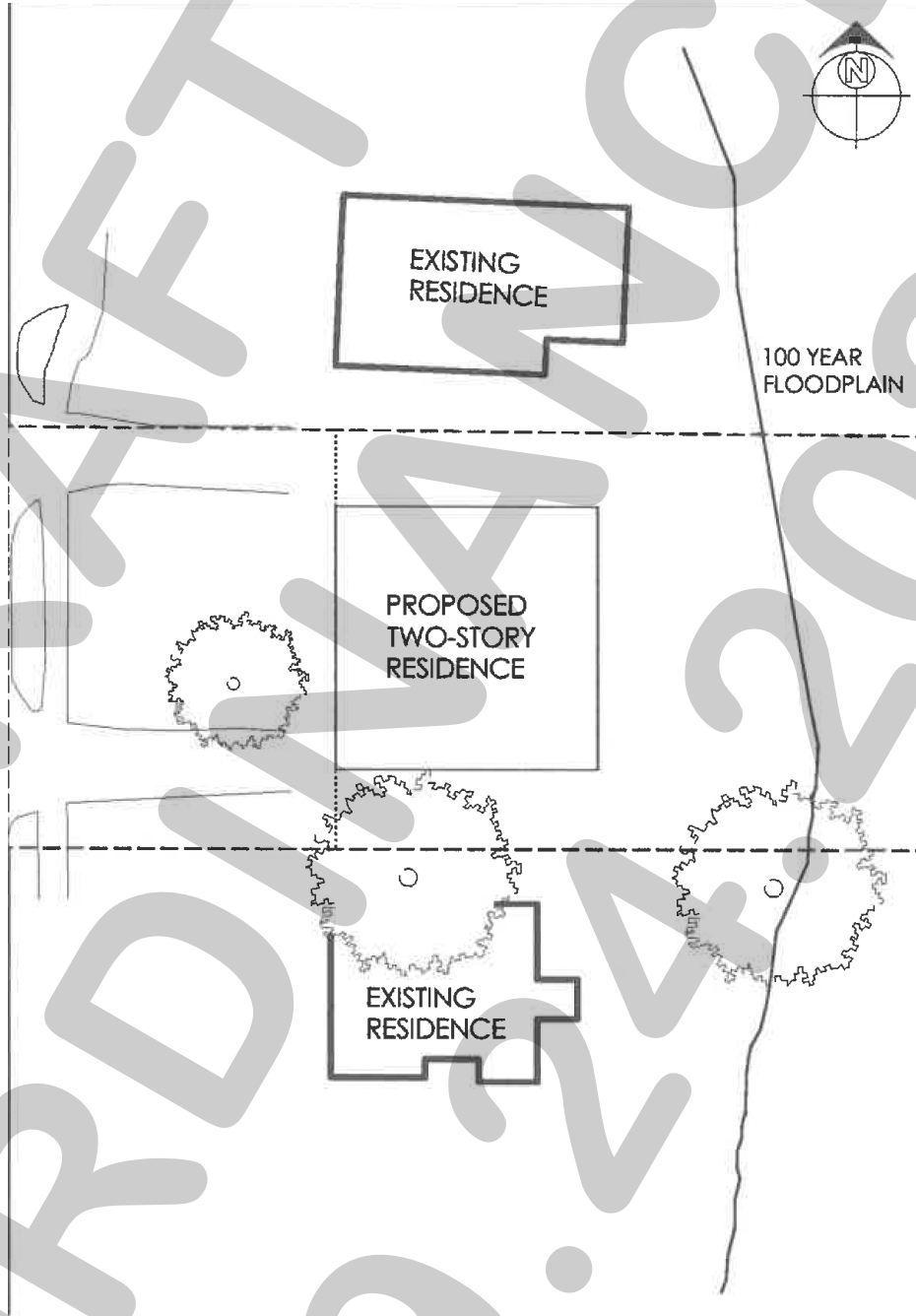
APPROVED AS TO FORM:

Cr _____ City Attorney

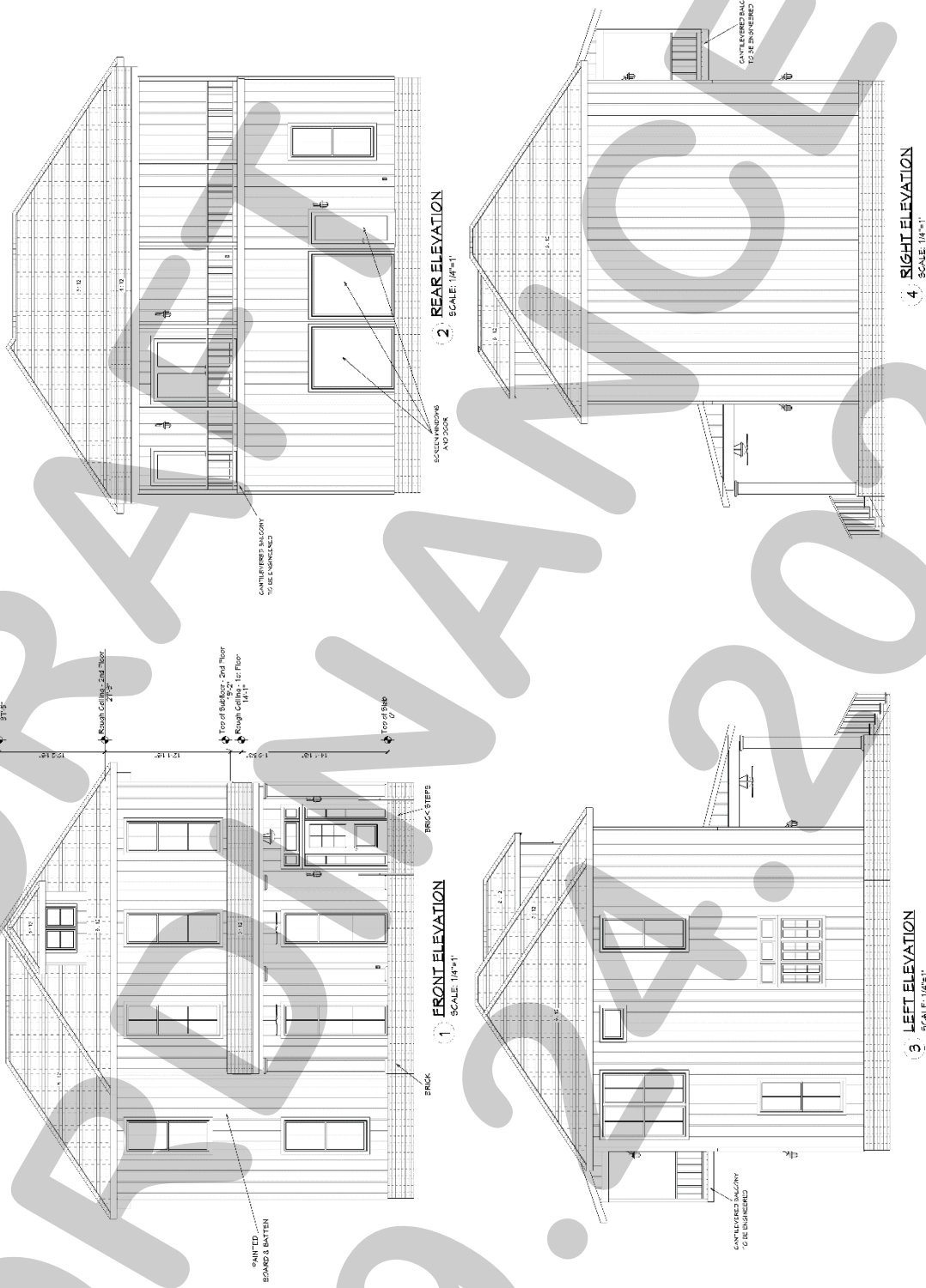
1st R _____ October 21, 2024

2nd R _____ November 4, 2024

Exhibit 'B':
Residential Plot Plan



**Exhibit 'C':
Building Elevations**



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/19/2024

PROJECT NUMBER: Z2024-043
PROJECT NAME: SUP for 1202 Gideon Way
SITE ADDRESS/LOCATIONS: 1202 GIDEON WAY

CASE CAPTION: Hold a public hearing to discuss and consider a request by Russ and Kim Dignam for the approval of a Specific Use Permit (SUP) to allow more than the permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	09/19/2024	Approved w/ Comments

09/19/2024: Z2024-043; Specific Use Permit (SUP) for an Accessory Structure at 1202 Gideon Way
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) to allow more than the permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2024-043) in the lower right-hand corner of all pages on future submittals.

I.4 According to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), the allowable number of accessory structures for a single-family home within the Single-Family 10 District is two (2) accessory structures. In this case, the applicant is proposing three (3) accessory structures for the subject property and requires a Specific Use Permit (SUP) for approval.

I.5 The proposed Covered Porch will be 25' by 18' and a total square footage of 450 SF. According to the Rockwall Central Appraisal District (RCAD), the square footage of the primary structure is 3,355 SF. The property also has two (2) accessory structures existing on the property. One is a 198 SF shed which exceeds the allowable size for an accessory structure and is unpermitted. The second is a 200 SF unpermitted Covered Porch. Staff has added a condition of approval that both the existing structures are permitted after issuance of the Specific Use Permit (SUP). Based on the site plan, the addition of the proposed structure exceeds the allowable number of accessory structures permitted on a lot.

M.6 Provide the height of the proposed Covered Porch.

I.7 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

(1) The development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of this Specific Use Permit (SUP) ordinance.

(2) The construction of a Covered Porch -- depicted as Structure '1' in Exhibit 'B' -- on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of this Specific Use Permit (SUP) ordinance.

(3) The construction of the Accessory Building -- depicted as Structure '2' in Exhibit 'B' -- on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'D' of this Specific Use Permit (SUP) ordinance.

(4) The Covered Porch depicted in Exhibit 'B' as Structure '1' shall not exceed a maximum size of 450 SF.

(5) The Accessory Building depicted in Exhibit 'B' as Structure '2' shall not exceed a maximum size of 200 SF.

(6) The subject property shall be limited to a maximum of three (3) accessory structures.

(7) The maximum height of the Covered Porch depicted in Exhibit 'B' as Structure '1' shall not exceed a total height of 12-feet as measured to mid-point of the pitched roof.

(8) The maximum height of the Accessory Building depicted in Exhibit 'B' as Structure '2' shall not exceed a total height of 10-feet as measured to highest point of the pitched roof.

(9) A building permit shall be obtained for the existing three (3) accessory structures (i.e. the two [2] Covered Porches and Accessory Building).

M.8 According to Subsection 07.04: Accessory Structure Development Standards of Article 05, District Development Standards, of the UDC, covered porches have a maximum height of 12-feet.

M.9 Please review the attached Draft Ordinance prior to the September 24, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than October 1, 2024. In reviewing the Draft Ordinance, please pay close attention to staff's conditions of approval.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 15, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 24, 2024.

I.11 The projected City Council meeting dates for this case will be October 21, 2024 (1st Reading) and November 4, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Approved

09/18/2024: BUILDING PERMIT WILL BE REQUIRED

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/16/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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POLICE	Chris Cleveland	09/13/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹ & ²
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1202 GIDEON WAY ROCKWALL, TX 75087

SUBDIVISION GIDEON GROVE - PHASE 1 LOT 7 BLOCK 1

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RESIDENTIAL

CURRENT USE RESIDENTIAL

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Russ + Kim Dignam

APPLICANT Russ + Kim Dignam

CONTACT PERSON Kim Dignam

CONTACT PERSON Kim Dignam

ADDRESS 1202 GIDEON WAY

ADDRESS 1202 GIDEON WAY

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 972-523-7020

PHONE 972-523-7020

E-MAIL Kdignam@windsorhomesTX.com

E-MAIL Kdignam@windsorhomesTX.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kim Dignam [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF SEPTEMBER, 2024 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

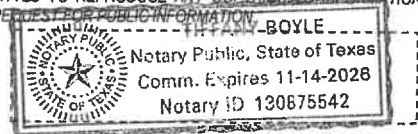
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF September, 2024

OWNER'S SIGNATURE

Kim Dignam

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

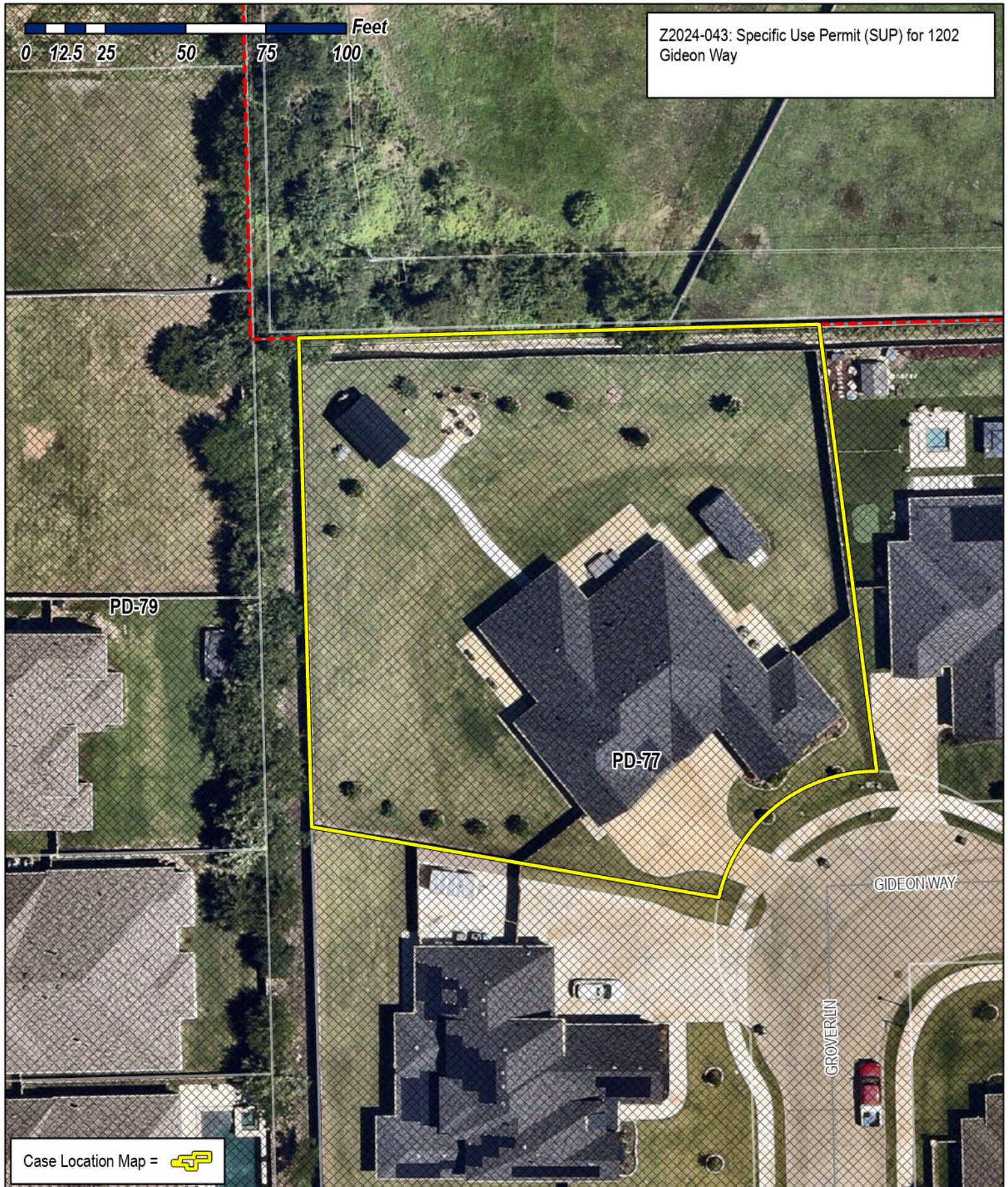
Diffany Boyle



MY COMMISSION EXPIRES 11-14-2028



Z2024-043: Specific Use Permit (SUP) for 1202 Gideon Way



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

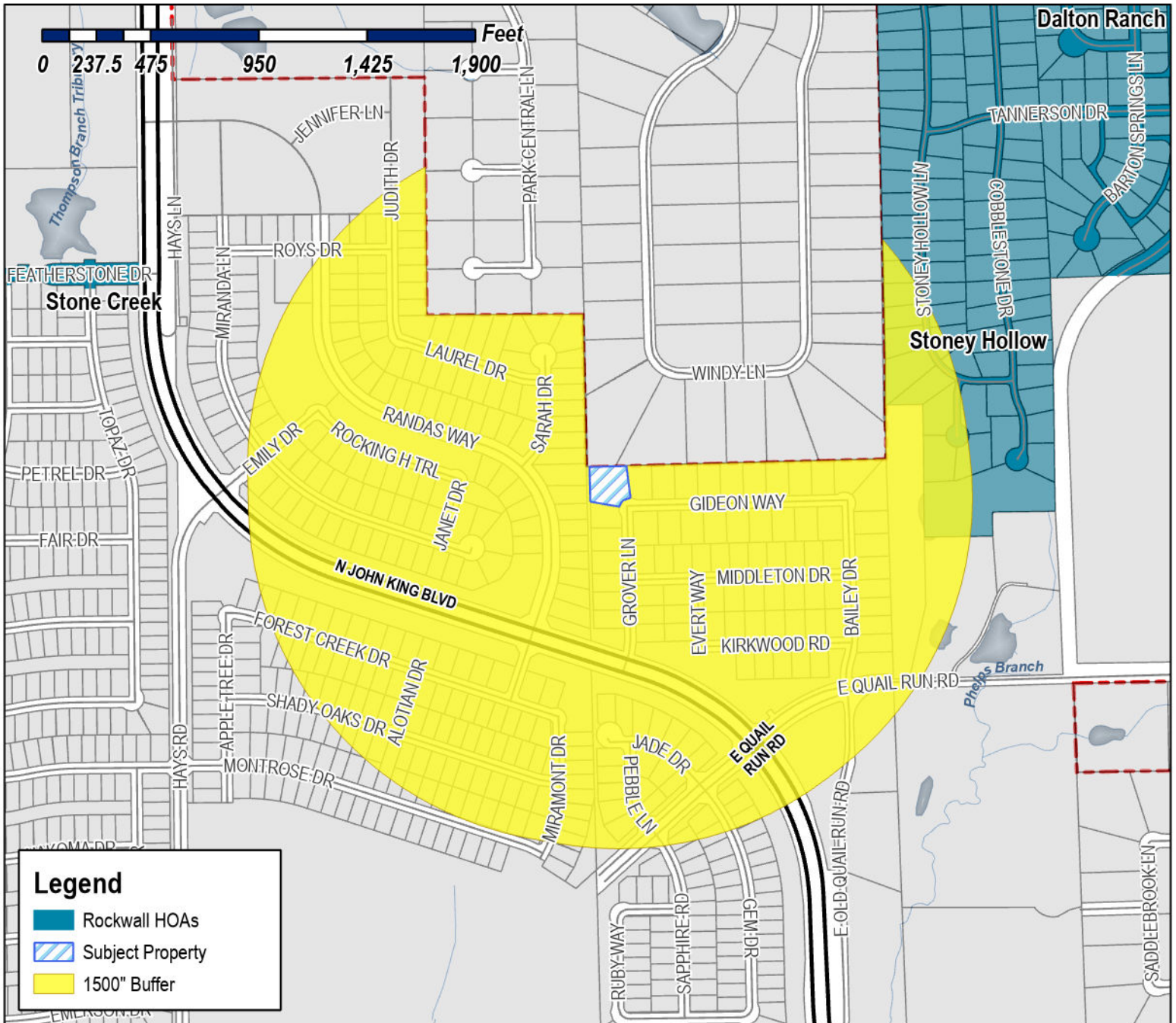




City of Rockwall

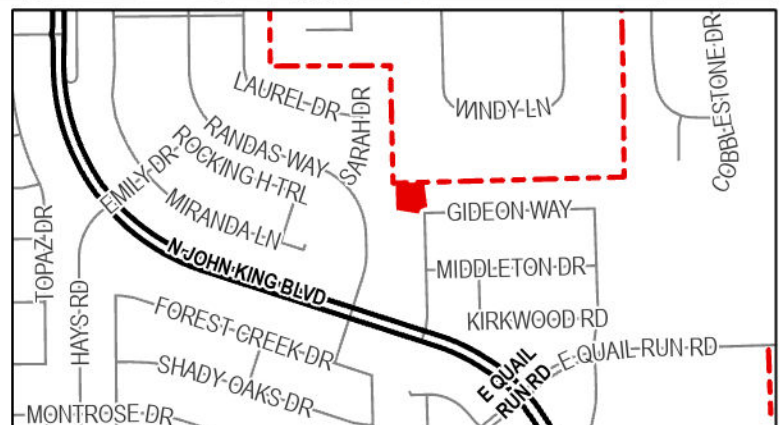
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-043
Case Name: SUP to allow more than one (1) accessory structure
Case Type: Zoning
Zoning: Planned Development District 77 (PD-77)
Case Address: 1202 Gideon Way

Date Saved: 9/13/2024
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, September 18, 2024 10:45 AM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2024-043]
Attachments: Public Notice (P&Z) (09.16.2024).pdf; HOA Map (09.13.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, September 20, 2024*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 15, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 21, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-043: SUP to allow more than one (1) accessory structure

Hold a public hearing to discuss and consider a request by Russ and Kim Dignam for the approval of a *Specific Use Permit (SUP)* to allow more than the permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and take any action necessary.

Thank you,

Melanie Zavala

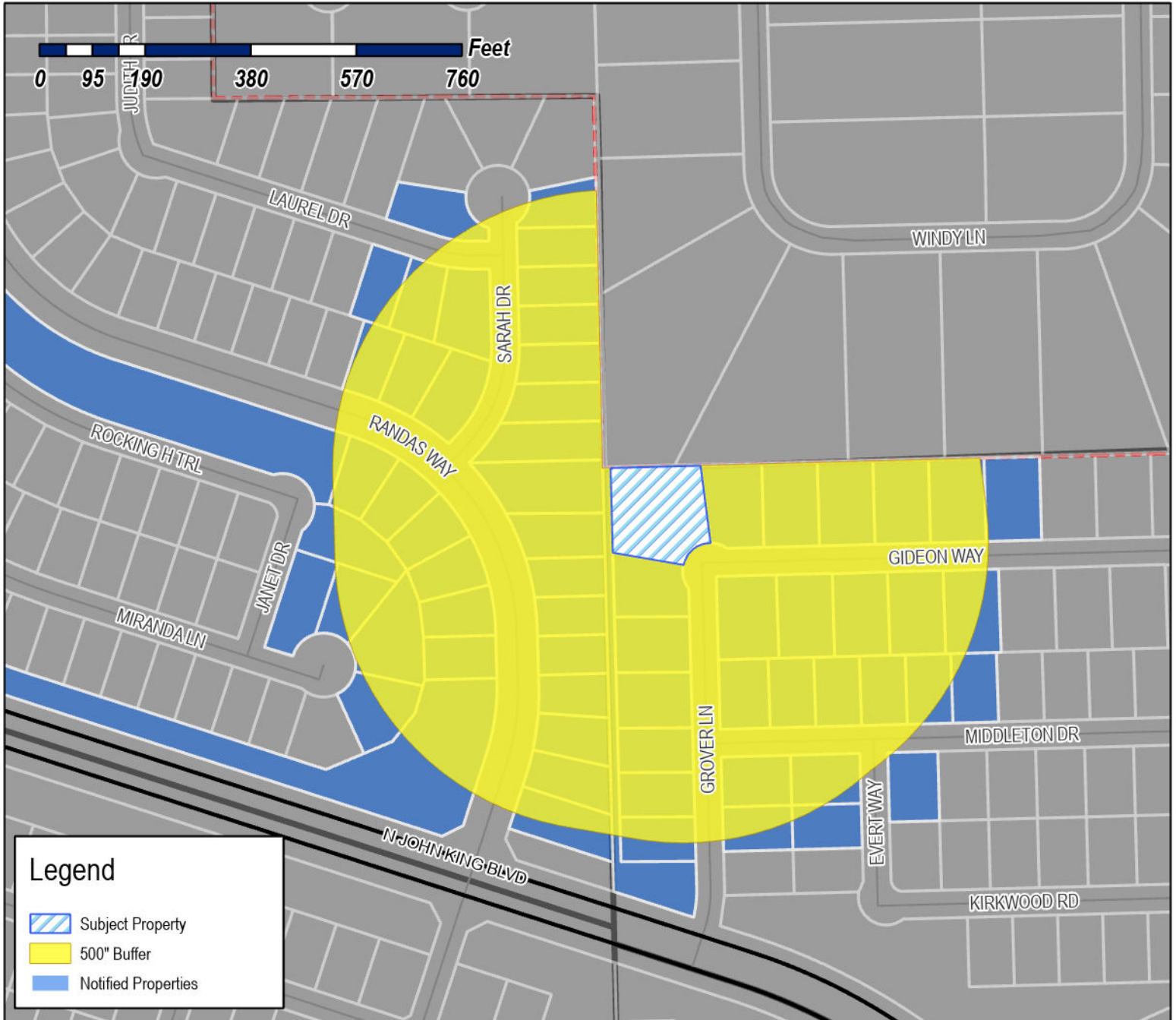
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-043
Case Name: SUP to allow more than one (1) accessory structure
Case Type: Zoning
Zoning: Planned Development District 77 (PD-77)
Case Address: 1202 Gideon Way

Date Saved: 9/13/2024

For Questions on this Case Call: (972) 771-7745



GIDEON GROVE HOMEOWNERS ASSOCIATION
INC
1024 S GREENVILLE AVE #230
ALLEN, TX 75002

DIGNAM KIMBERLY SUE AND RUSSELL JEREMY
1202 GIDEON WAY
ROCKWALL, TX 75087

HUSAIN SYED SAMAR AND SURAYA SAMAR
1204 MIDDLETON DRIVE
ROCKWALL, TX 75087

BOBBITT CARL E AND PRUDENCE D
1206 GIDEON WAY
ROCKWALL, TX 75087

2021 R S HERRERA REVOCABLE TRUST
1207 GIDEON WAY
ROCKWALL, TX 75087

EDDINGS JACKIE AND CAROLYN
1208 MIDDLETON DRIVE
ROCKWALL, TX 75087

HOOKS JARRED AND BETHANY
1210 GIDEON WAY
ROCKWALL, TX 75087

PAGE JACOB STEWART AND JESSIE ANN
1211 GIDEON WAY
ROCKWALL, TX 75087

THOMAS BARBARA AND ISAAC
1212 MIDDLETON DRIVE
ROCKWALL, TX 75087

CONWAY DENNETT EUGENE AND MARY
1214 GIDEON WAY
ROCKWALL, TX 75087

DRAPER CASEY & LINDSAY JUNE
1215 GIDEON WAY
ROCKWALL, TX 75087

CURTIS JEREL & NATALIE LANEER
1302 MIDDLETON DRIVE
ROCKWALL, TX 75087

GAGA TESFAYE &
1303 MIDDLETON DR
ROCKWALL, TX 75087

GUMM BRIAN KEVIN AND PENNY DIANE
1304 GIDEON WAY
ROCKWALL, TX 75087

SAFAR JOHN A
1305 GIDEON WAY
ROCKWALL, TX 75087

MERZ ANDREW ALBERT AND AMANDA JAYNE
1306 MIDDLETON DRIVE
ROCKWALL, TX 75087

PONCE EDUARDO AND ODETT A
1308 GIDEON WAY
ROCKWALL, TX 75087

MOSCHELLA ANTHONY CHARLES AND ASHLEY
EASLEY
1309 GIDEON WAY
ROCKWALL, TX 75087

GOOCH GARY QUINN AND DANIELLE M
1310 MIDDLETON DRIVE
ROCKWALL, TX 75087

ADAMSON KEVIN E AND BECKY B
1312 GIDEON WAY
ROCKWALL, TX 75087

APPIAH-OWUSA NANA AND
14400 THE LAKES BLVD BUILDING C SUITE 200
PFLUGERVILLE, TX 78660

GERENA PRISCILLA SCHAR- AND
2007 GROVER LANE
ROCKWALL, TX 75087

SCHAR ROY
2008 GROVER LANE
ROCKWALL, TX 75087

FLORES ADRIAN JR AND GABRIELA S
2009 EVERT WAY
ROCKWALL, TX 75087

WOLSTENCROFT LISA AND BRIAN
2011 GROVER LANE
ROCKWALL, TX 75087

RESIDENT
2012 GROVER LANE
ROCKWALL, TX 75087

MORICO JOSEPH EMILIO JR AND JENNIFER M
2013 EVERT WAY
ROCKWALL, TX 75087

IVEY JOSHUA LUKE & SAMANTHA
2015 GROVER LANE
ROCKWALL, TX 75087

WHITE WALTER AND SHRONDA
2105 GROVER LANE
ROCKWALL, TX 75087

BUSCHOLD BRANDON ULRICH AND CATHERINE
2106 JANET DR
FATE, TX 75087

CHINN CHARLES MICHAEL AND JANICE IRWIN
AND
2109 GROVER LN
ROCKWALL, TX 75087

ALLUM MICHAEL D JR & CHERIE M
2113 GROVER LN
ROCKWALL, TX 75087

TOUGAW RONALD LYNN JR AND LAURA JEAN
2120 RANDAS WAY
ROCKWALL, TX 75087

VANBOLDEN KRISTEN AND
2121 RANDAS WAY
ROCKWALL, TX 75087

LOCKRIDGE DIANNE M AND GEORGE F
2125 RANDAS WAY
ROCKWALL, TX 75087

BONORDEN THOMAS EVERETT AND SHERRY
LYNN
2131 RANDAS WAY
ROCKWALL, TX 75087

SIMON BICKY AND RUBY
2135 RANDAS WAY
ROCKWALL, TX 75087

EDMONDSON DANIELA VELASQUEZ AND
CHRISTOPHER R SUAREZ
2136 RANDAS WAY
ROCKWALL, TX 75087

SADDEL STAR HOMEOWNERS ASSOCIATION
2200 ROSS AVENUE SUITE 4200W
DALLAS, TX 75201

RESIDENT
2201 LAUREL DR
ROCKWALL, TX 75087

DAVIS APRIL SHERIE AND ANTHONY B
2201 MIRANDA LANE
ROCKWALL, TX 75087

CAMPION ANGELA
2201 RANDAS WAY
ROCKWALL, TX 75087

BRAMALL JESSE WAYNE AND DANIELLE NICOLE
2202 MIRABDA LANE
ROCKWALL, TX 75087

CARES CRAIG MAYO
2202 RANDAS WAY
ROCKWALL, TX 75087

BROWN KYLE AND KELLI
2204 MIRANDA LANE
ROCKWALL, TX 75087

RESIDENT
2204 MIRANDA LN
ROCKWALL, TX 75087

RESIDENT
2205 LAUREL DR
ROCKWALL, TX 75087

HERMONSTINE LESLYN ANN AND
2206 RANDAS WAY
ROCKWALL, TX 75087

EVERHART RYAN M AND KARA GILLILAND
2207 RANDAS WAY
ROCKWALL, TX 75087

VASQUEZ ANTONIO RAMOS JR AND MELISSA
ELOHIM
2208 MIRANDA LANE
ROCKWALL, TX 75087

RESIDENT
2208 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2209 LAUREL DR
ROCKWALL, TX 75087

BAYLOR SEQUOIA & TWONDELL YAYA
2210 RANDAS WAY
ROCKWALL, TX 75087

RESIDENT
2212 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2216 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2220 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2302 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2303 SARAH DR
ROCKWALL, TX 75087

RESIDENT
2306 SARAH DR
ROCKWALL, TX 75087

SADDLE STAR SOUTH HOLDINGS LLC
2700 COMMERCE ST SUITE 1600
DALLAS, TX 75226

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-043: SUP to allow more than the permitted number of accessory structures

Hold a public hearing to discuss and consider a request by Russ and Kim Dignam for the approval of a Specific Use Permit (SUP) to allow more than the permitted number of accessory structures on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-043: SUP to allow more than the permitted number of accessory structures

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

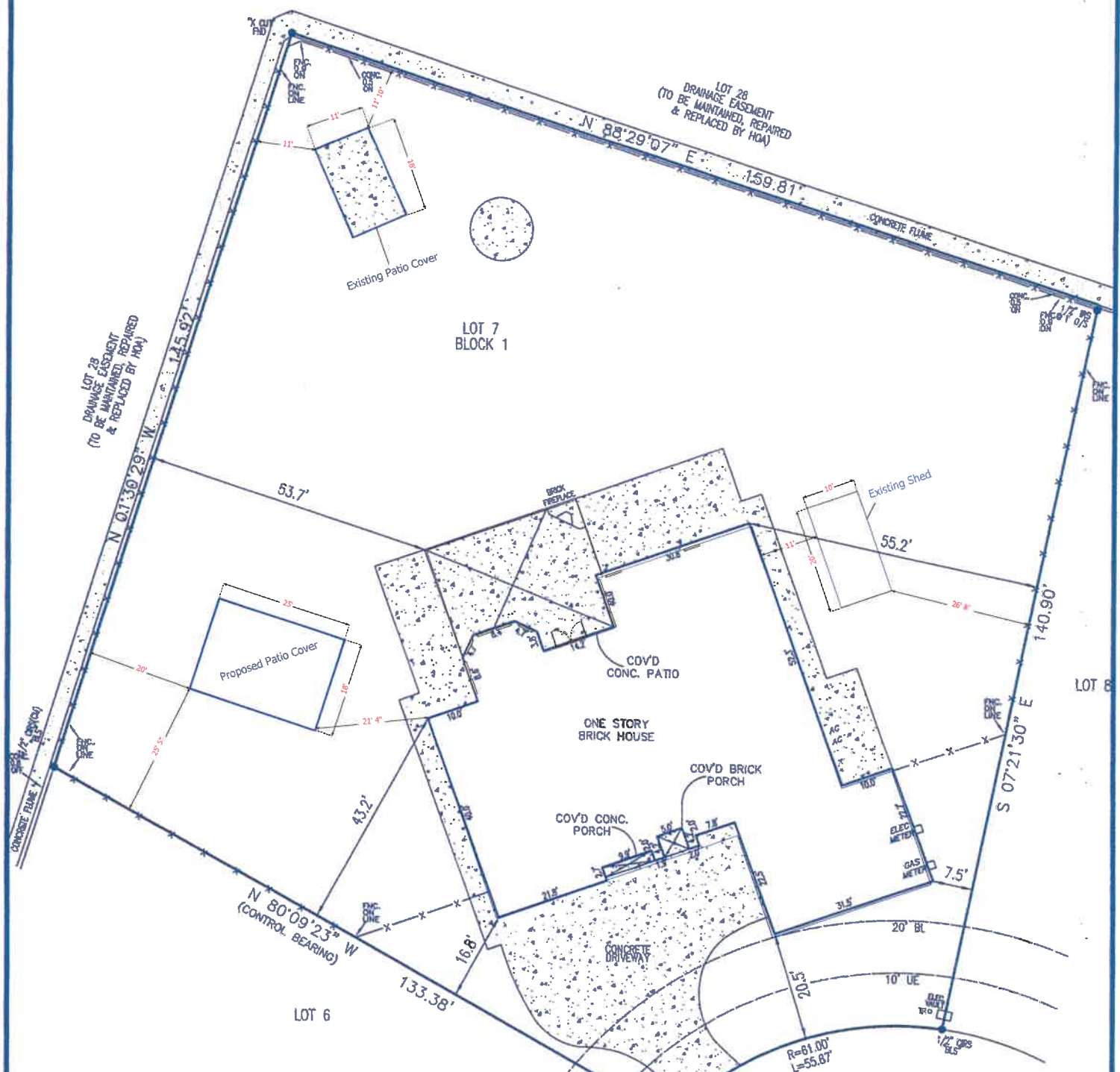
[Empty text area for comments]

Name: [Text box]
Address: [Text box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLAT SHOWING
 Lot 7, Block 1 of GIDEON GROVE - NORTH, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded under Clerk's File No. 2020000008939, Official Public Records, Rockwall County, Texas.
1202 GIDEON WAY



NOTES:
 To the best of my knowledge and belief:
 I certify to Alliant National Title Insurance Company and Benchmark Title:
 1) This survey was prepared in conjunction with and from a Title Commitment prepared by Title Resources Guaranty Company and Benchmark Title; Title Commitment GF No. PL20-28085, Effective Date: 10/28/2020.
 2) Subject to building lines and easements referenced and/or depicted under Clerk's File No. 2020000008939, O.P.R.R.C.T.(plat), Instr. No. 2019000008883 (plat), and the aforementioned Title Commitment.
 3) Easements recorded in Vol. 82, Pg. 358, D.R.R.C.T. and Vol. 5951, Pg. 84, O.P.R.R.C.T., appear to be subsurface easements for under pipelines.
 4) Subsurface structure(s), utilities, and easements are beyond the scope of this survey.
 5) Terms, provisions, stipulations, conditions, restrictions, drainage, minerals, covenants, assessments, agreements, obligations, rights, privileges, ordinances, immunities, and/or liens are beyond the scope of this survey.

VERTICAL DATUM
 ELEVATIONS SHOWN HEREON ARE BASED ON GRADING PLANS PROVIDED BY WINDSOR HOMES.

BEARING SOURCE
 BEARINGS SHOWN HEREON ARE BASED ON THE PLAT RECORDED UNDER CLERK'S FILE NO. 2020000008939, O.P.R.R.C.T. (PLAT)



"The Plat herein is an accurate representation of the property as determined by a survey made on the ground under my direction and supervision on the date shown below, the lines and dimensions of said property being as indicated by the Plat, the size, location and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, except as shown, set back from the property lines the distances indicated and that the distances from the nearest intersecting street or road is as shown on said Plat. There are no apparent encroachments, conflicts, protrusions or apparent encroachments, except as shown."
 SURVEY DATE: 11/25/2020
LEGEND
 BL = BUILDING LINE
 UE = UTILITY EASEMENT
 DE = DRAINAGE EASEMENT
 CM = CONTROLLING MONUMENT
 IRF = IRON ROD FOUND
 IRS = IRON ROD SET
 IR = IRON ROD
 X = FENCE
 — = DIRECTION OF FLOW

WINDSOR
BARROW
LAND SURVEYING
 Platting / Planning / Residential / Commercial
 3970 SANDSHELL DRIVE
 FORT WORTH, TEXAS 76137
 PHONE (817) 961-0082
 FAX (817) 961-0086
 FIRM REGISTRATION NO. 10183700

FLOOD CERTIFICATION
 Subject property is located in Zone X (unshaded) according to the Flood Insurance Rate Map Community Panel Map # 48397C030 L. Map Revised: September 26, 2008.
 Zone X (unshaded) Areas determined to be outside the 0.2% annual chance floodplain.
 Determination based on graphically scaling from the above listed map, only.
 This flood statement does not create liability on part of the surveyor and/or surveying company.

© 2017 Pool Studio

 Pool Studio



 Craft Water Pools

Craft Water Pools | Kurt Clusteen

© 2018 Pool Studio

 Pool Studio



 Craft Water Pools

Craft Water Pools | Kurt Chasteen

10' wide x20' long x9.5' tall



11' wide x 18' deep x 12.6' tall









CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 77 (PD-77) [ORDINANCE NO. 15-20] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM SQUARE FOOTAGE AND FOR MORE ACCESSORY STRUCTURES THAN PERMITTED ON A 0.6048-ACRE TRACT OF LAND IDENTIFIED AS LOT 1, BLOCK 7, GIDEON GROVE NORTH ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Russ and Kim Dignam for the approval of a Specific Use Permit (SUP) to allow for an accessory building that exceeds the maximum square footage and for more accessory structures than permitted on a 0.6048-acre parcel of land identified as Lot 1, Block 7, Gideon Grove North Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77) for Single-Family 10 (SF-10) District land uses, addressed as 1202 Gideon Way, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow more than the permitted number of accessory structures in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 77 (PD-77) and Subsection 03.01, *General Residential District*

Standards, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Pergola* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this Specific Use Permit (SUP) ordinance.
- (2) The construction of a *Covered Porch* -- depicted as *Structure '1'* in *Exhibit 'B'* -- on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this Specific Use Permit (SUP) ordinance.
- (3) The construction of the *Accessory Building* -- depicted as *Structure '2'* in *Exhibit 'B'* -- on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'D'* of this Specific Use Permit (SUP) ordinance.
- (4) The *Covered Porch* depicted in *Exhibit 'B'* as *Structure '1'* shall not exceed a maximum size of 450 SF.
- (5) The *Accessory Building* depicted in *Exhibit 'B'* as *Structure '2'* shall not exceed a maximum size of 200 SF.
- (6) The subject property shall be limited to a maximum of three (3) accessory structures.
- (7) The maximum height of the *Covered Porch* depicted in *Exhibit 'B'* as *Structure '1'* shall not exceed a total height of 12-feet as measured to the mid-point of the pitched roof.
- (8) The maximum height of the *Accessory Building* depicted in *Exhibit 'B'* as *Structure '2'* shall not exceed a total height of 10-feet as measured to highest point of the pitched roof.
- (9) A building permit shall be obtained for the existing three (3) accessory structures (*i.e. the two [2] Covered Porches and Accessory Building*).

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF NOVEMBER, 2024.

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

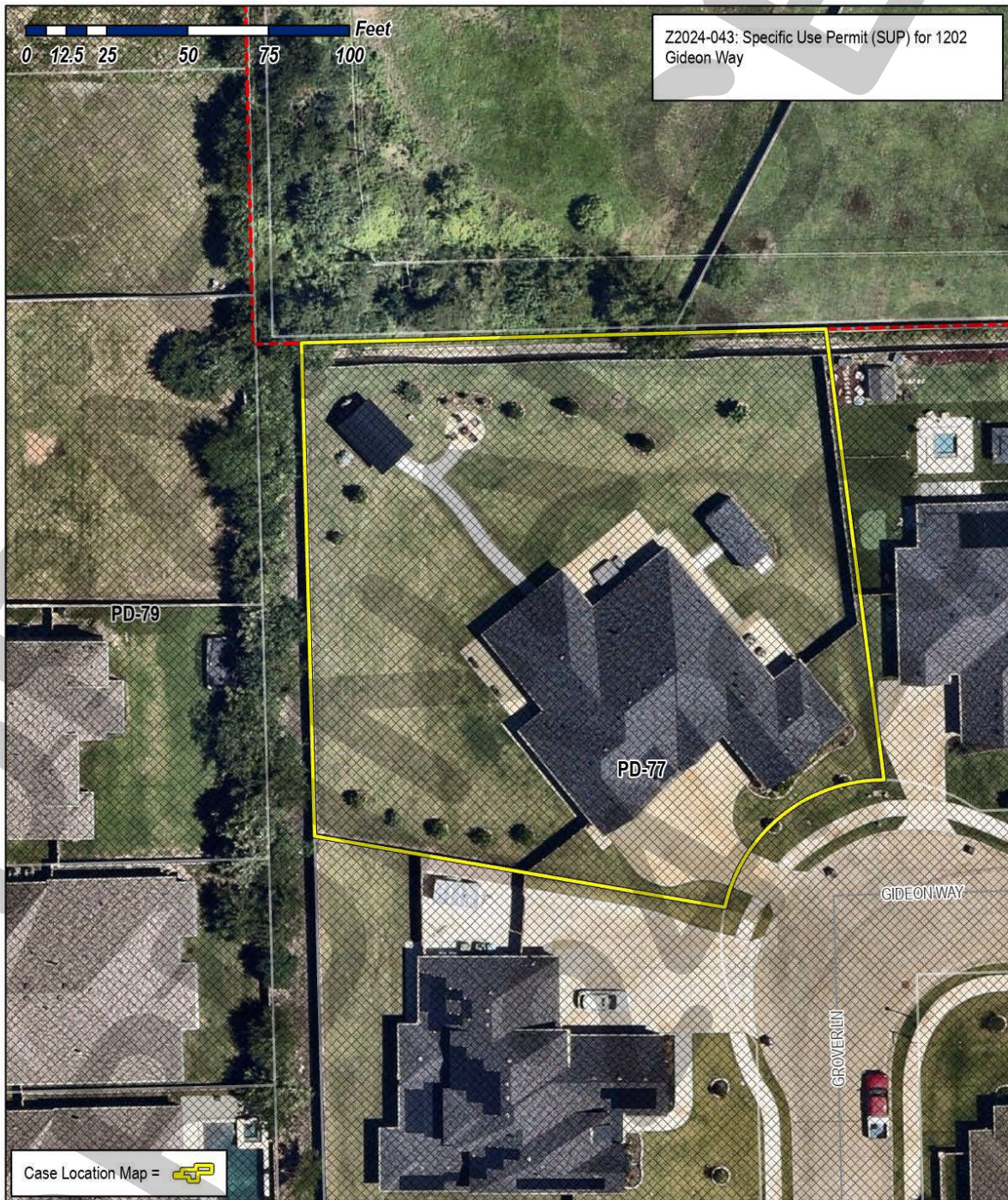
1st Reading: October 21, 2024

2nd Reading: November 4, 2024

Exhibit 'A'
Survey and Legal Description

Address: 1202 Gideon Way

Legal Description: Lot 1, Block 7, Gideon Grove North Addition



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Exhibit 'B': Residential Plot Plan

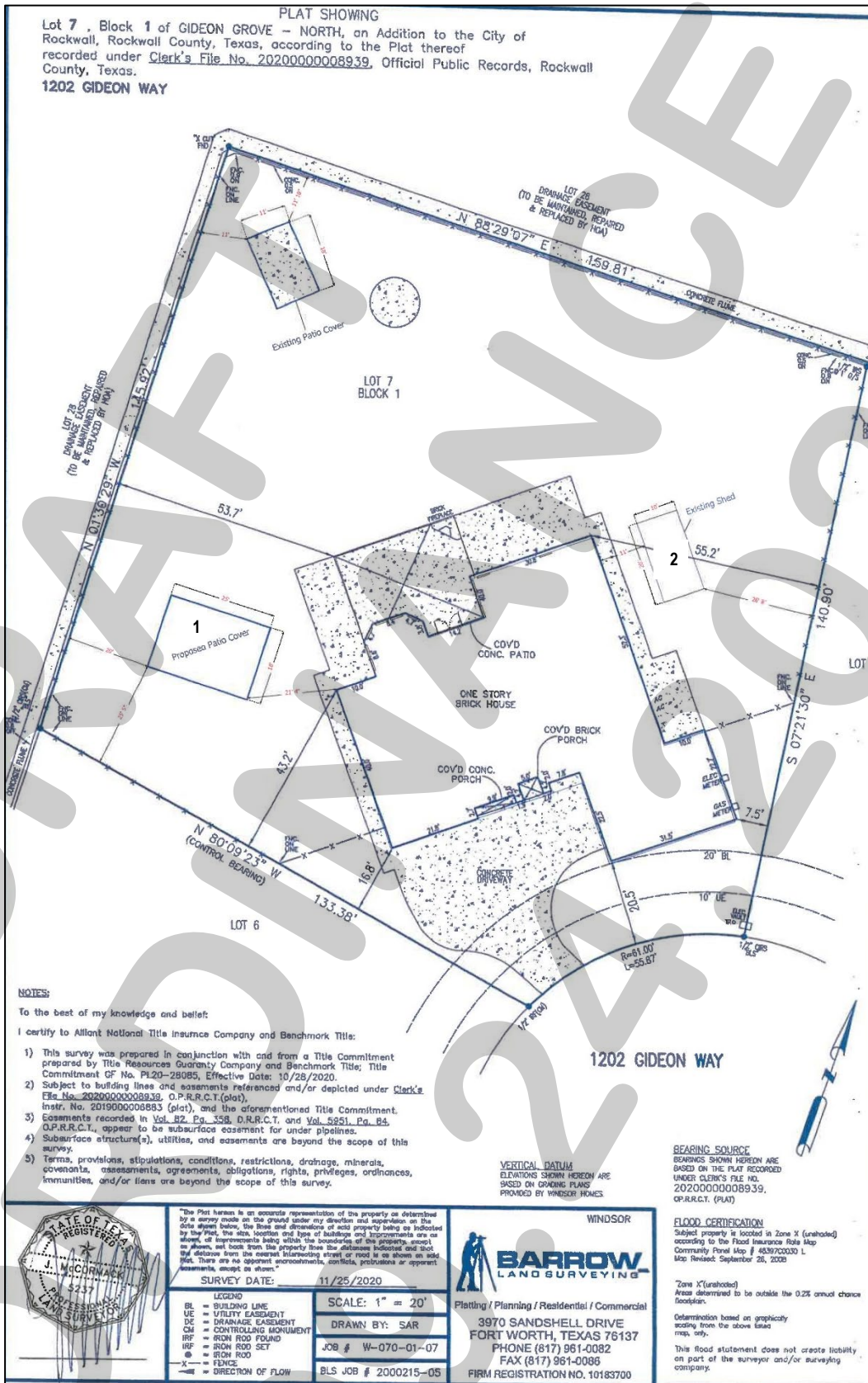


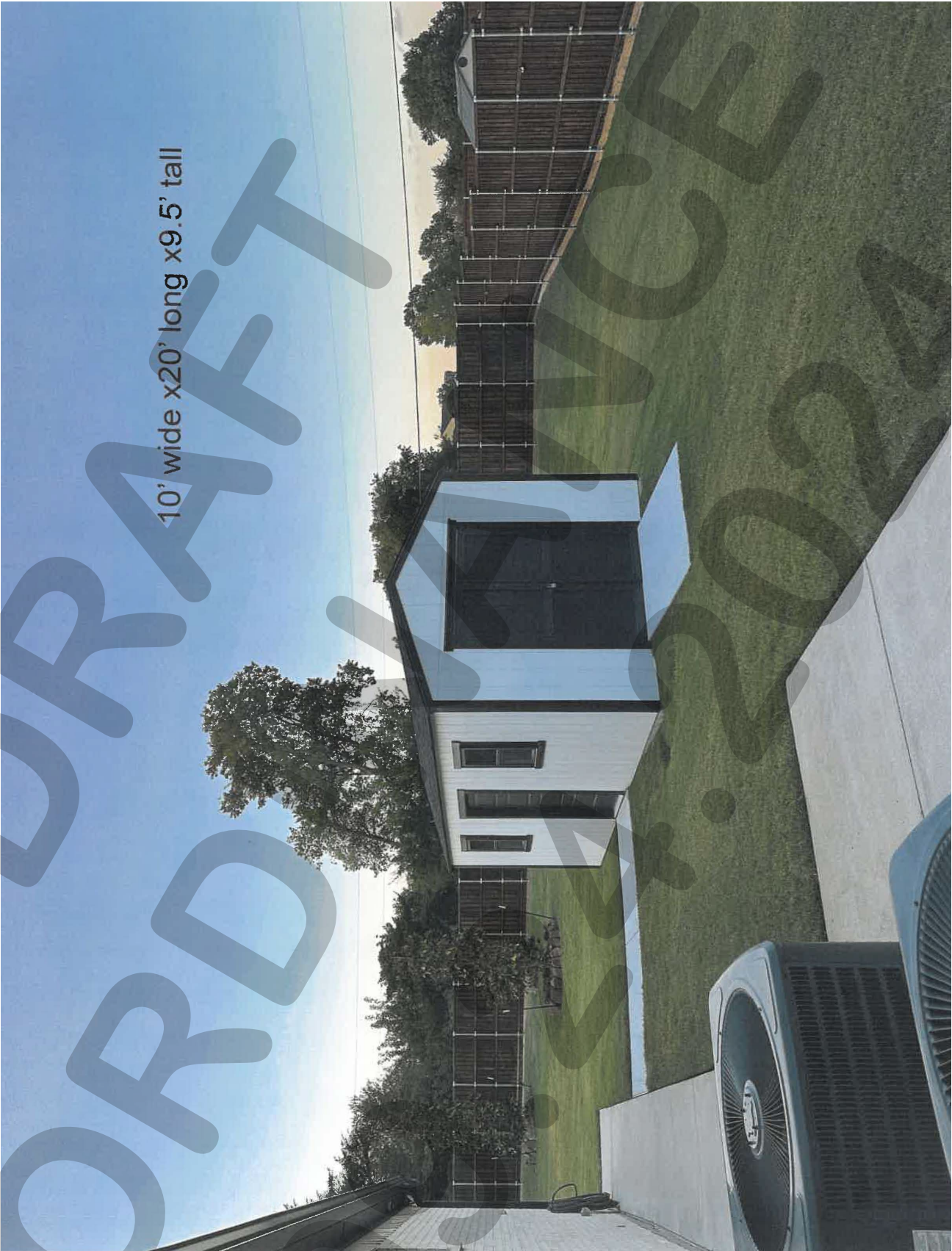
Exhibit 'C':
Building Elevations (Covered Porch)



Exhibit 'C':
Building Elevations (Covered Porch)



Exhibit 'D':
Building Elevations (Accessory Building)



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/19/2024

PROJECT NUMBER: Z2024-044
PROJECT NAME: SUP for a Short Term Rental
SITE ADDRESS/LOCATIONS: 806 AUSTIN ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Trenton Austin for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	09/19/2024	Approved w/ Comments

09/19/2024: Z2024-044; Specific Use Permit (SUP) for a Short-Term Rental (STR) at 806 Austin Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2024-044) in the lower right-hand corner of all pages on future submittals.

I.4 According to Article 13, Definitions, of the Unified Development Code (UDC), Short Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) is defined as, "A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property."

I.5 According to Article 04, Permissible Uses, of the Unified Development Code (UDC), the following conditional land use standards apply to the proposed use, [i.e. Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)]:

(A) Short-Term Rentals that are Non-Owner-Occupied shall not be located within 1,000-feet of another Short-Term Rental that is Non-Owner Occupied; however, Short Term Rentals that were in existence prior to April 1, 2024 that [1] meet the criteria established in Subsection 06.05, Non-Conforming Short-Term Rentals, of Article 04, Permissible Uses, of the Unified Development Code (UDC), and [2] received a valid permit and registration -- in accordance with Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances -- prior to July 1, 2024 shall be exempted from the proximity requirements.

(B) Short-Term Rentals that are Non-Owner-Occupied that do not meet proximity requirements may be considered on a case-by-case basis by the Planning and Zoning Commission and City Council through a Specific Use Permit (SUP). In considering a Specific Use Permit (SUP) for a Short-Term Rental that is Non-Owner-Occupied the Planning and Zoning Commission and City Council shall consider the size, location, and impact of the proposed and existing Short-Term Rentals on the adjacent residential properties and

their occupants.

(C) The Short-Term Rental shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. Banquet Facility/Event Hall which includes meeting halls and wedding venues) as stipulated by the Permissible Use Charts contained within Article 04, Permissible Uses, of the Unified Development Code (UDC).

(D) In order to establish and operate a Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

I.6 In accordance with item I.5(B) above, the Specific Use Permit (SUP) is required due to the proposed Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) being unable to meet item I.5(A) above. In this case, the proposed Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) is 0.00-feet from an existing and permitted Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex).

M.7 Review the attached draft ordinance prior to the September 24, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by October 1, 2024.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 15, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 24, 2024.

I.9 The projected City Council meeting dates for this case will be October 21, 2024 (1st Reading) and November 4, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/16/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/13/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR OUT OF COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS

806 AUSTIN ST. ROCKWALL, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

SF 7

CURRENT USE

PROPOSED ZONING

PROPOSED USE

SHORT TERM RENTAL

ACREAGE

LOTS (CURRENT)

LOTS (PROPOSED)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER

APPLICANT

CONTACT PERSON

Trenton Austin

CONTACT PERSON

ADDRESS

1340 Blanchard Hwy

ADDRESS

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

PHONE

972-922-5267

PHONE

E-MAIL

taustin@stplumbingservices.com

E-MAIL

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Trenton Austin [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF September, 2024 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF September, 2024

OWNER'S SIGNATURE

Trenton Austin

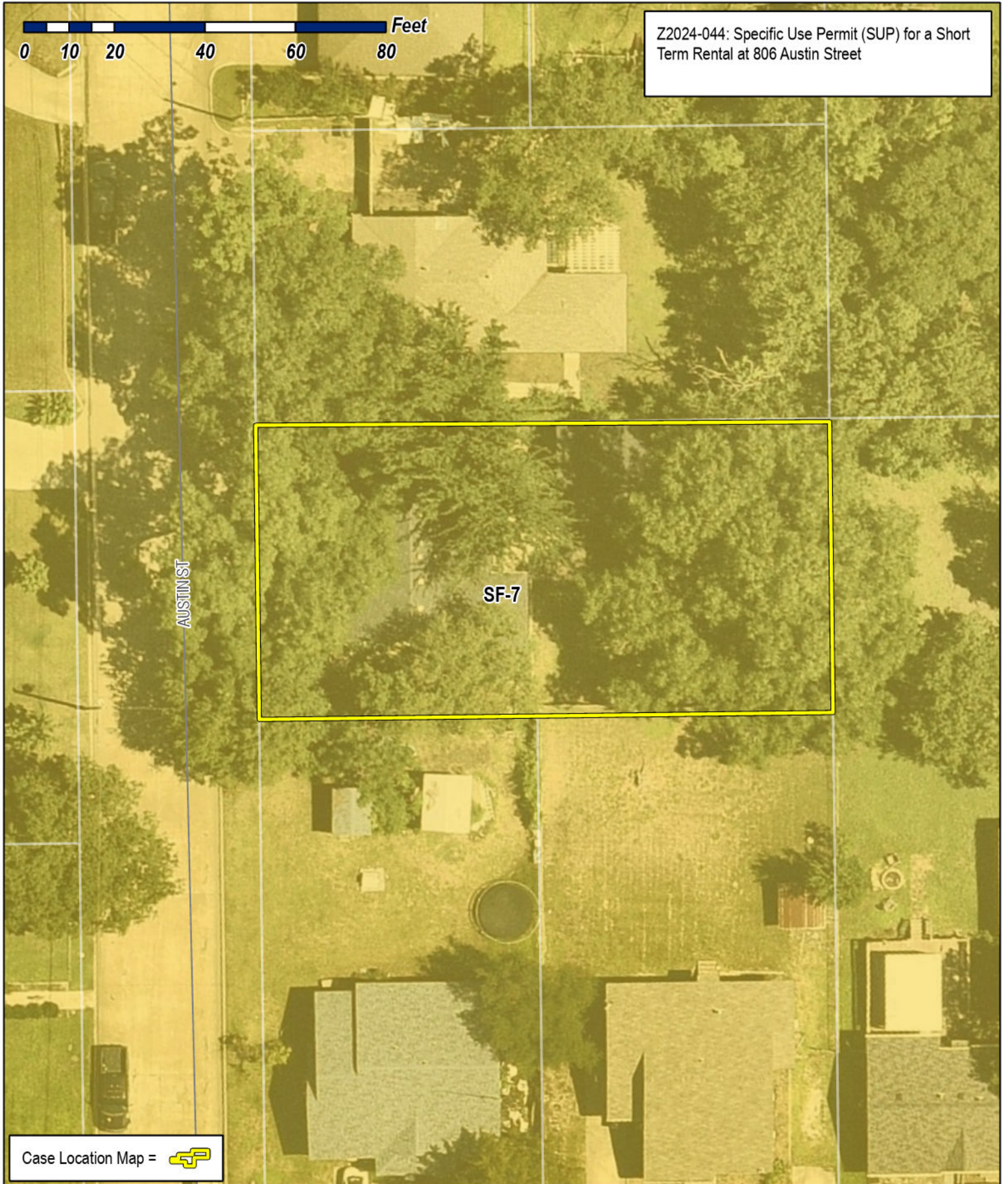
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Tara Riggs





Z2024-044: Specific Use Permit (SUP) for a Short Term Rental at 806 Austin Street



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

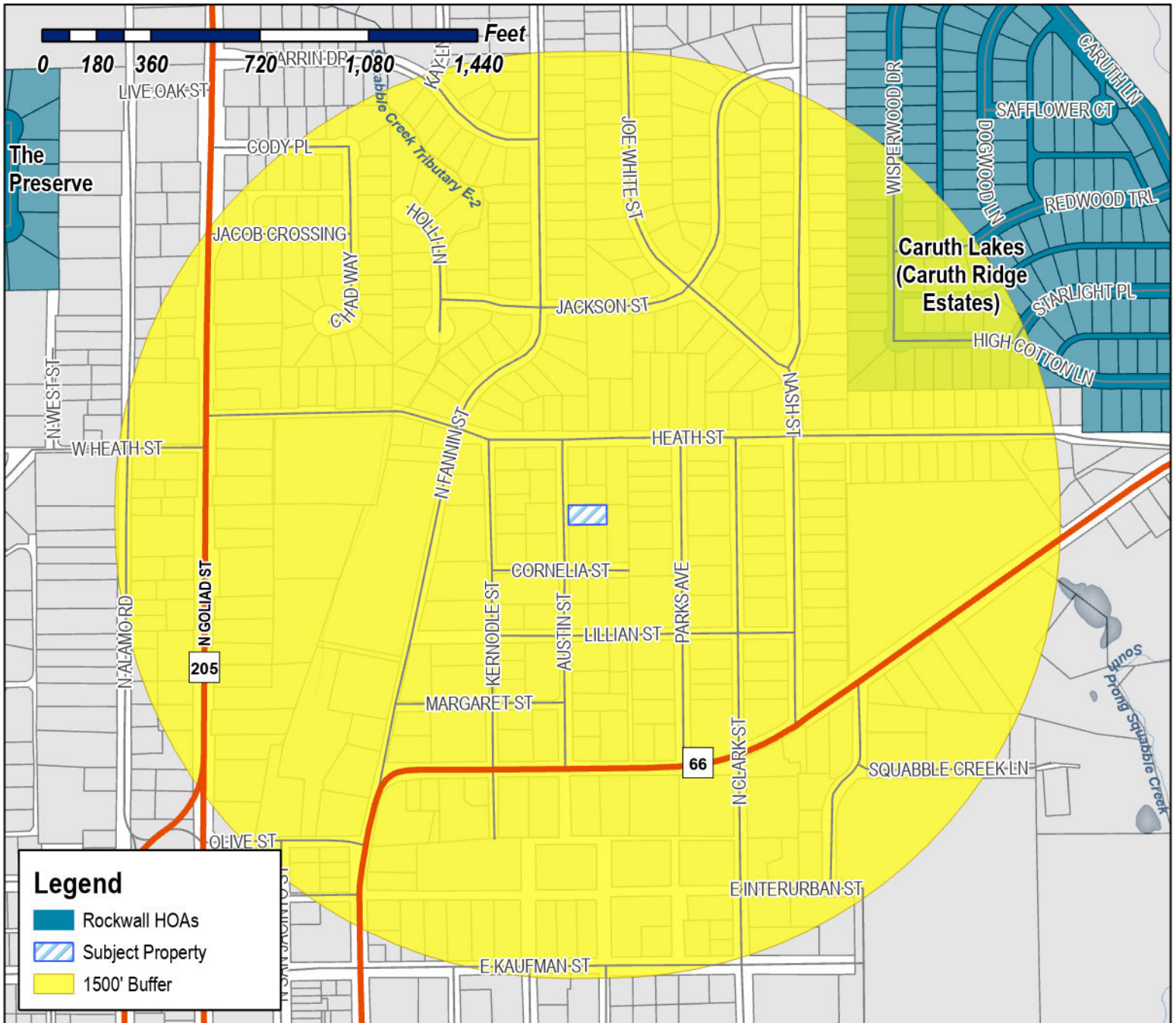




City of Rockwall

Planning & Zoning Department
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Case Number: Z2024-044
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Single-Family 7 District (SF-7)
Case Address: 806 Austin St

Date Saved: 9/13/2024
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, September 18, 2024 10:38 AM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2024-044]
Attachments: Public Notice (P&Z) (09.16.2024).pdf; HOA Map (09.13.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, September 20, 2024*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 15, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 21, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-044: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Trenton Austin for the approval of a *Specific Use Permit (SUP)* for a *Short-Term Rental* on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street, and take any action necessary.

Thank you,

Melanie Zavala

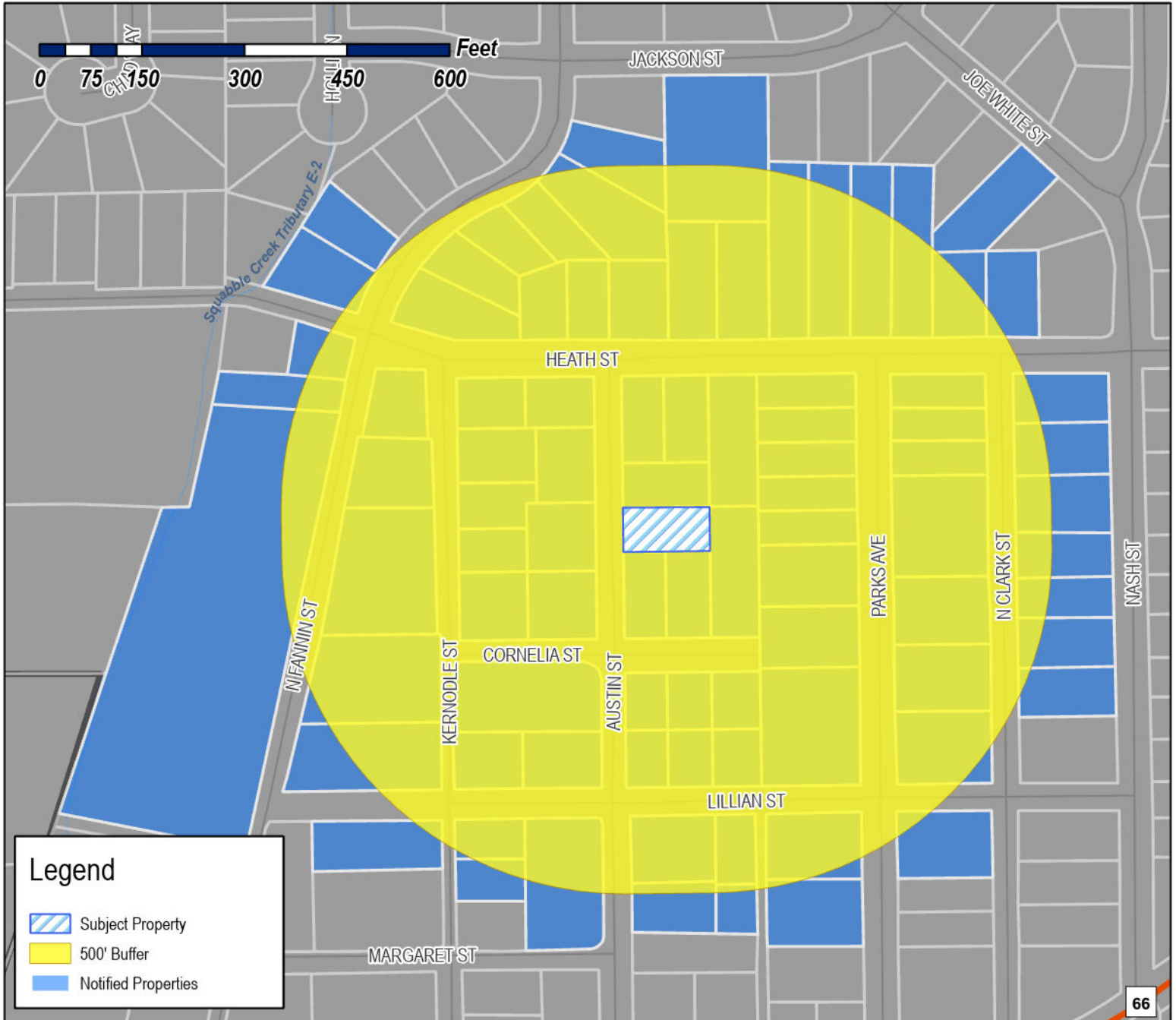
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-044
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Single-Family 7 District (SF-7)
Case Address: 806 Austin St

Date Saved: 9/13/2024

For Questions on this Case Call: (972) 771-7745



SUCH ANNIE ROSE
1022 TEXAN TRAIL
GRAPEVINE, TX 76051

RESIDENT
103 JOE WHITE
ROCKWALL, TX 75087

PRYOR MICA
1036 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

CONRAD CCC DEVELOPMENT LLC
1215 THOMASVILLE COURT
GARLAND, TX 75044

CELINE ESTATES INC
149 BRENTWOOD DRIVE
HEATH, TX 75032

FINK BEVERLY A & ROYCE G
17111 255TH AVE
SPIRIT LAKE, IA 51360

CELINE ESTATES INC
1925 BROKEN LANCE LN
ROCKWALL, TX 75032

VANILLA BEAN PROPERTIES SERIES 2 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 7 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 8 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 6 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 3 LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES SERIES 10 LLC
2 MANOR COURT
HEATH, TX 75032

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

THOMAS ANGELA
2200 KINGS PASS
HEATH, TX 75032

PARK STUFF SERIES LLC
2301 LAFAYETTE DR
HEATH, TX 75032

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

CAUBLE LINDA
301 S CLARK ST
ROCKWALL, TX 75087

ZYLKA PROPERTIES LLC
3021 RIDGE ROAD A66
ROCKWALL, TX 75032

ZYLKA PROPERTIES LLC
3021 RIDGE ROAD A66
ROCKWALL, TX 75032

STARK ROBERT S & TINA J
3090 N GOLIAD ST SUITE 102 #213
ROCKWALL, TX 75087

CLARK APRIL N
313 NAKOMA DRIVE
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
3400 N CENTRAL EXPY #110
RICHARDSON, TX 75080

TIPPING VIVIAN E AND
401 EAST HEATH STREET
ROCKWALL, TX 75087

DOLLINS ROBIN KAY AND GEORGE OEN
403 E HEATH
ROCKWALL, TX 75087

RESIDENT
405 E HEATH
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
501 LILLIAN
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
503 LILLIAN
ROCKWALL, TX 75087

RESIDENT
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

RESIDENT
505 LILLIAN
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

MOJICA JOSE L
505 CORNELIA ST
ROCKWALL, TX 75087

RESIDENT
505 E HEATH
ROCKWALL, TX 75087

RESIDENT
506 CORNELIA
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

YOUNG MOLLIE AND JAY CHANCE
507 PARKS AVENUE
ROCKWALL, TX 75087

RESIDENT
509 E HEATH
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

RICHARDSON PATRICE
510 COVE RIDGE RD
HEATH, TX 75032

ALLEGRETTO RICHARD JR AND SARAH ANN
510 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
511 E HEATH
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

GREENAWALT PATRICK AND COURTNEY
513 E HEATH ST
ROCKWALL, TX 75087

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

RESIDENT
601 E HEATH
ROCKWALL, TX 75087

EICH CHRIS AND ELENA
601 PARKS AVENUE
ROCKWALL, TX 75087

RESIDENT
602 AUSTIN
ROCKWALL, TX 75087

MURPHY MICHAEL
602 PARKS AVE
ROCKWALL, TX 75087

LOFLAND JANA J
603 AUSTIN ST
ROCKWALL, TX 75087

SUTTON JUDITH A
603 E HEATH ST
ROCKWALL, TX 75087

FUNK TED FREDRICK AND REBECCA LYNN
604 KERNODLE
ROCKWALL, TX 75087

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
605 E HEATH
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
606 KERNODLE
ROCKWALL, TX 75087

RESIDENT
606 PARKS
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

RESIDENT
607 NASH
ROCKWALL, TX 75087

MULLINS CHRISTOPHER CHARLES AND ARYN
ELISE
607 KERNODLE ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

BELANGER CORKY
616 MONTROSE DR
ROCKWALL, TX 75087

RESIDENT
701 NASH
ROCKWALL, TX 75087

MOONEY DAVID AARON
701 AUSTIN ST
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
702 KERNODLE
ROCKWALL, TX 75087

HENRY AMANDA A
702 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
703 PARKS
ROCKWALL, TX 75087

TIBBETTS ELAINE
703 KERNODLE ST
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH STREET
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE
704 JACKSON ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

2021 B L GRAVES REVOCABLE TRUST
705 KERNODLE ST
ROCKWALL, TX 75087

RUSHING BRIAN AND
705 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
707 NASH
ROCKWALL, TX 75087

RESIDENT
707 PARKS
ROCKWALL, TX 75087

CLOVER CHRISTIAN & SCOTT CLOVER & RENEE
CLOVER
708 PARKS AVE
ROCKWALL, TX 75087

MCDOWELL KIMBERLEE & KIRBY
709 NASH ST
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

SILVA REBECA BRIANA &
JAVIER SILVA
711 PARKS AVENUE
ROCKWALL, TX 75087

FLANAGAN RONNY LYNN JR AND JULIE
MICHELLE
714 PARKS AVE
ROCKWALL, TX 75087

RESIDENT
801 AUSTIN
ROCKWALL, TX 75087

RESIDENT
802 KERNODLE
ROCKWALL, TX 75087

COLWILL DIANA MARIA AND JESSE DAVID
803 AUSTIN ST
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M
803 KERNODLE ST
ROCKWALL, TX 75087

EMBRY ASHLEY
803 MIRAMAR DR
ROCKWALL, TX 75087

RESIDENT
804 KERNODLE
ROCKWALL, TX 75087

RUSTY ENTERPRISES LLC
804 WILLIAMS STREET
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

ORTIZ ENRIQUE AROZLA
805 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
806 KERNODLE
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

DEL BOSQUE MARIO ETUX
807 KERNODLE ST
ROCKWALL, TX 75087

MEJIA JULIO & MARIA R
807 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
808 AUSTIN
ROCKWALL, TX 75087

RESIDENT
808 KERNODLE
ROCKWALL, TX 75087

RESIDENT
809 AUSTIN
ROCKWALL, TX 75087

JOSEY BROOKE
810 KERNODLE ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WIEHE JOHN THOMAS
900 N FANNIN ST
ROCKWALL, TX 75087

CROWDER GERALDINE
901 N FANNIN ST
ROCKWALL, TX 75087

RESIDENT
902 N FANNIN
ROCKWALL, TX 75087

HEMPHILL REBECCA AND TODD
903 NORTH FANNIN STREET
ROCKWALL, TX 75087

HALL WYNNE &
904 N FANNIN ST
ROCKWALL, TX 75087

WILLIAMS BROOKS
906 FANNIN STREET
ROCKWALL, TX 75087

RESIDENT
908 N FANNIN
ROCKWALL, TX 75087

HAGENY MARY
910 N FANNIN STREET
ROCKWALL, TX 75087

601 E. HEATH, A SERIES OF STARK FAMILY
PROPERTIES, LLC
C/O ROBERT STARK 710 AGAPE CIR
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-044: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Trenton Austin for the approval of a *Specific Use Permit (SUP)* for a Short-Term Rental on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-044: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

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- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

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- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

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- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR OUT OF COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS

806 AUSTIN ST. ROCKWALL, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

SF 7

CURRENT USE

PROPOSED ZONING

PROPOSED USE

SHORT TERM RENTAL

ACREAGE

LOTS (CURRENT)

LOTS (PROPOSED)

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER

APPLICANT

CONTACT PERSON

Trenton Austin

CONTACT PERSON

ADDRESS

1340 Blanchard Hwy

ADDRESS

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

PHONE

972-922-5267

PHONE

E-MAIL

taustin@stplumbingservices.com

E-MAIL

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Trenton Austin [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF September, 2024 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF September, 2024

OWNER'S SIGNATURE

Trenton Austin

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Tara Riggs





SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

RECEIVED BY:

T. Buehler

DATE RECEIVED:

9/16/2024

STR PERMIT NO.

STR2024-4890

ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

- TA I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- TA I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- TA I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- TA I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- TA I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and — as the owner of the subject property — it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

REGISTRATION TYPE

New Registration | Renewal of an Existing Registration

Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION [PLEASE PRINT]

Address	806 Austin Street	Zoning	
Subdivision		Lot	
General Location	Downtown Rockwall	Block	

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)**. A single-family home, townhome, or duplex — or portion thereof — in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)**. A single-family home, townhome, or duplex — or a portion thereof — in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit — or portion thereof — on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM)**. An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) — or a portion thereof — in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name	Trenton Austin	Phone	972-922-5267
Mailing Address	1340 Meandering Way	City	Rockwall
Email		State	TX
		Zip Code	75087

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

Same as Property Owner

Name		Phone	
Mailing Address		City	
Email		State	
		Zip Code	



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE.** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN.** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES.** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures – one (1) per each façade of a structure – and any on-site amenities.
- COMMERCIAL INSURANCE.** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE.** A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING.** All advertising for the *Short-Term Rental* – including online or on a proprietary website, application, or other technology – will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING.** The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN.** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES.** There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE.** There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste – bagged or otherwise – placed on the ground.
- SIGNAGE.** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER.** A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS.** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS.** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS.** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION.** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

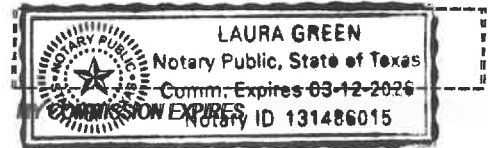
I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September, 2024

RESPONSIBLE PARTY'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Laura Green



PROPERTY OWNER'S CERTIFICATION

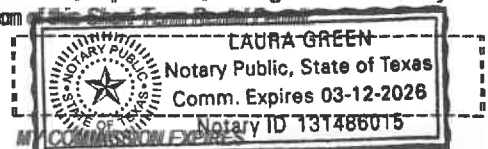
I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September, 2024

PROPERTY OWNER'S SIGNATURE

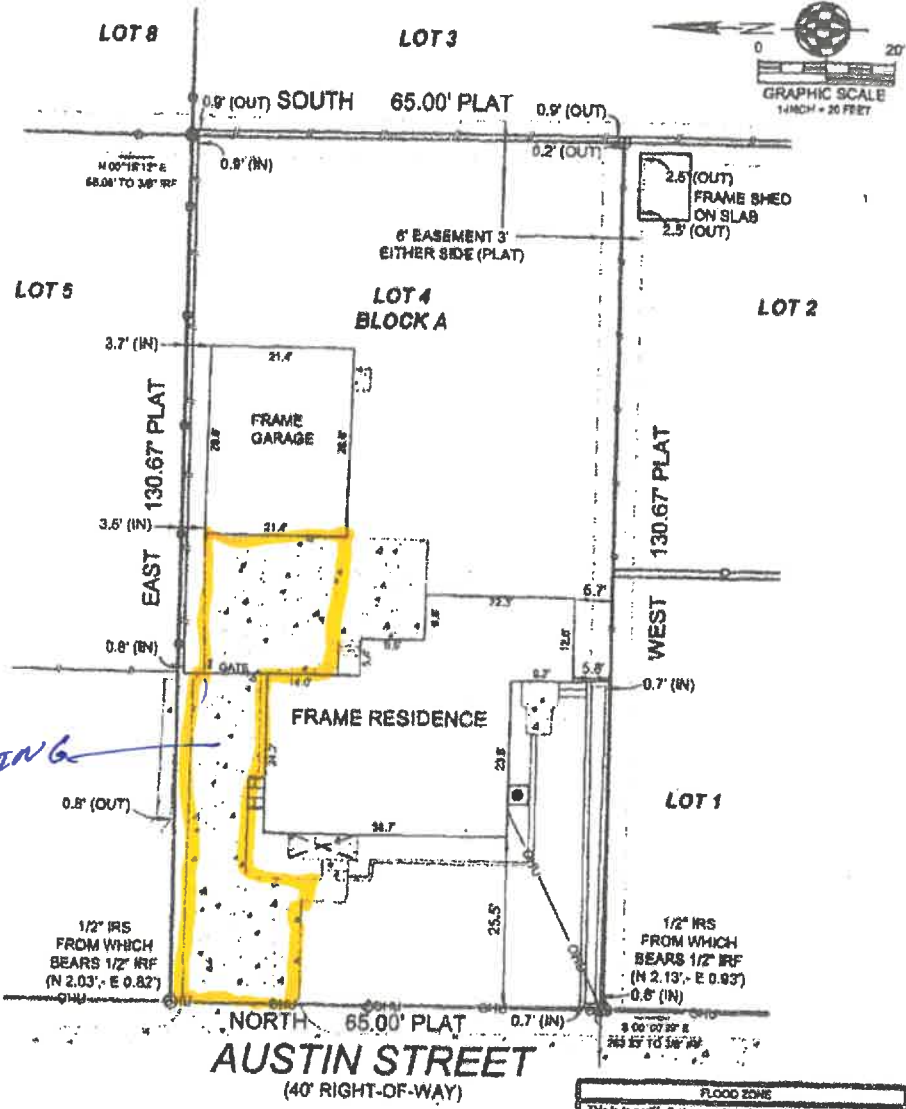
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Laura Green



SURVEY PLAT: 806 AUSTIN STREET

Being Lot 4, in Block A, in the REVISION OF LOTS 15 AND 16, FARMERS AND MERCHANTS NATIONAL BANK ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet 49, Slide 526, of the Plat Records of Rockwall County, Texas.



PARKING

FLOOD ZONE
 This is to certify that no portion of the subject property shown herein lies within the 100 Year Flood Hazard Area as shown on the Flood Insurance Rate Map, Community Panel No. 48097C 0040L, dated 09-25-2008. The property is located in Zone "C".

LEGEND

16" IR FENEST	X-POUND	FILE BOX	UTILITY POLE	OVERHEAD UTILITY LINE	CONC. NUMBER	CONCRETE
18" IR NET	X-BOX	CABLE BOX	WATER METER	IRON W/HP ANCHOR	RECESSED STONE RET. WALL	GRAVEL
24" IR FOUND	SAN. BEW. MH	ELECTRIC BOX	DRS. METER	BARBED WIRE FENCE	BUILDING LINE	BRICK
30" IR FOUND	IRRIGATION VALVE	BRICK COLUMN	A.D. PAD	IRON FENCE	EASEMENT	STONE
36" IR FOUND	WATER VALVE	STONE COLUMN	TRANS. BOX	CHARLON FENCE	BOUNDARY	WOOD DECK
42" IR FOUND	FRS. HYDRANT	STONE DRAIN MH	POOL EQUIP.	WOOD FENCE	HIGH BANK LINE	BUILDING WALL
48" IR FOUND	LIGHT POLE	SAN. BEW. ED.		ASPHALT	AREA	TILE

I, John S. Turner, Registered Professional Land Surveyor of the State of Texas, do certify that this Survey Plat is a true, correct and accurate representation of the project shown herein as authorized by survey or the ground under my supervision. The lines and dimensions of said property being indicated by this plat. The improvements are within the boundaries of the property lines as the distances indicated and there are no visible and apparent encroachments, encroachments, utilities or projections, except as shown. This survey meets or exceeds the minimum standards required by the Texas Board of Professional Land Surveying.

This survey was performed exclusively for the parties in connection with the G. F. Harbitt steam turbine and is accurate for a single use. This survey remains the property of the Surveyor. Unauthorized reuse is not permitted without the expressed written permission of the Surveyor. This survey is an original work protected by United States Copyright laws and international treaties. All rights reserved. Do not make a legal copy.

John S. Turner
 JOHN S. TURNER RPLS 6310



A&W SURVEYORS, INC.
 Professional Land Surveyors
 TEXAS REGISTRATION NO. 100174-00
 P.O. BOX 870029, MESQUITE, TX 75187
 PHONE: (972) 681-4875 FAX: (972) 681-4854
 WWW.AWSURVEY.COM

JOB NO. 14-1472 DRAWN BY: GGP
 DATE: 06-20-2014 G.F. NO.: 2023-1321 DGRU
 CERTIFY TO: BLAIR LEAKE TITLE CO. REVISION TITLE

"A professional company operating in your best interest!"



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

9/9/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).


PRODUCER CORE Insurance Group 2570 River Park Plz Ste 100 Fort Worth, TX 76116	CONTACT NAME: Norma Ayala
	PHONE (A/C, No, Ext): _____ FAX (A/C, No): _____ E-MAIL ADDRESS: norma@coreins.us
	INSURER(S) AFFORDING COVERAGE NAIC #
	INSURER A : Northfield Insurance Company 27987
INSURED Trenton and Sarah Austin 806 Austin Street Rockwall, TX 75087	INSURER B :
	INSURER C :
	INSURER D :
	INSURER E :
	INSURER F :

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS		
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER: _____			WS581435	9/3/2024	9/3/2025	EACH OCCURRENCE	\$ 1,000,000	
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000	
							MED EXP (Any one person)	\$ 5,000	
							PERSONAL & ADV INJURY	\$ 1,000,000	
							GENERAL AGGREGATE	\$ 2,000,000	
							PRODUCTS - COMP/OP AGG	\$ 2,000,000	
								\$	
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident)	\$	
							BODILY INJURY (Per person)	\$	
							BODILY INJURY (Per accident)	\$	
							PROPERTY DAMAGE (Per accident)	\$	
								\$	
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED _____ RETENTION \$ _____						EACH OCCURRENCE	\$	
								AGGREGATE	\$
								\$	
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y / N <input checked="" type="checkbox"/> N / A (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						PER STATUTE	OTH-ER	
								E.L. EACH ACCIDENT	\$
								E.L. DISEASE - EA EMPLOYEE	\$
								E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Short Term Rental for 806 Austin St Rockwall Tx

CERTIFICATE HOLDER Insured's Purposes Only	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 













CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NON-OWNER-OCCUPIED SHORT-TERM RENTAL* ON A 0.1950-ACRE PARCEL OF LAND IDENTIFIED AS LOT 4, BLOCK 15A, F&M ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Trenton Austin for the approval of a *Specific Use Permit (SUP)* for a *Non-Owner Occupied Short-Term Rental* on a 0.1950-acre parcel of land identified as Lot 4, Block 15A, F&M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 806 Austin Street, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Non-Owner-Occupied Short-Term Rental* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 03.01, *General Residential Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and, Article 02, *Short-Term Rentals*, of Chapter 13, *Rental Housing*, of the *Municipal Code of Ordinances -- as heretofore amended and as may be amended in the future --*, and with the following conditions:

Z2024-044: SUP for a STR

at 806 Austin Street

Ordinance No. 24-XX; SUP # S-3XX

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Non-Owner-Occupied Short-Term Rental* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Subject Property* shall conform to the information provided within the *Short-Term Rental Permit Application* depicted in *Exhibits 'B'* of this ordinance.
- (2) After the issuance of a *Short-Term Rental Permit and Registration* by the City of Rockwall, should the applicant allow this permit/registration to expire, lapse or be revoked by the City of Rockwall, this Specific Use Permit (SUP) shall automatically expire and be considered abandoned in accordance with Subsection 02.02, *Specific Use Permit (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Short-Term Rental Permit and Registration*, should the property owner/responsible party operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4th DAY OF NOVEMBER, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: October 21, 2024

2nd Reading: November 4, 2024

Exhibit 'A' Legal Description

Address: 806 Austin Street

Legal Description: Lot 4, Block 15A, F&M Addition

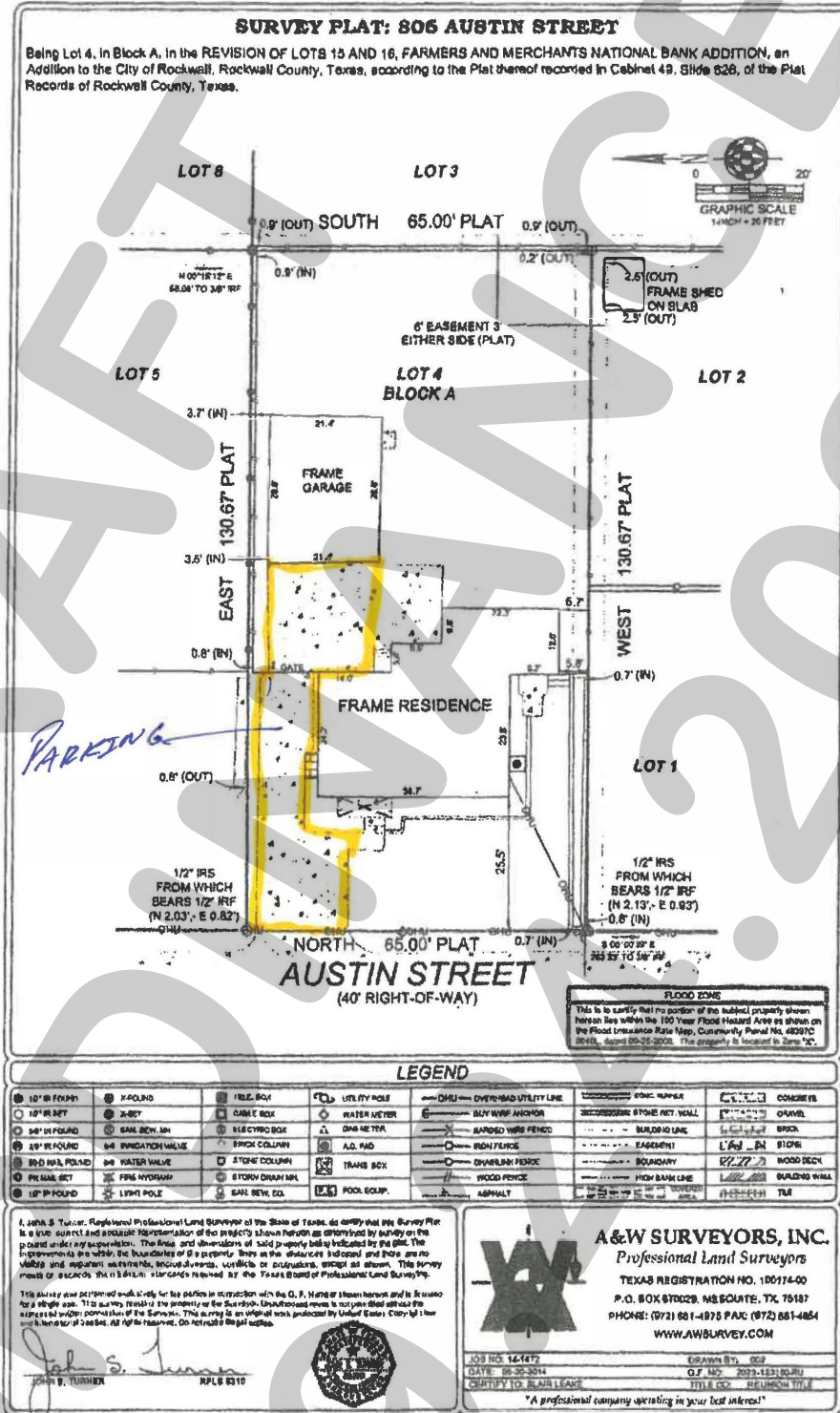


Exhibit 'B':
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
RECEIVED BY: *T. Buehler*
DATE RECEIVED: *9/16/2024*
STR PERMIT NO. *STR2024-4890*

ACKNOWLEDGEMENTS BY PROPERTY OWNER (PLEASE INITIAL BY EACH STATEMENT)

- TA I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- TA I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- TA I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- TA I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- TA I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and – as the owner of the subject property – it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

REGISTRATION TYPE

- New Registration | Renewal of an Existing Registration
- Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION (PLEASE PRINT)

Address **806 Austin Street** Zoning Lot Block
Subdivision
General Location **Downtown Rockwall**

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX).** A single-family home, townhome, or duplex – or portion thereof – in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX).** A single-family home, townhome, or duplex – or a portion thereof – in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit – or portion thereof – on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM).** An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) – or a portion thereof – in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION (PLEASE PRINT)

Name **Trenton Austin** Phone **972-922-5267**
Mailing Address **1340 Meandering Way** City **Rockwall** State **TX** Zip Code **75087**
Email

RESPONSIBLE PARTY (PLEASE PRINT)

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

- Same as Property Owner

Name Phone
Mailing Address City State Zip Code
Email

SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7709

Exhibit 'B':
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE.** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN.** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES.** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures – one (1) per each facade of a structure – and any on-site amenities.
- COMMERCIAL INSURANCE.** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE.** A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING.** All advertising for the *Short-Term Rental* – including online or on a proprietary website, application, or other technology – will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING.** The parking on the subject property currently conforms to the requirements of Table 5: *Parking Requirement Schedule of Article 06, Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN.** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR.] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES.** There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE.** There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste – bagged or otherwise – placed on the ground.
- SIGNAGE.** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER.** A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS.** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESSEGRESS.** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS.** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION.** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking; the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and, [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

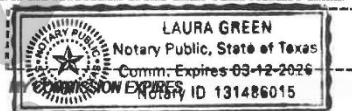
I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September 2024

RESPONSIBLE PARTY'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Laura Green



PROPERTY OWNER'S CERTIFICATION

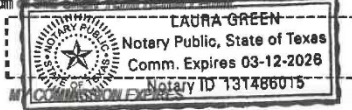
I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4th DAY OF September 2024

PROPERTY OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Laura Green



SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • (972) 771-7709

Exhibit 'C'
Short-Term Rental Photographs



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/18/2024

PROJECT NUMBER: Z2024-045
PROJECT NAME: SUP for Residential Infill at 178 Lynne Drive
SITE ADDRESS/LOCATIONS: 178 LYNNE DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Inocencio Barron on behalf of Ariel Palacios for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 910-A0 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	09/17/2024	Approved w/ Comments

09/17/2024: Z2024-045; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 178 Lynne Road
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 910-A0 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2024-045) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is the situated within the Lake Rockwall Estates #2 Subdivision which has been in existence since 1956, consists of more than five (5) lots, and is considered to be more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 Garage Requirements. According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is approximately 4-feet in front of the front façade of the home. While this is not uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

M.7 Exterior Materials. According to Subsection 3.(b), Exterior Materials, of Exhibit 'C' of Planned Development District 75 (PD-75) "(b)uildings 120-SF or greater and over ten (10)

feet in height shall have exterior walls constructed of a minimum of 80% standards masonry construction, excluding windows and doors ... Hardi-Board or similar cementaceous materials may be used on up to 50% of the total masonry requirement. A building with less than 80% standard masonry construction or which utilizes an excess of 50% cementaceous material shall require approval by the City Council in accordance with Section 3.C, Consideration of a Special Request, of this Ordinance." Please indicate that type of siding being proposed and that it is a cementaceous product. In addition, please provide exterior material percentages -- excluding doors and windows -- for all exterior elevations. This is needed to demonstrate conformance to the requirements of Planned Development District 75 (PD-75).

I.8 In this case, the proposed request appears to meet most of the requirements for Residential Infill in an Established Subdivision, and the zoning requirements for a property in Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District.

M. 9 The subject property shall be replatted prior to the issuance of a Building Permit.

M.10 Please provide a residential plot plan showing where the house will be situated on the lot to ensure it'll meet the district's setback requirements.

M.11 Ordinances. Please review the attached draft ordinance prior to the October 15, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by October 1, 2024.

I.12 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 15, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.13 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 24, 2024, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on October 15, 2024.

I.14 City Council Meeting Dates. The projected City Council meeting dates for this case will be October 21, 2024 (1st Reading) and November 4, 2024 (2nd Reading).

I.15 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Angelica Guevara	09/18/2024	Approved w/ Comments

09/18/2024: - Need a site plan showing the lot, house, driveway, etc. (Now)

- Will need to provide a proposed culvert underneath of this driveway to pass drainage within the existing drainage swale. Engineering plans required. Culvert to be reinforced concrete with sloped concrete headwalls and minimum size of 18" required for Building Permit.

- Finished floor must be a minimum of 1.5' above the gutter line of Lynne.

- Plot plan including grading showing swales and drainage pattern required with the Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Needs Review

09/18/2024: * WILL NEED TO SEEK APPROVAL FOR THE EXTERIOR MATERIALS NOT MEETING THE PD ORDINANCE CONCERNING THE MASONRY REQUIREMENT OF 80% ON EACH FACADE AND HARDIE BOARD OR SIMILAR CEMENTITIOUS MATERIAL THAT CAN BE USED UP TO 50% OF THE MASONRY REQUIREMENT - PLANS INDICATE CEDAR BATTENS

* WILL NEED A PLOT PLAN INDICATION THE PROPERTY AND BUILDING LOCATION WITH BUILD LINES

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Approved w/ Comments

09/17/2024: no plan provided that shows the location of the home on the property. Separation distances from lot lines need to still be reviewed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/16/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/13/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved

No Comments



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 178 Lynne Dr.

SUBDIVISION _____

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE _____

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Ariel Palacios

APPLICANT Inocencio Barron

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS 178 Lynne Dr.

ADDRESS 310 Lynne Dr.

CITY, STATE & ZIP Rockwall Tx 75032

CITY, STATE & ZIP Rockwall Tx 75032

PHONE 972 800 3628

PHONE 214 715 0979

E-MAIL _____

E-MAIL barron/inocencio777@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Martin A Palacios Mora [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF September, 2024

OWNER'S SIGNATURE Ariel Palacios

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]






Z2024-045: Specific Use Permit (SUP) in an Established Subdivision at 178 Lynne Drive



PD-75

LYNNE DR

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

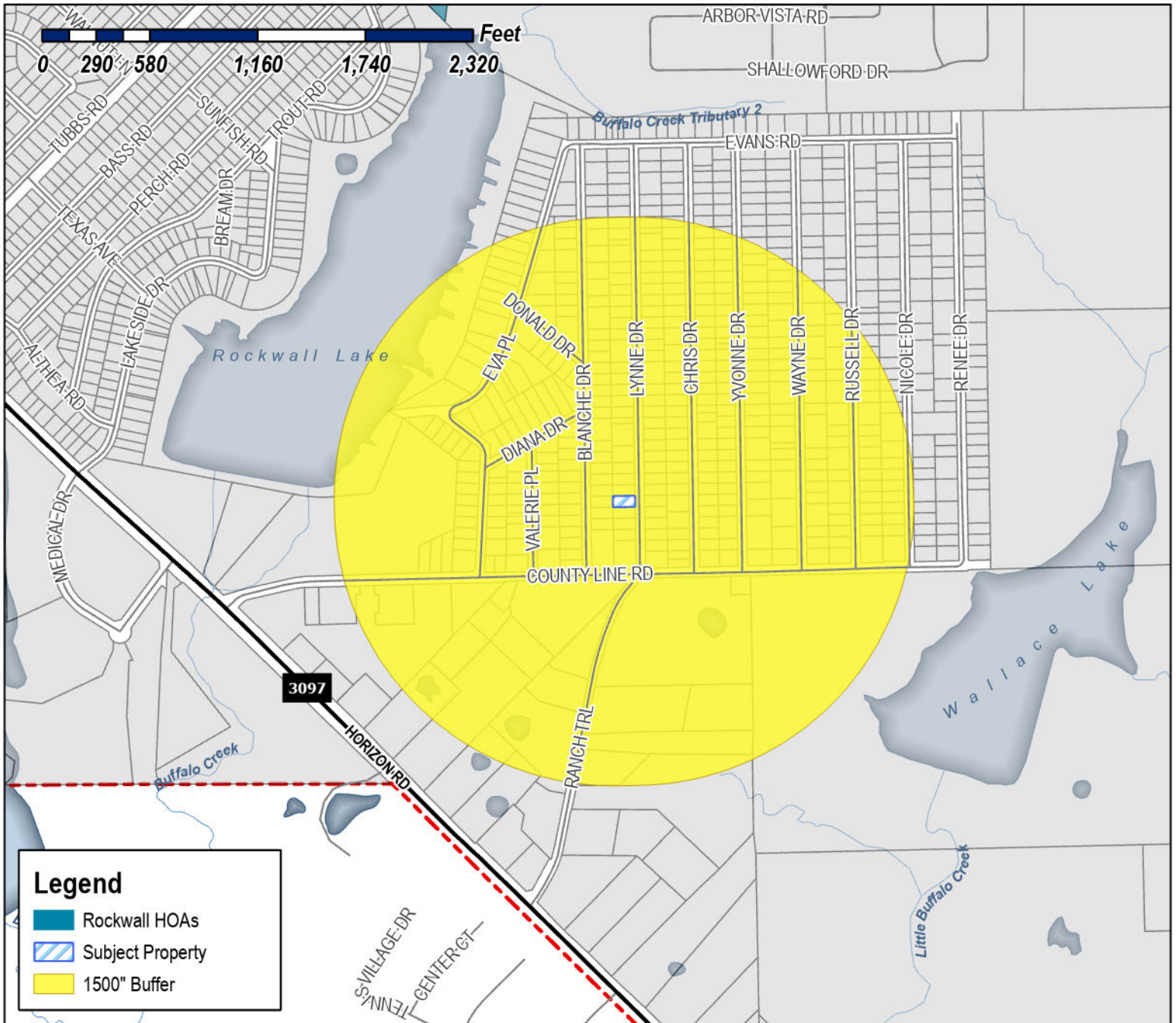




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Case Number: Z2024-045
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75
Case Address: (PD-75)
 178 Lynne Drive

Date Saved: 9/16/2024
 For Questions on this Case Call (972) 771-7745

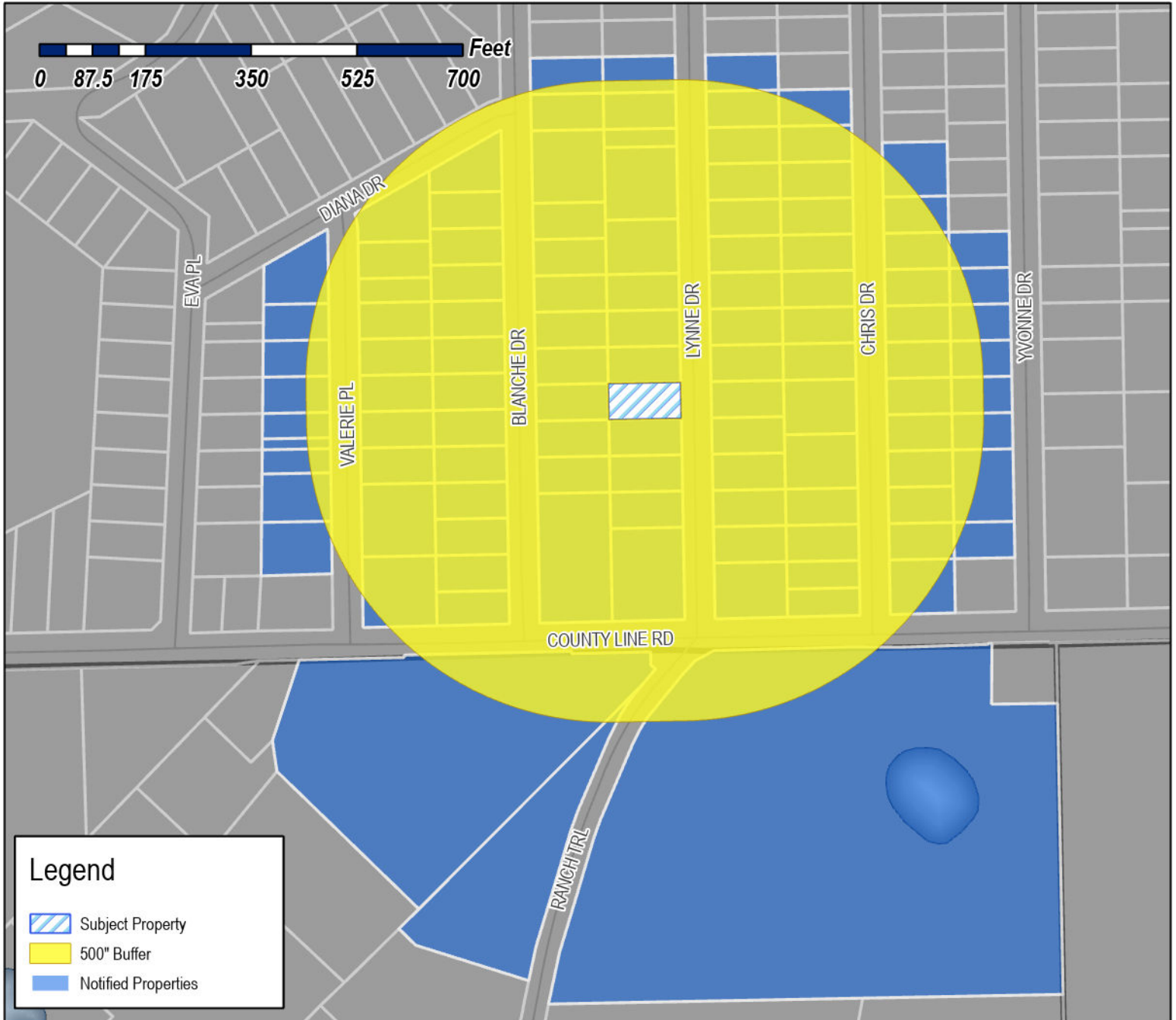




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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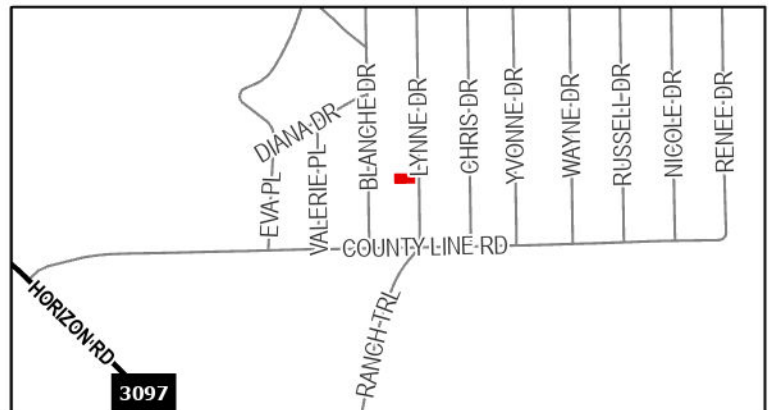
Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-045
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 178 Lynne Drive

Date Saved: 9/16/2024

For Questions on this Case Call: (972) 771-7745



RESIDENT
109 BLANCHE DR
ROCKWALL, TX 75032

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

RESIDENT
112 CHRIS DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

CANIZALES ELIDA VILLAREAL
115 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
118 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
120 BLANCHE DR
ROCKWALL, TX 75032

HPA CL1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

RESIDENT
121 LYNNE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

RESIDENT
124 LYNNE DR
ROCKWALL, TX 75032

MCDONNELL BRANDON THOMAS
124 CHRIS DRIVE
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

NORTON ANA ESTELA & MITCHELL EVERETT
NORTON
130 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
131 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
132 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
132 VALERIE PL
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

TORRES DESTINY MARY
134 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
135 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
137 VALERIE PL
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

RESIDENT
143 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
144 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
144 LYNNE DR
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

RESIDENT
149 VALERIE PL
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
150 CHRIS DR
ROCKWALL, TX 75032

LUU LONG MINH AND THUC-UYEN THI LE AND
DUY THANH PHAM
154 LYNNE DR
ROCKWALL, TX 75032

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
157 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
159 CHRIS DR
ROCKWALL, TX 75032

TEPOX FABIOLA DOMINGUEZ
159 VALERIE PL
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

VARGAS RICARDO
163 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

RESIDENT
168 VALERIE PL
ROCKWALL, TX 75032

ZALOMANTE LLC
1690 LYNN LN
LUCAS, TX 75002

COLIN JOSE ENRIQUE OSORNIO
171 CRAWFORD LN
ROYSE CITY, TX 75189

RESIDENT
172 VALERIE PL
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
174 SUNRAY CREEK DR
KATY, TX 77493

RESIDENT
175 VALERIE PL
ROCKWALL, TX 75032

CASTANEDA NOE A
175 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
178 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
178 VALERIE PL
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
179 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
180 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
185 BLANCHE DR
ROCKWALL, TX 75032

ESQUIVEL ZAIDA
186 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
187 VALERIE PL
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

ALVAREZ FRANCISCO J
190 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
190 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
192 LYNNE DR
ROCKWALL, TX 75032

JIMENEZ HERIBERTO FERRER AND
192 VALERIE PLACE
ROCKWALL, TX 75032

RESIDENT
193 CHRIS DR
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
196 CHRIS DR
ROCKWALL, TX 75032

MELENDEZ HOPE
199 DIANA DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PLACE
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
2 BROWNWOOD
LONGVIEW, TX 75602

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

TOVAR JUAN GABRIEL
202 VALERIE PLACE
ROCKWALL, TX 75032

RESIDENT
203 CHRIS DR
ROCKWALL, TX 75032

UNDERWOOD TAMMY M AND
CAITLIN A DAVIS-WILSON
203 LYNNE DRIVE
ROCKWALL, TX 75032

RESIDENT
204 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
204 YVONNE DR
ROCKWALL, TX 75032

TORRES JAIME AND BERNICE
204 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
209 VALERIE PL
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
210 YVONNE DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

CRUZ IGNACIO
212 LYNNE DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX 75032

RICO RUIZ CARLOS AND MARIA
212 VALERIE PL
ROCKWALL, TX 75032

BALDERAS JOSE C GARCIA & ERIKA MARTINEZ
PEREZ
213 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
214 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
215 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
216 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
219 BLANCHE DR
ROCKWALL, TX 75032

RUIZ JOSE C
219 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

MAZARIEGOS ROMULO AND ESTELA
224 YVONNE DR
ROCKWALL, TX 75032

CASTILLO CELIA GURRUSQUIETA
225 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
226 BLANCHE DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

GUTIERREZ JOSE G & ANGELA A
229 BLANCHE DR
ROCKWALL, TX 75032

SCHULKE VANESSA AND ANTHONY FRESQUEZ
229 VALERIE PL
ROCKWALL, TX 75032

YANEZ MARIA TERESA
230 CHRIS DR
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNN DRIVE
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
234 BLANCHE DR
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

RODRIGUEZ ALMA R
242 CHRIS DRIVE
ROCKWALL, TX 75032

RESIDENT
247 BLANCHE DR
ROCKWALL, TX 75032

GUARDIOLA GUADALUPE J
247 CHRIS DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
254 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
262 CHRIS DR
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
265 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
266 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
273 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
276 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
281 BLANCHE DR
ROCKWALL, TX 75032

RESIDENT
283 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
288 LYNNE DR
ROCKWALL, TX 75032

FRANCO RODOLFO &
CARMEN FRANCO
291 SMITH ACRES DR
ROYSE CITY, TX 75189

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

RANCH TRAIL VENTURES LLC
315 RANCH TRAIL
ROCKWALL, TX 75032

MAZARIEGOS EDGAR & SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
382 RANCH TRL
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CARMONA JOSE ROBERTO &
397 CHRIS DR
ROCKWALL, TX 75032

RESIDENT
405 RANCH TRL
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
4100 ANDYS LANE
PARKER, TX 75002

RENOVATION SPECIALIST LLC
411 CHRIST DRIVE
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

CORDOVA JUAN JOSE RANGEL
4427 FM 550
ROYSE CITY, TX 75189

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

RONQUILLO ALMA DELIA
444 EVA PL
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

RESIDENT
505 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

GARCIA MARTIN
590 SUN VALLEY DR
ROYSE CITY, TX 75189

FLORES DAYANARA &
611 MEADOW DR
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

GUEVARA JOSE
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

GUEVARA JOSE
6938 STATE HIGHWAY 50
COMMERCE, TX 75428

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

GUEVARA CARLOS & MONICA A
802 N ALAMO RD
ROCKWALL, TX 75087

PAVON MARISOL
810 E. DOUGHERTY DR
GARLAND, TX 75041

SALAS HECTOR JABIER & CAROLINA ORTIZ
921 W YELLOWJACKET LANE APT 105
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-045: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Inocencio Barron on behalf of Ariel Palacios for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1650-acre parcel of land identified as Lot 910-A0 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District, addressed as 178 Lynne Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-045: SUP for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

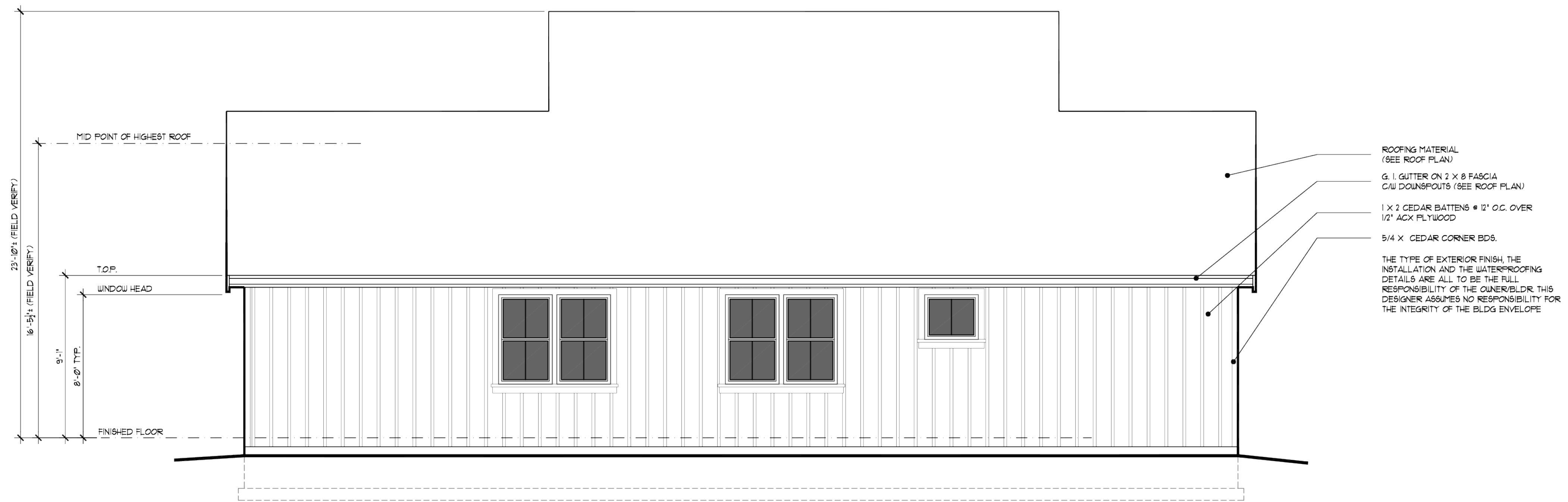
I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:
Address:

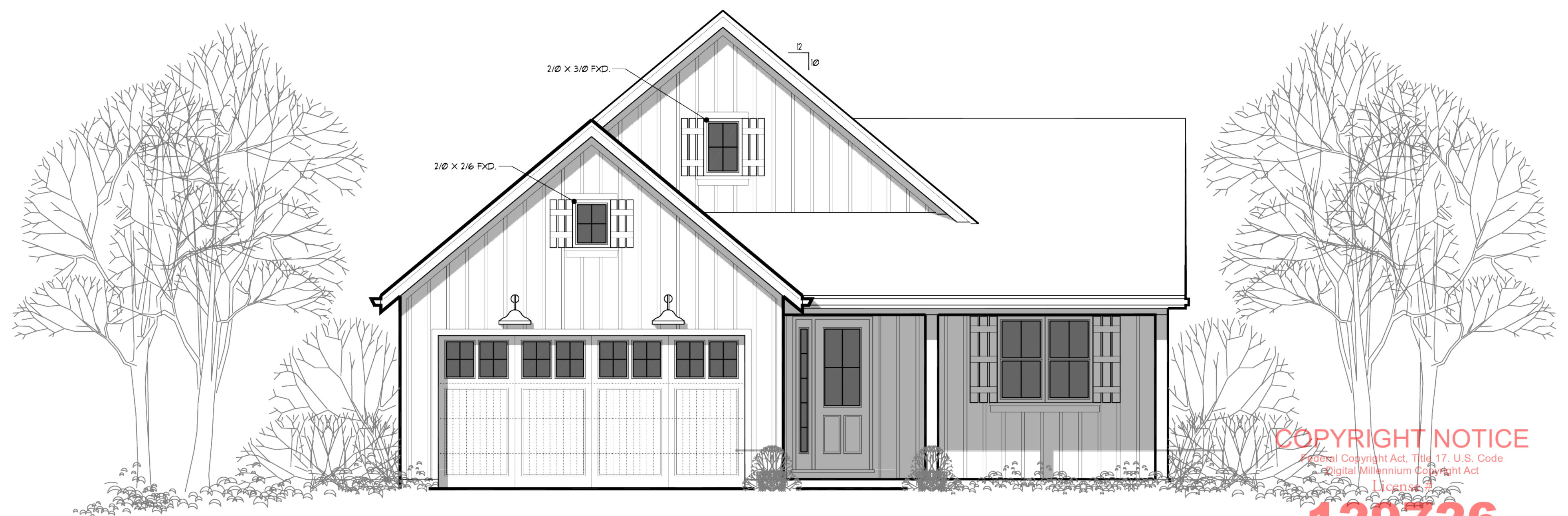
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE CORRECT INSTALLATION OF ALL EXTERIOR FINISHES AND WEATHERPROOFING.

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ROOFING MATERIAL
(SEE ROOF PLAN)

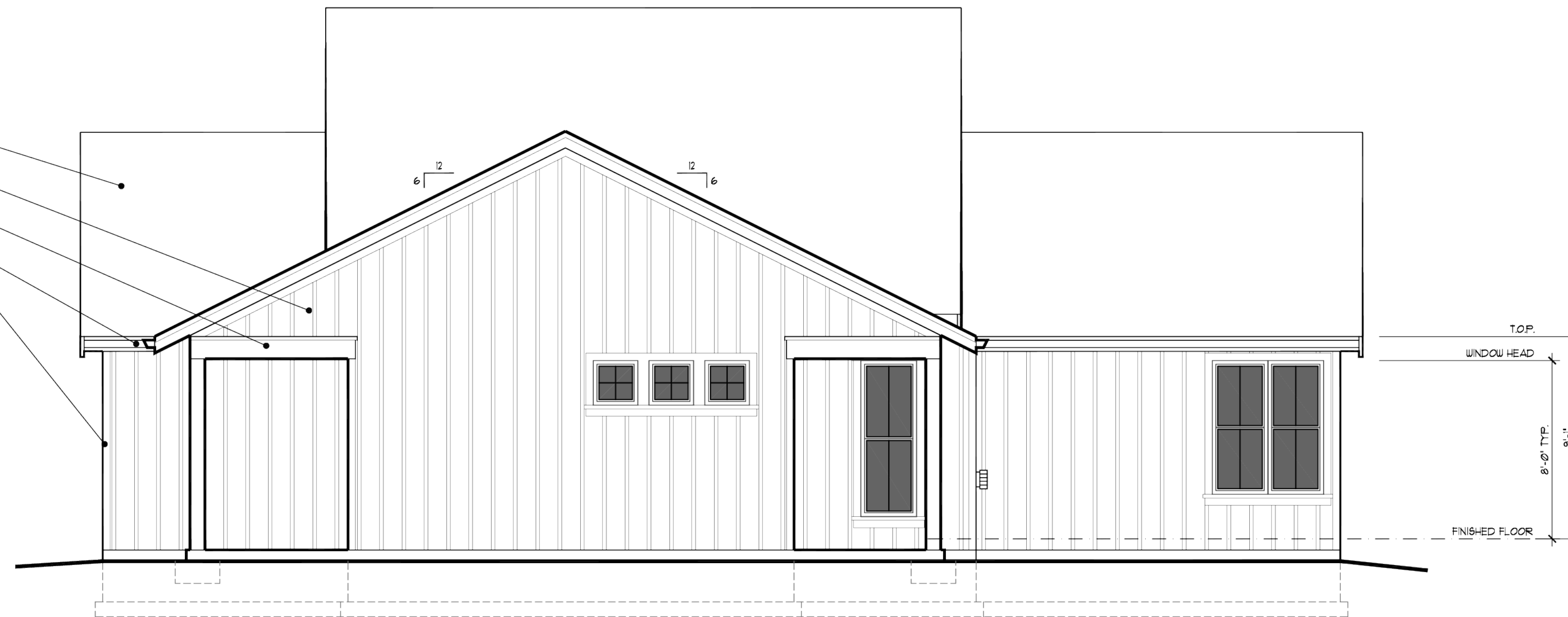
1 X 2 CEDAR BATTENS @ 12" O.C. OVER
1/2" A/CX PLYWOOD

2 X 10 R/S TRIM BD. W/ 26
GA. G.I. FLASHING

G. I. GUTTER ON 2 X 8 FASCIA
CAJ DOWNSPOUTS (SEE ROOF PLAN)

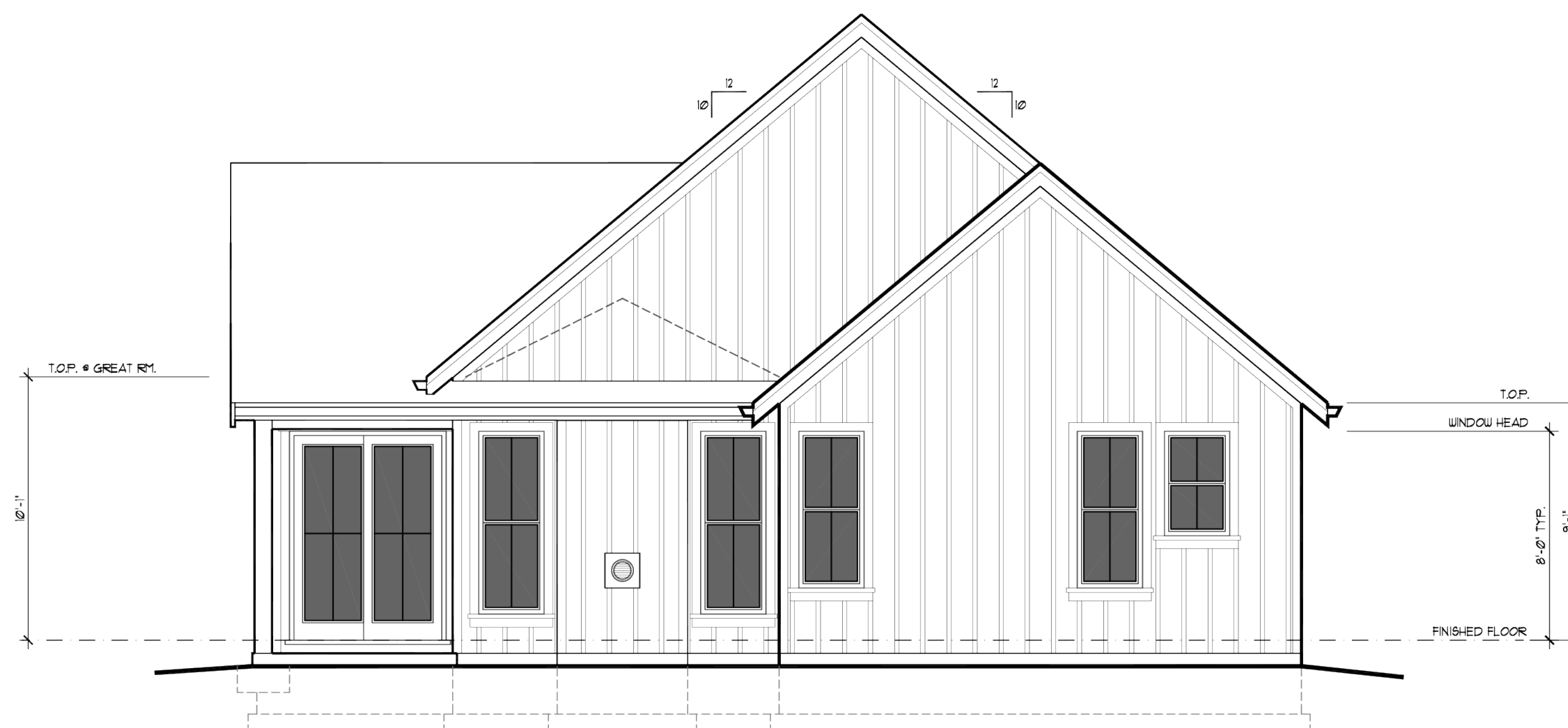
5/4 X CEDAR CORNER BDS.

THE TYPE OF EXTERIOR FINISH, THE
INSTALLATION AND THE WATERPROOFING
DETAILS ARE ALL TO BE THE FULL
RESPONSIBILITY OF THE OWNER/BUILDER. THIS
DESIGNER ASSUMES NO RESPONSIBILITY FOR
THE INTEGRITY OF THE BLDG ENVELOPE



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

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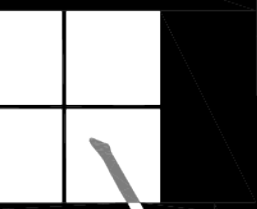
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EXTERIOR FINISHES AND WEATHERPROOFING.

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Mascord
COLLECTION

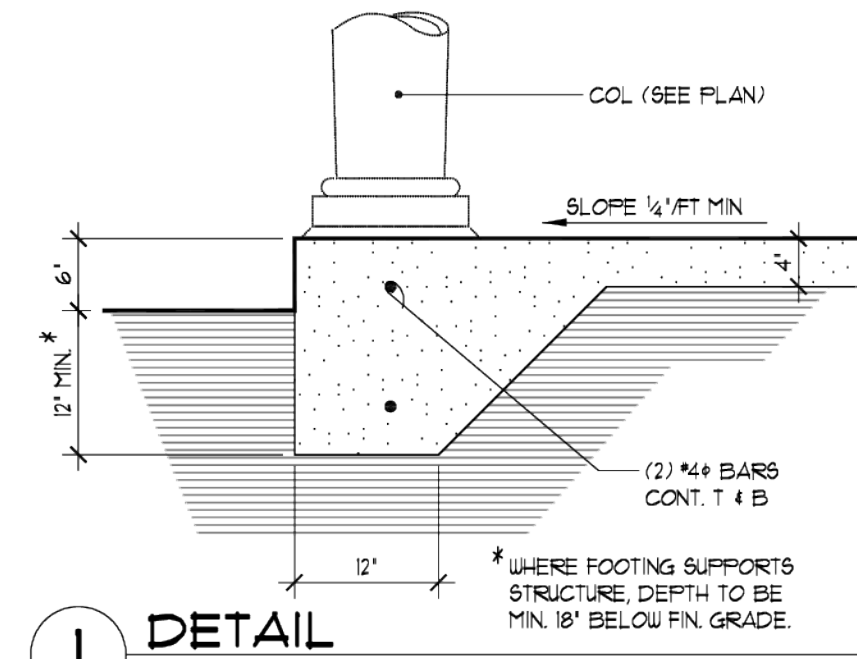
ALAN MASCORD DESIGN ASSOCIATES, INC. 11871
25th Street, Suite 100, Portland, OR 97224
503.255.3161 FAX: 503.255.3161
www.mascord.com
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11871
PROJECT MANAGER/EAS
DRAWN: 08/07/20 LAW

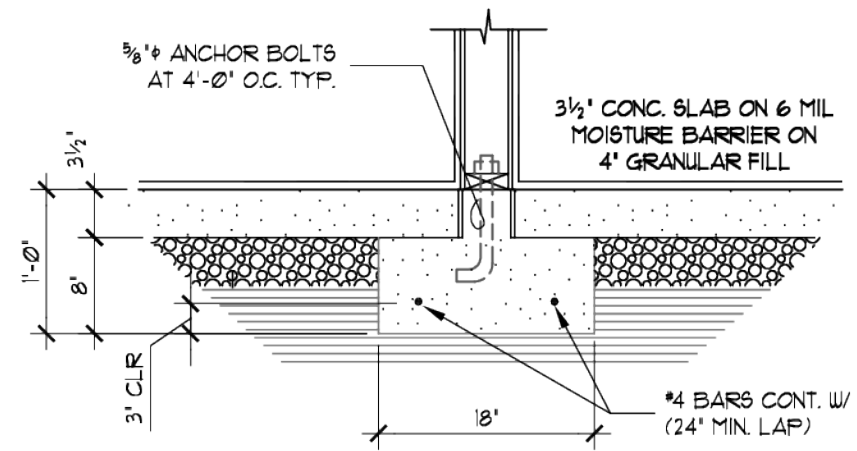
25# SNOW LOAD

MAN FLOOR	1596 SQ. FT.	1596 SQ. FT.	1596 SQ. FT.
TOTAL AREA			
GARAGE AREA			1396 SQ. FT.

1187
2



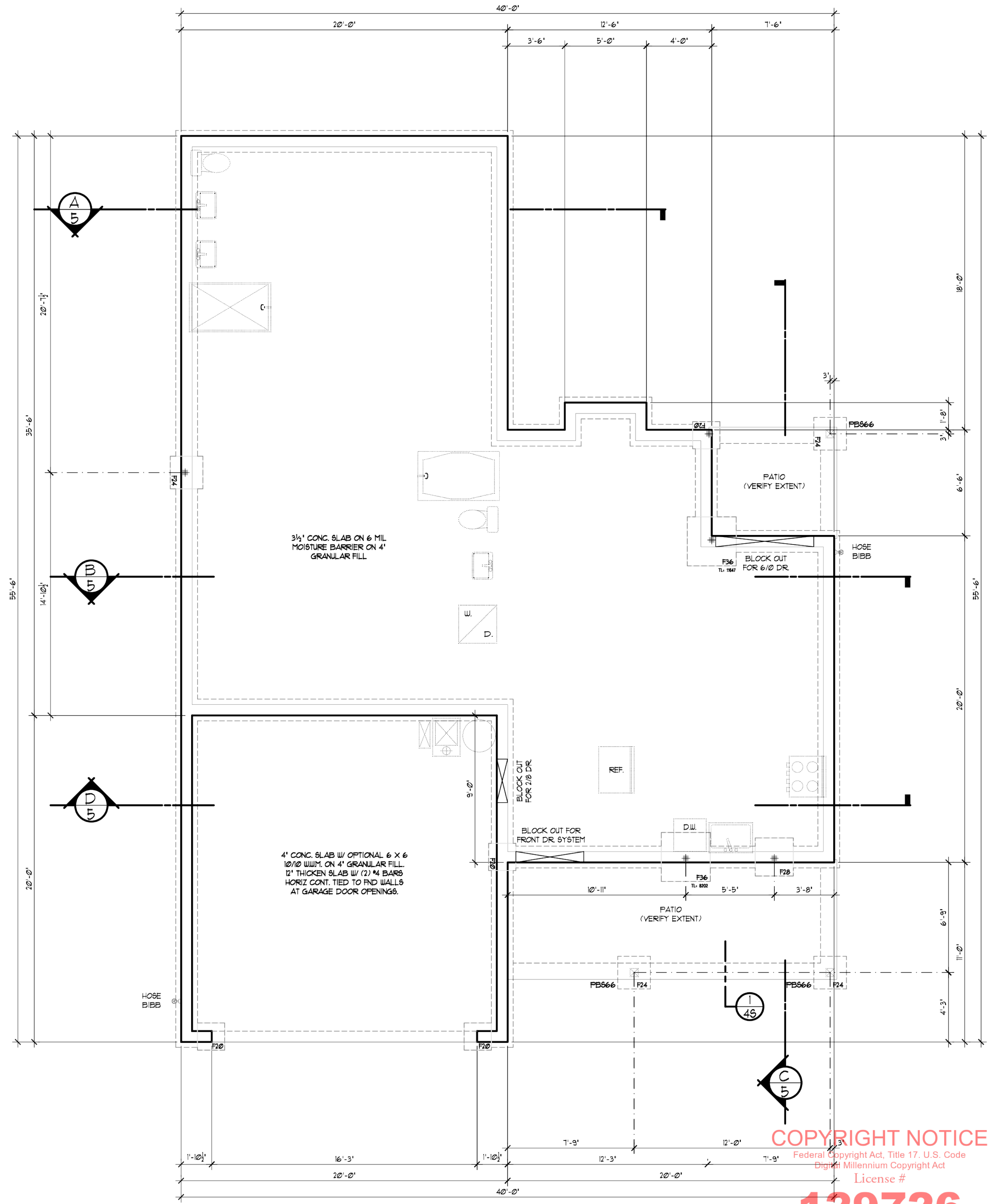
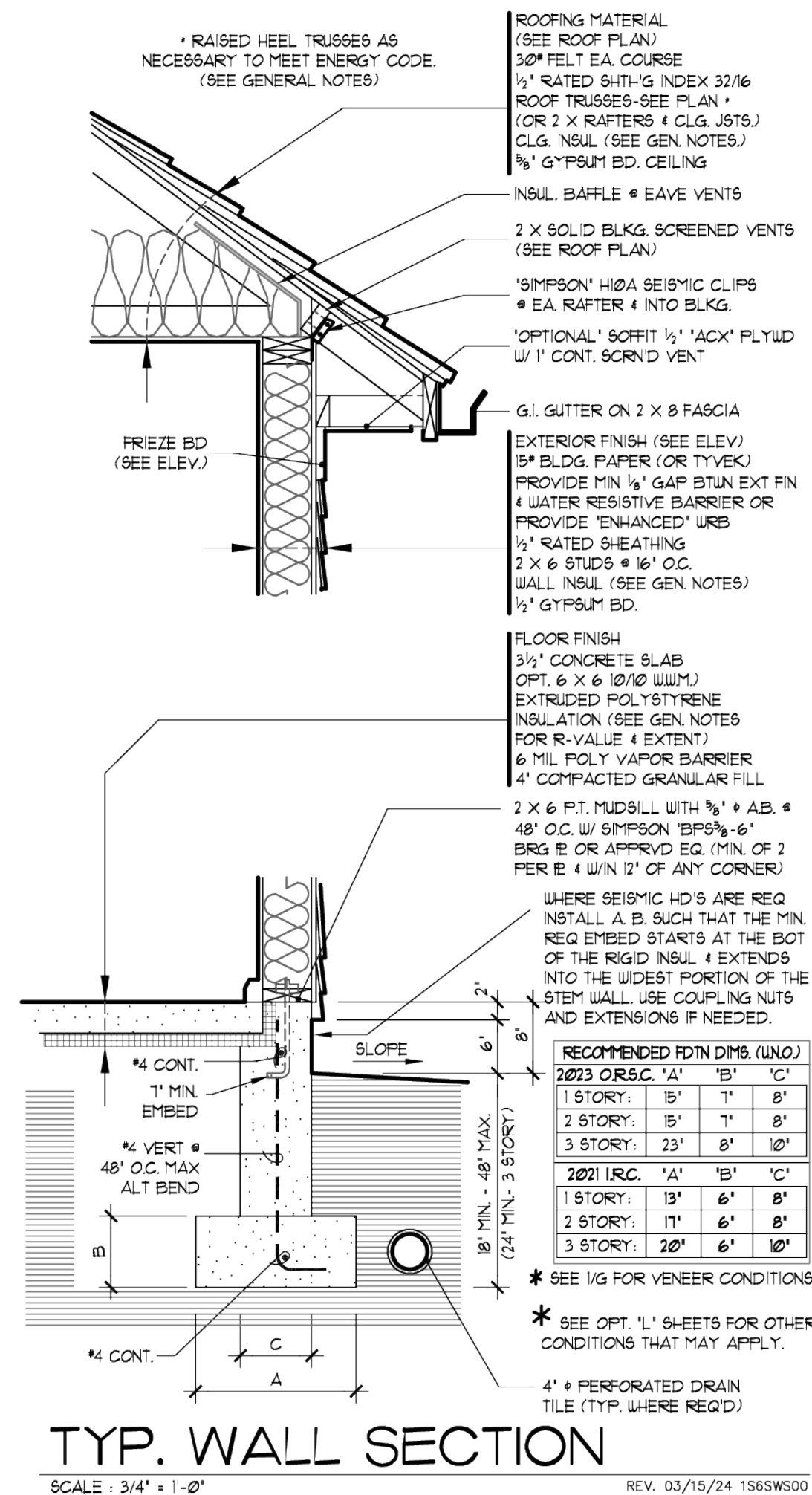
1 DETAIL
SCALE: 3/4" = 1'-0"



2 DETAIL
SCALE: 3/4" = 1'-0"

TAG	PAD SIZE	REINFORCING	MAX. BRG.
-	18" DIA. x 1'	N.A.	2,414 *
F20	20"x20"x10"	N.A.	3,819 *
F24	24"x24"x12"	N.A.	5,400 *
F28	28"x28"x14"	N.A.	7,211 *
F30	30"x30"x15"	N.A.	8,203 *
F36	36"x36"x17"	(4) #4 BARS # 1' O.C. E/W	12,073 *
F42	42"x42"x19"	(5) #4 BARS # 8' O.C. E/W	16,931 *
F48	48"x48"x21"	(6) #4 BARS # 9' O.C. E/W	21,600 *
F54	54"x54"x23"	(6) #4 BARS # 9' O.C. E/W	27,331 *
F60	60"x60"x25"	(7) #4 BARS # 9' O.C. E/W	33,150 *

ASSUMED MIN. 4x4" D.F. COLUMN (UNO. - SEE PLANS)
 * 6x6" D.F. COLUMN FOR MAX. BRG.
 ** 3 1/2"x3 1/2" FSL COLUMN FOR MAX. BRG. (OR 6x6 TO 18x21")
 *** 5 1/2"x5 1/2" FSL COLUMN FOR MAX. BRG. (SEE POST-CONN. DETAIL) SOIL B.P. 1,500 PSF



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

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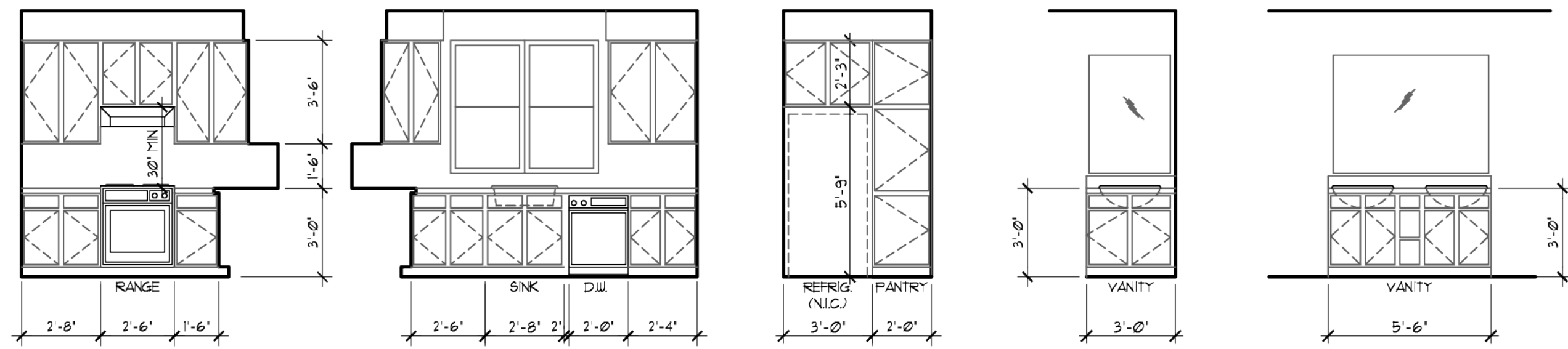
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25# SNOW LOAD

MAN FLOOR	106 SQ. FT.	106 SQ. FT.	396 SQ. FT.
TOTAL AREA	106 SQ. FT.	106 SQ. FT.	396 SQ. FT.
GARAGE AREA			

1187

4



**KITCHEN
CABINET ELEVATIONS**

SCALE: 1/4" = 1'-0"

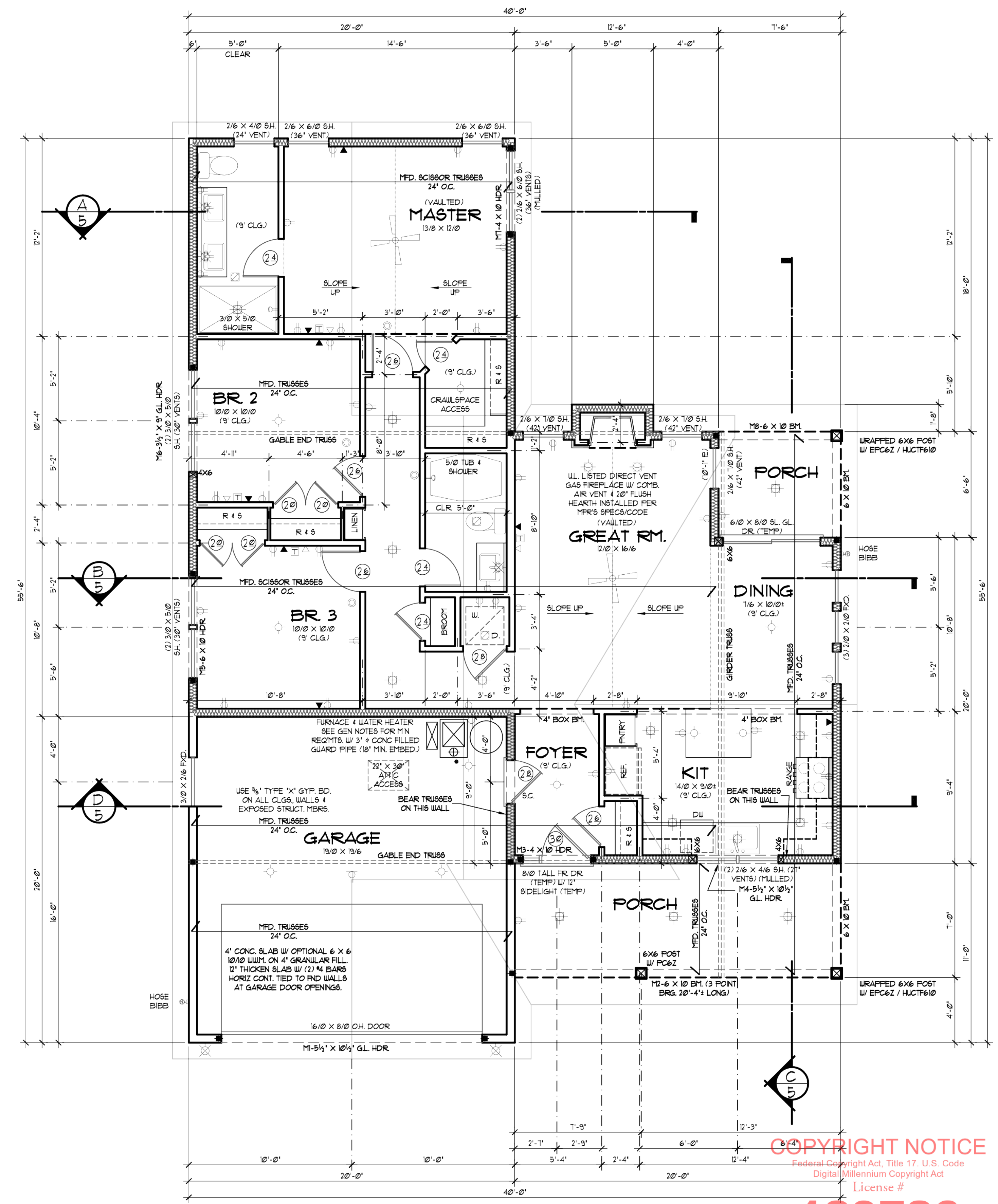
HALL BATH

MASTER BATH

- LEGEND**
- RECESSED LIGHT
 - RECESSED DIRECTIONAL LIGHT FIXTURE
 - WALL-MOUNT LIGHT
 - SURFACE-MOUNT LIGHT
 - FLOOD LIGHT
 - SURFACE MOUNTED FLUORESCENT
 - RECESSED EXHAUST FAN VENTED TO THE EXTERIOR
 - CEILING FAN
 - DUPLEX OUTLET
 - CEILING MOUNTED DUPLEX OUTLET
 - 220V OUTLET
 - FLUSH FLOOR MOUNTED OUTLET (VERIFY LOC.)
 - TELEPHONE OUTLET
 - DATA OUTLET
 - TELEVISION OUTLET
 - SPEAKER LOCATION
 - SMOKE / CO DETECTOR (SEE GENERAL NOTES FOR OTHER SPECS)
 - BEARING POINT LOCATION (PROVIDE SOLID BEARING - MIN. OF MEMBER WIDTH UNO.)
 - POINT LOAD FROM ABOVE
 - 4 X 4 POST FROM ROOF H/P, VALLEY OR RIDGE DOWN TO BEARING POINT ON WALL BELOW (MAX. OF 45' FROM VERT.)
 - BEARING WALL SUPPORTING STRUCTURE ABOVE
 - 4 X 10 HDR. # BEARING WALL INT. DOOR & OPENINGS W/ MIN (2) 2 X 4 SUPPORT EA END (UNO.)
 - DROPPED STRUCT. MEMBER BEARING # WALL
- S-FURLONG 07/18/16

- ENERGY ENVELOPE KEY**
- ▨ WALL/FUR/CLG. INSUL.
 - ▨ FOUNDATION INSUL.
- (SEE SHEET 'G' FOR INSULATION VALUES)

- CO. DET LOCATION**
- CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR WITHIN 5 FEET OUTSIDE OF EA. BEDROOM DOOR, AT EVERY FLOOR LEVEL W/ BEDROOMS. (SEE SHEET 'G' FOR ADD'L INFO)



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

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Mascord
COLLECTION

1187
3

PROJECT MANAGER/AS
DRAWN: 08/07/20 LAW

25# SNOW LOAD

MAN FLOOR	198 SQ. FT.	GARAGE AREA	396 SQ. FT.
TOTAL AREA	198 SQ. FT.		

1187
3

ROOF DESIGN NOTES

THIS ROOF HAS BEEN DESIGNED TO SUPPORT CEDAR SHAKE ROOFING MATERIALS AND COMPOSITION ROOFING OF VARIOUS TYPES. THE TABLE BELOW DESCRIBES IN DETAIL THE ASSUMPTIONS MADE IN THE DESIGN OF THE ROOF STRUCTURE OF THIS BUILDING.

ROOF LIVE LOAD (SNOW)	25.0 PSF	33.25 PSF	ACTUAL REQ'D
FRAMING MATERIALS:	2.0 PSF	6.75 PSF	SAFETY FACTOR
SHEATHING MATERIALS:	15 PSF	15 PSF	
MISC. MATERIALS:	15 PSF		
ROOFING TYPE	DRY / WET	40.0	PSF TL
MED SHAKES	2.0 / 3.25 PSF		
HVT SHAKES	3.0 / 4.0 PSF		
SHINGLES	2.0 / 3.25 PSF		
COMPOSITION	2.5 / 3.0 PSF		

GYPSUM MATERIALS: ADD 2.0 PSF FOR VAULTED AREAS (COVERED IN SAFETY FACTOR)

NOTE: HIP, VALLEYS & RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTERS (FIELD VERIFY ALL CONDITIONS)

LEGEND

- 4 X 4 WOOD POST FROM RIDGE (HIP OR VALLEY) TO WALL BELOW (MIN. 2" X 4 REQ'D AT WALL BEARING POINT) NOTE: SPLICES IN HIP & VALLEYS CAN ONLY OCCUR @ POST DOWN LOCATIONS
- 49 SQ. IN. ROOF VENTS (SEE VENT TABLE FOR QTY. - 50%/50% SHOWN)
- 2X4 FURLIN WALL TO BM. OR WALL BELOW (FRAM'G AT 24" O.C.)
- SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW
- DOWNSPOUTS

COMP/SHAKE ROOF

MAXIMUM SPANS PER 2004 WUPA TEL. R.R.-28
D.F. L/240
25' LL & 18' DL

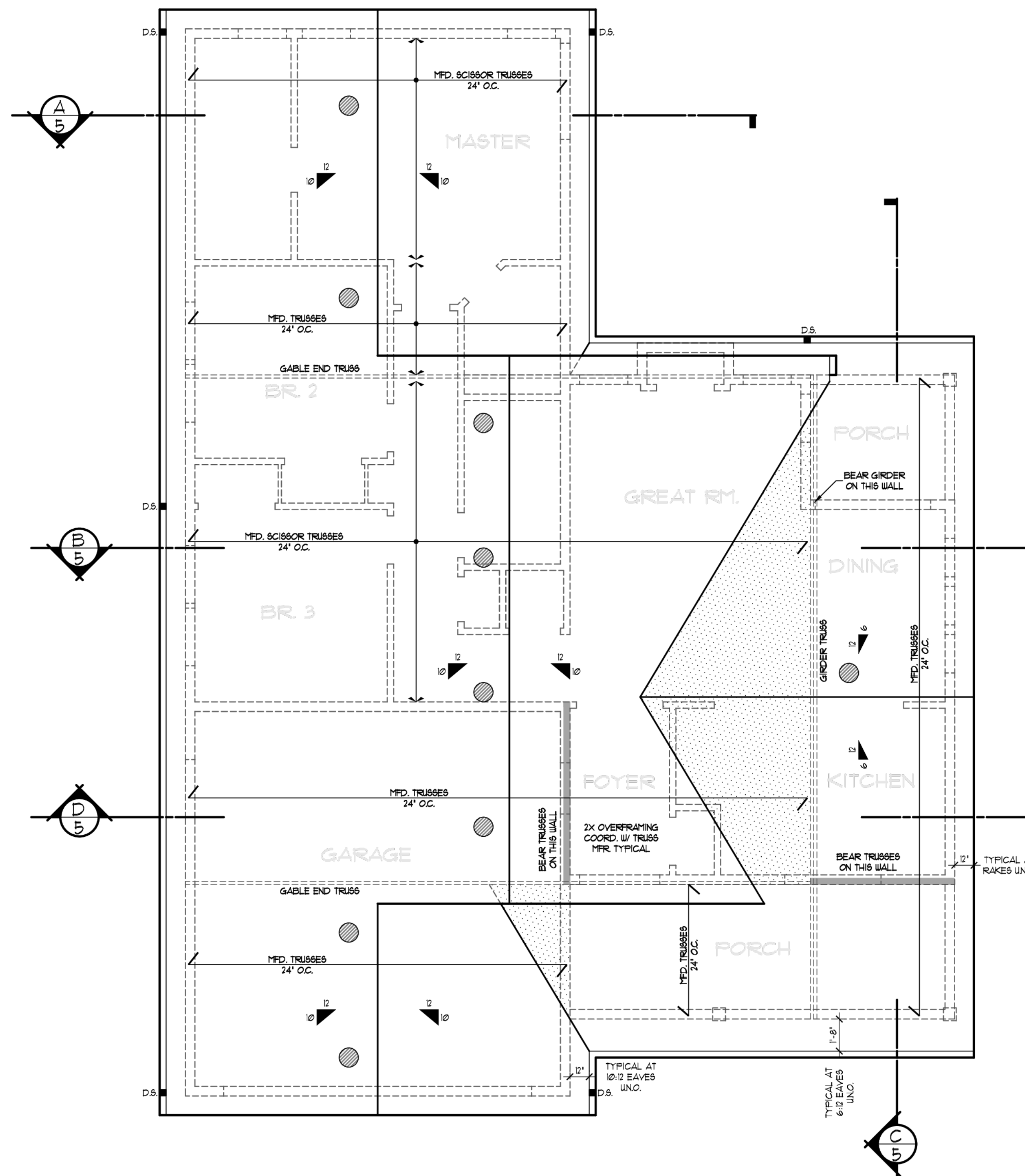
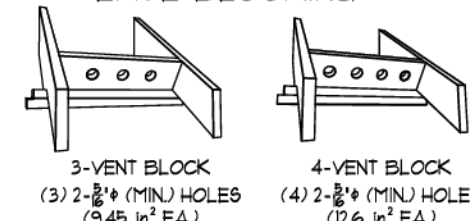
SIZE	SPACING	SPAN
2X6	12' O.C. 16' O.C. 24' O.C.	14'-0" 12'-1" 9'-10"
2X8	12' O.C. 16' O.C. 24' O.C.	17'-8" 15'-4" 12'-6"
2X10	12' O.C. 16' O.C. 24' O.C.	21'-1" 18'-9" 15'-3"
2X12	12' O.C. 16' O.C. 24' O.C.	25'-1" 21'-8" 17'-9"

ROOF VENTS

ROOF AREA (ft ²) x 1180		EAVE-BLOCK'G		ROOF VENTS	
% EAVE	AREA (ft ²)	% ROOF	AREA (ft ²)	3-VENT	4-VENT
60	572.6	40	341.8	54	41
56.7	484.4	43.3	370.0	51	39
53.3	455.4	46.7	399.0	48	36
50	427.2	50	427.2	45	34

PER 2004 IBC - 806.2 THE MIN NET FREE VENTILATING AREA SHALL BE 1/80 OF THE AREA OF THE VENTED SPACE.
EXCEPTION: THE MIN NET FREE VENTILATING AREA SHALL BE 1/60 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
1. CLIMATE ZONES 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

EAVE BLOCKING



ROOF PLAN TO BE VERIFIED W/ TRUSS LAYOUT AND DESIGN BY TRUSS MFR. SEE LAYOUT, TRUSS DRAWINGS AND ENGINEERING, BY MFR, FOR ADDITIONAL SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

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Federal Copyright Act, Title 17, U.S. Code
Digital Millennium Copyright Act
License #

129726

ROOF FRAMING PLAN

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

SCALE: 1/4" = 1'-0"

THIS PLAN IS LICENSED FOR THE PURPOSES RELATED TO THE CONSTRUCTION OF A SINGLE RESIDENCE. THIS LICENSE CANNOT BE TRANSFERRED. UNAUTHORIZED REPRODUCTION OR USAGE OF THESE DOCUMENTS OR REMOVAL OF THIS NOTIFICATION IS SUBJECT TO PROSECUTION.

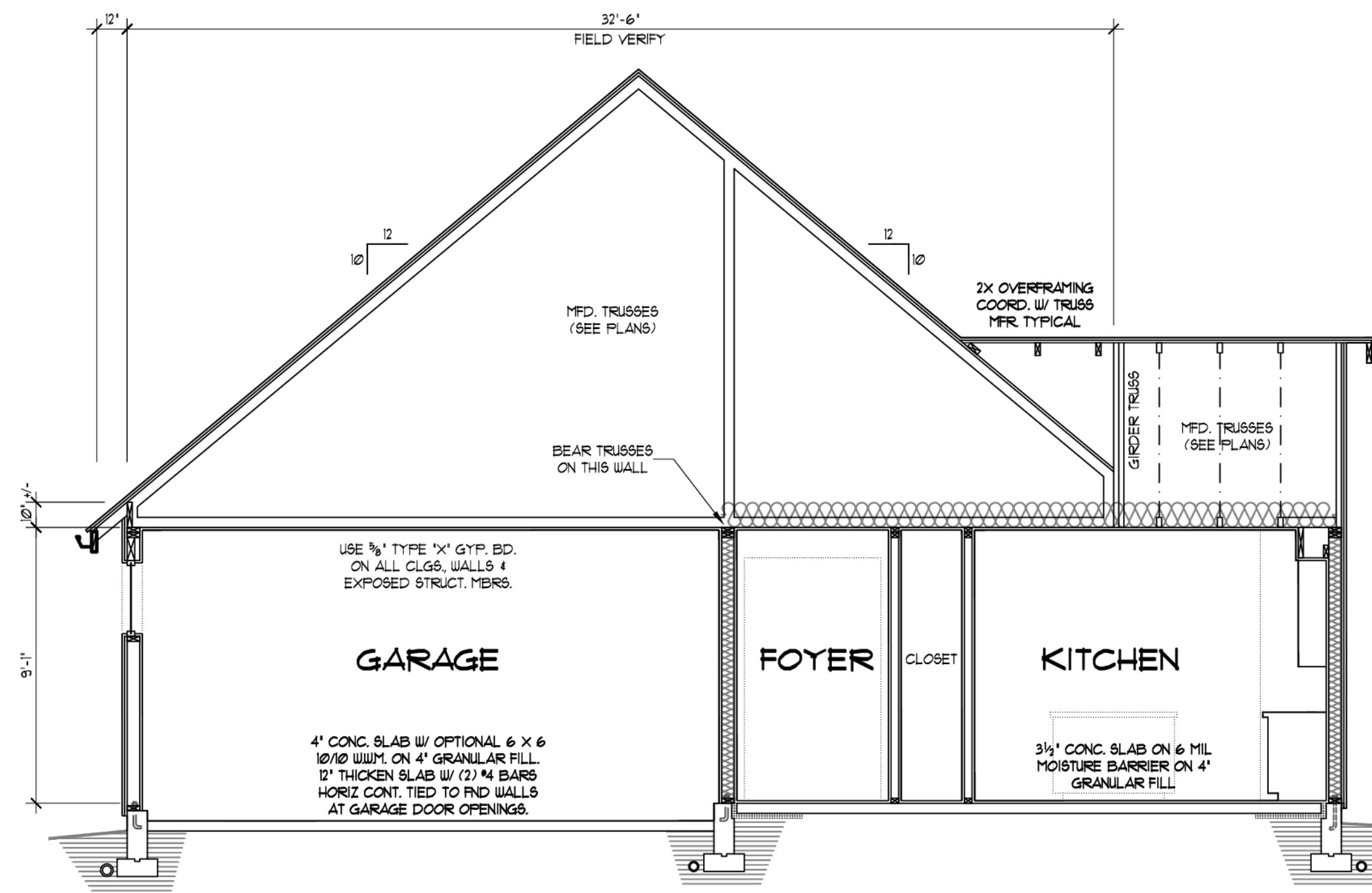


PROJECT MANAGER/AS
DRAWN 08/07/20 LAW

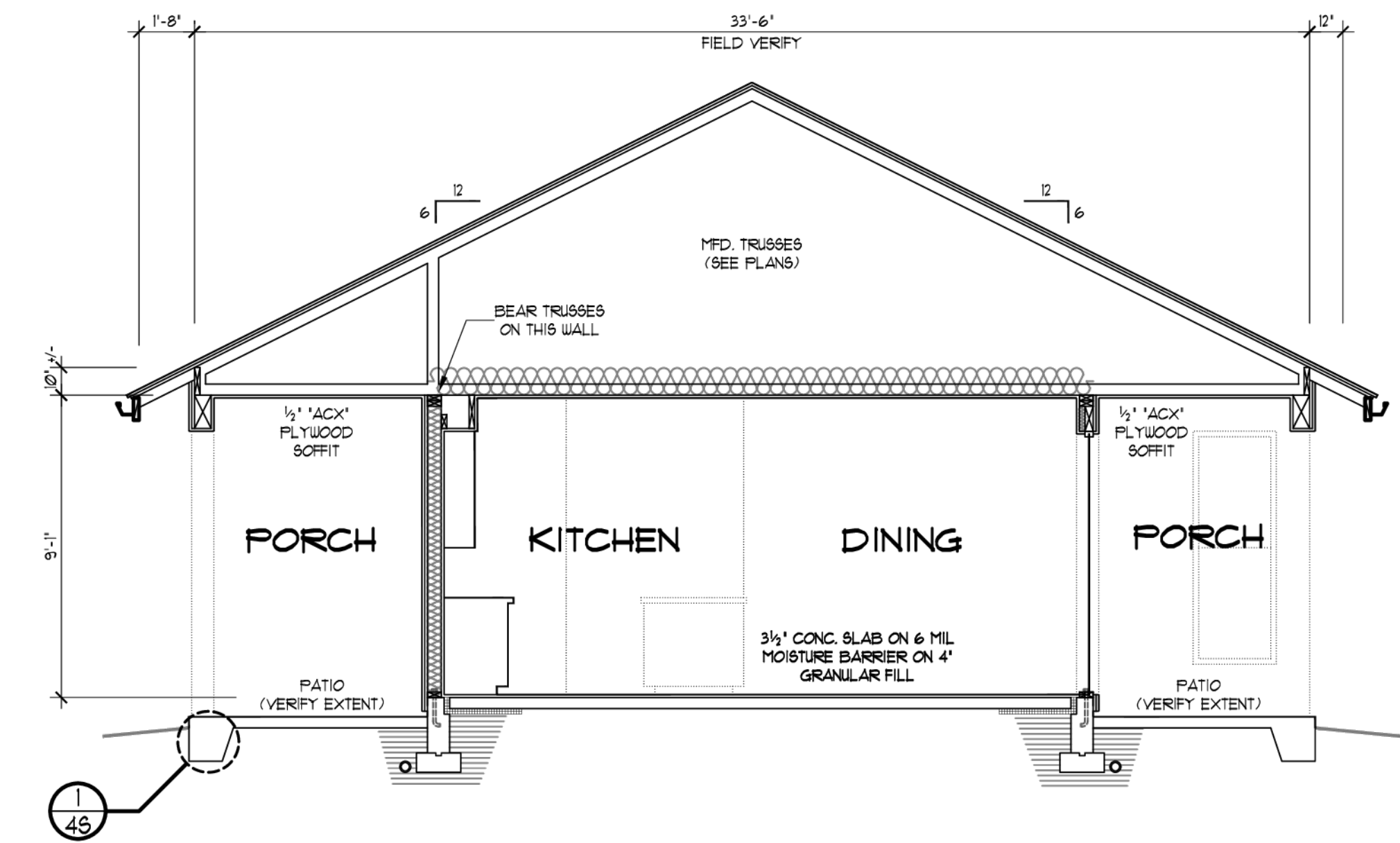
25# SNOW LOAD

MAIN FLOOR	1196 SQ. FT.
TOTAL AREA	1196 SQ. FT.
GARAGE AREA	396 SQ. FT.

1187
6

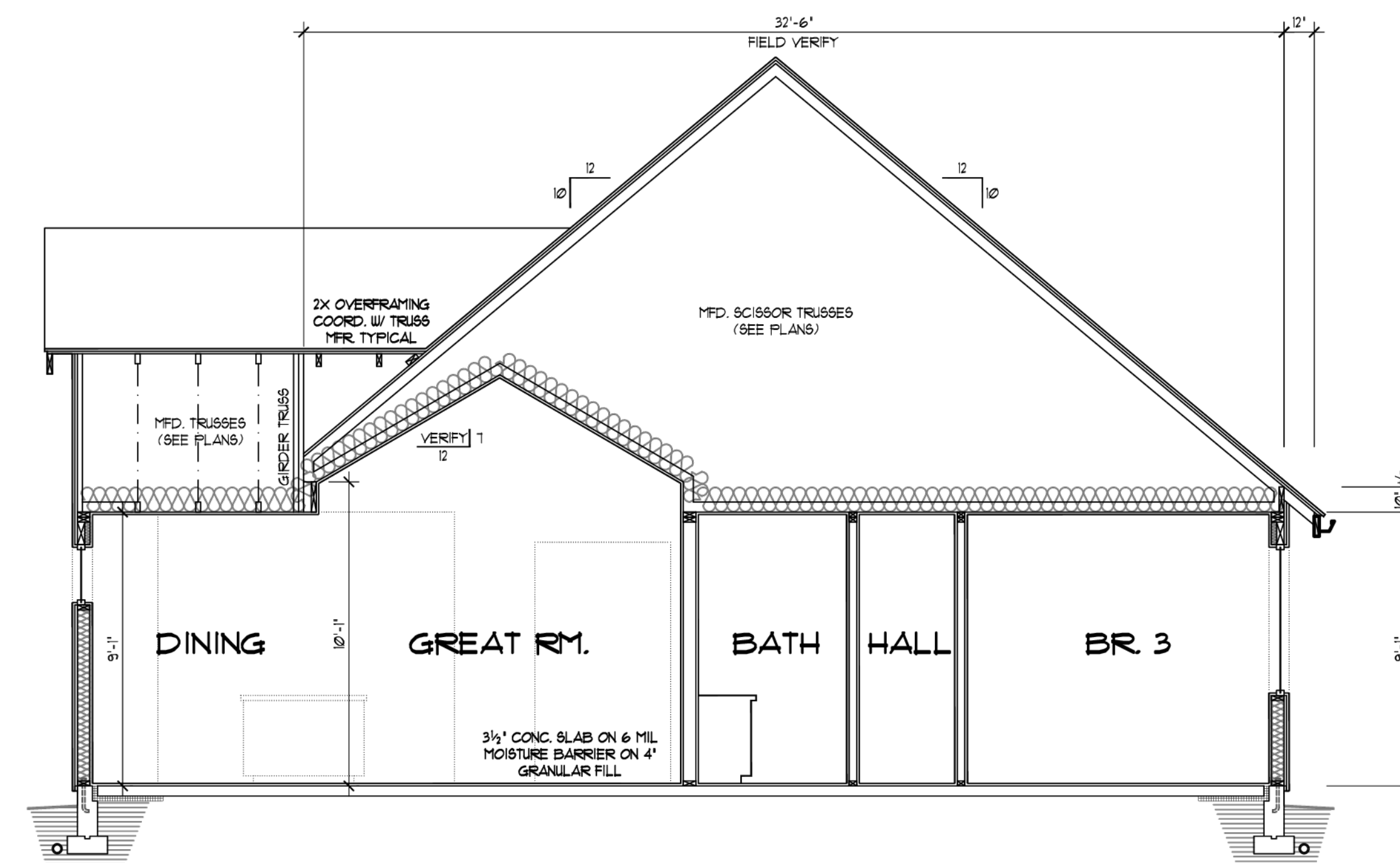


D BUILDING SECTION
SCALE: 1/4" = 1'-0"

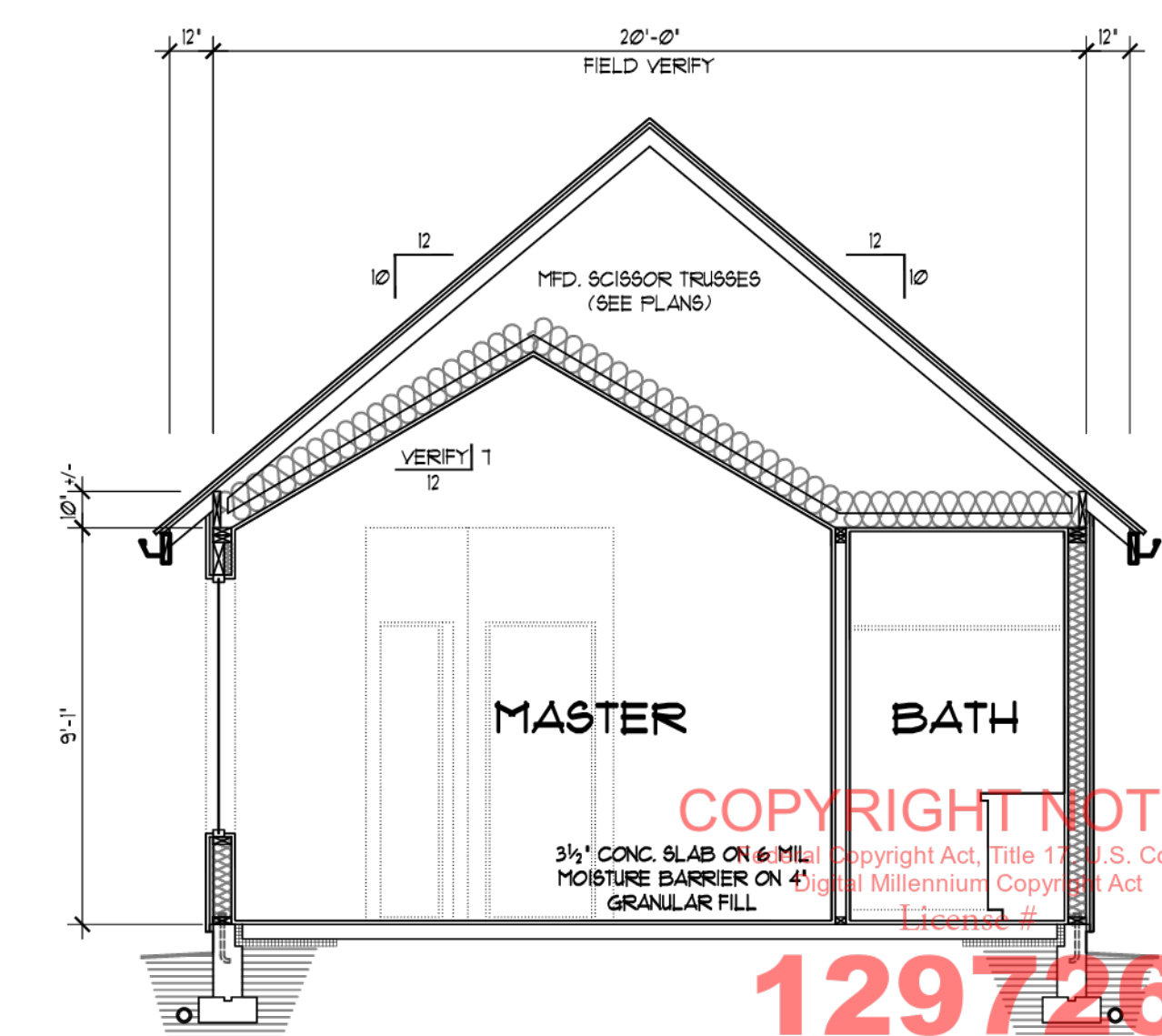


C BUILDING SECTION
SCALE: 1/4" = 1'-0"

ENERGY ENVELOPE KEY	
	WALL, FLOOR, CEILING INSUL.
	FOUNDATION INSUL.
(SEE SHEET 'G' FOR INSULATION VALUES)	



B BUILDING SECTION
SCALE: 1/4" = 1'-0"



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

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129726

Mascord COLLECTION

ALAN MASCORD DESIGN ASSOCIATES, INC.
245 NW 105th St., Suite 100, Portland, OR 97228-3981, FAX: 503/941-0101
WWW.MASCORDDESIGN.COM

PROJECT MANAGER
DRAWN 08/07/20 LAW

25# SNOW LOAD	
MAIN FLOOR	196 SQ. FT.
TOTAL AREA	196 SQ. FT.
GARAGE AREA	396 SQ. FT.

1187
5

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 910-A0 OF THE ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS the City Council has received a request from [redacted] for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the construction of a single-family home on a 0.1650-acre parcel of land identified as Lot 910-A0 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas; and more specifically described and depicted in Exhibit 'A' of this ordinance; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas;

WHEREAS the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas;

NOW, THEREFORE BE IT ORDAINED that the City Council of the City of Rockwall, Texas, do hereby enact and pass the following ordinance:

SECTION 1. That the City Council of the City of Rockwall, Texas, do hereby amend Ordinance No. 16-01 and Ordinance No. 20-02 of the City of Rockwall, Texas, to grant a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the construction of a single-family home on the subject property as described in Exhibit 'A' of this ordinance; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas; and the City Council has determined that the construction of a single-family home on the subject property is in the best interests of the City of Rockwall, Texas;

Ordinance No. _____ of the City of Rockwall, Texas, is hereby adopted and approved by the City Council of the City of Rockwall, Texas, this _____ day of _____, 2024.

SECTION 7. To amend Ordinance No. _____ of the City of Rockwall, Texas, to read as follows:

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4th DAY OF NOVEMBER, 2024.

Mayor

ATTEST:

City Secretary

APPROVED AS TO FORM:

City Attorney

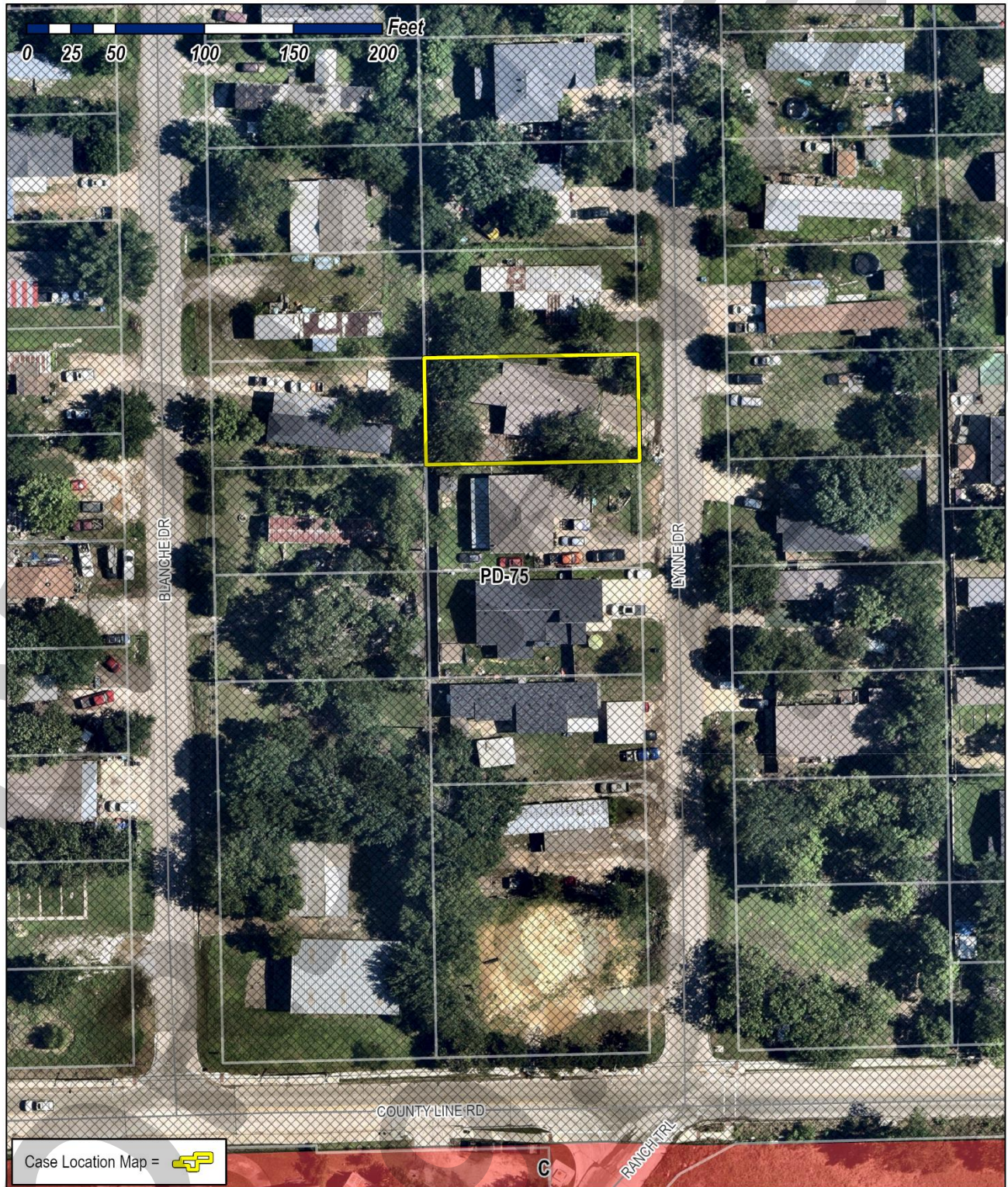
1st Reading: October 21, 2024

2nd Reading: November 4, 2024

Exhibit 'A':
Location Map

Address: 178 Lynne Drive

Legal Description: Lot 910-A of the Rockwall Lake Estates #2 Addition



Z2024-04 SUP 178 Lynne Drive
Ord N24-XX SUP S-3XX

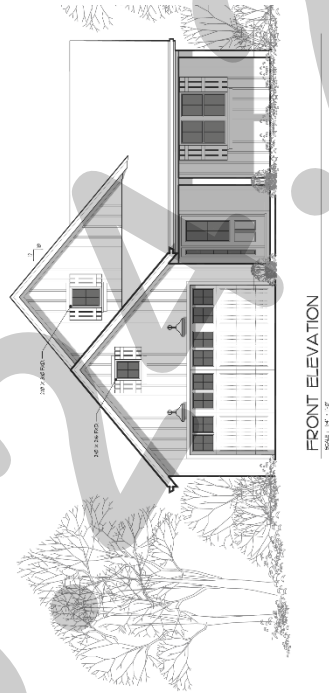
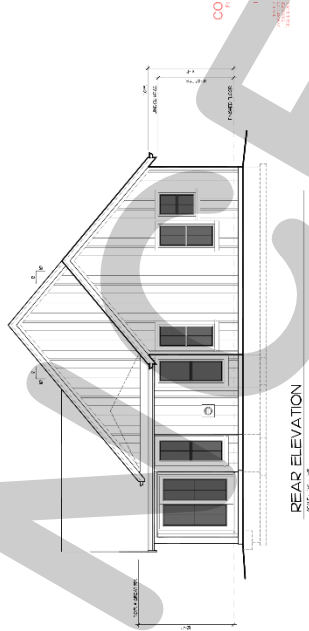
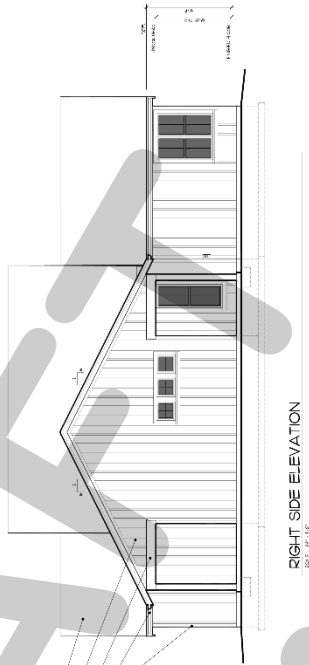
P 4

City of Rockwall, Texas

Exhibit 'B':
Residential Plot Plan

DRAFT
ORDINANCE
09.24.2024

**Exhibit 'C':
Building Elevations**



NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE AS SHOWN.
3. MATERIALS TO BE AS SHOWN.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS, SPECIFICATIONS FOR CONSTRUCTION.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS, SPECIFICATIONS FOR CONSTRUCTION.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/18/2024

PROJECT NUMBER: Z2024-046
PROJECT NAME: SUP for a Short Term Rental
SITE ADDRESS/LOCATIONS: 108 RELIANCE CT

CASE CAPTION: Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 108 Reliance Court, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	09/18/2024	Approved w/ Comments

09/18/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 108 Reliance Court.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2024-046) in the lower right-hand corner of all pages on future submittals.

I.4 According to Article 13, Definitions, of the Unified Development Code (UDC), Short Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) is defined as, "A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property."

I.5 According to Article 04, Permissible Uses, of the Unified Development Code (UDC), the following conditional land use standards apply to the proposed use, [i.e. Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex)]:

(A) Short-Term Rentals that are Non-Owner-Occupied shall not be located within 1,000-feet of another Short-Term Rental that is Non-Owner Occupied; however, Short Term Rentals that were in existence prior to April 1, 2024 that [1] meet the criteria established in Subsection 06.05, Non-Conforming Short-Term Rentals, of Article 04, Permissible Uses, of the Unified Development Code (UDC), and [2] received a valid permit and registration -- in accordance with Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances -- prior to July 1, 2024 shall be exempted from the proximity requirements.

(B) Short-Term Rentals that are Non-Owner-Occupied that do not meet proximity requirements may be considered on a case-by-case basis by the Planning and Zoning Commission and City Council through a Specific Use Permit (SUP). In considering a Specific Use Permit (SUP) for a Short-Term Rental that is Non-Owner-Occupied the Planning and Zoning Commission and City Council shall consider the size, location, and impact of the proposed and existing Short-Term Rentals on the adjacent residential properties and their occupants.

(C) The Short-Term Rental shall not incorporate accessory land uses that are not permitted within the underlying zoning district (e.g. Banquet Facility/Event Hall which includes meeting halls and wedding venues) as stipulated by the Permissible Use Charts contained within Article 04, Permissible Uses, of the Unified Development Code (UDC).

(D) In order to establish and operate a Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) in the City of Rockwall, a permit and registration shall be required in accordance with the requirements of Article 2, Short-Term Rentals, of Chapter 13, Rental Housing, of the Municipal Code of Ordinances.

I.6 In accordance with item I.5(B) above, the Specific Use Permit (SUP) is required due to the proposed Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) being unable to meet item I.5(A) above. In this case, the proposed Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex) is 950.00-feet from an existing and permitted Short-Term Rental (Non-Owner-Occupied Single-Family Home, Townhome, or Duplex).

M.7 Please provide an insurance policy that provides \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00. [Section 13-25, Permit and Registration Requirement, of Article 2, Short-Term Rentals, of Chapter 13, Municipal Code of Ordinances]

M.8 Review the attached draft ordinance prior to the September 24, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by October 1, 2024.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 15, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 24, 2024.

I.10 The projected City Council meeting dates for this case will be October 21, 2024 (1st Reading) and November 4, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	N/A
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/16/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/13/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved w/ Comments
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 108 Reliance Court, Rockwall, TX 75032

SUBDIVISION Chandlers Landing

LOT

25-R

BLOCK

A

GENERAL LOCATION from the Chandlers main entrance, turn right OR left and go exactly 1 mile to Reliance Court

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING residential

CURRENT USE residential

PROPOSED ZONING short-term rental

PROPOSED USE short-term rental

ACREAGE .411 acres

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Carl Sanford (Sandy) Petersen and Wendy Petersen

APPLICANT

CONTACT PERSON Wendy Petersen

CONTACT PERSON

ADDRESS 2880 Chippewa Way

ADDRESS

CITY, STATE & ZIP Provo, UT 84604-4349

CITY, STATE & ZIP

PHONE 214-675-4142

PHONE

E-MAIL wendyhp55@gmail.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

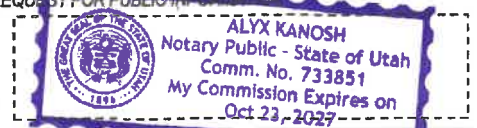
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Wendy Petersen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6th DAY OF September 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6 DAY OF September 2024

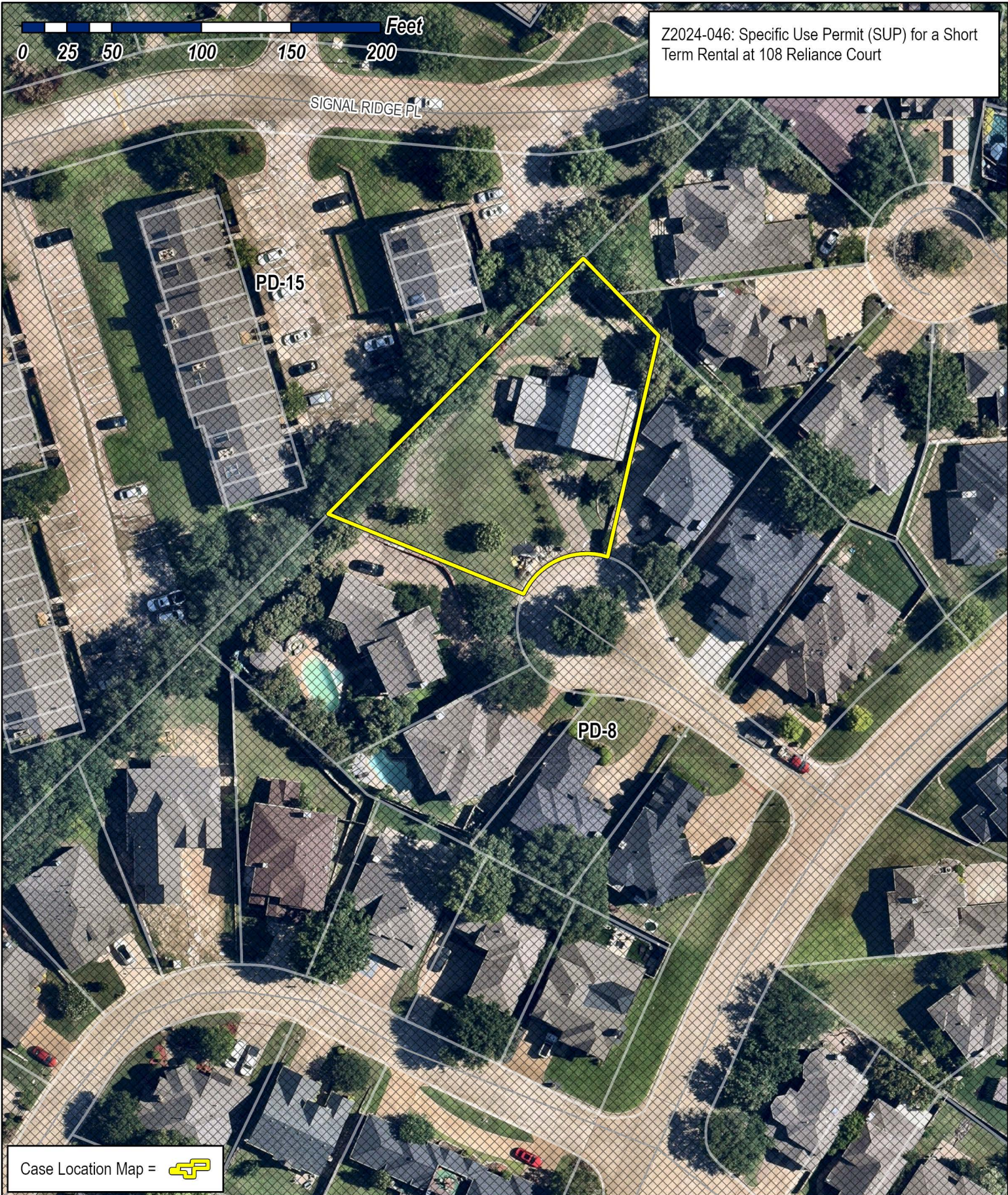
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF Utah



MY COMMISSION EXPIRES

Oct. 23, 2027



Z2024-046: Specific Use Permit (SUP) for a Short Term Rental at 108 Reliance Court



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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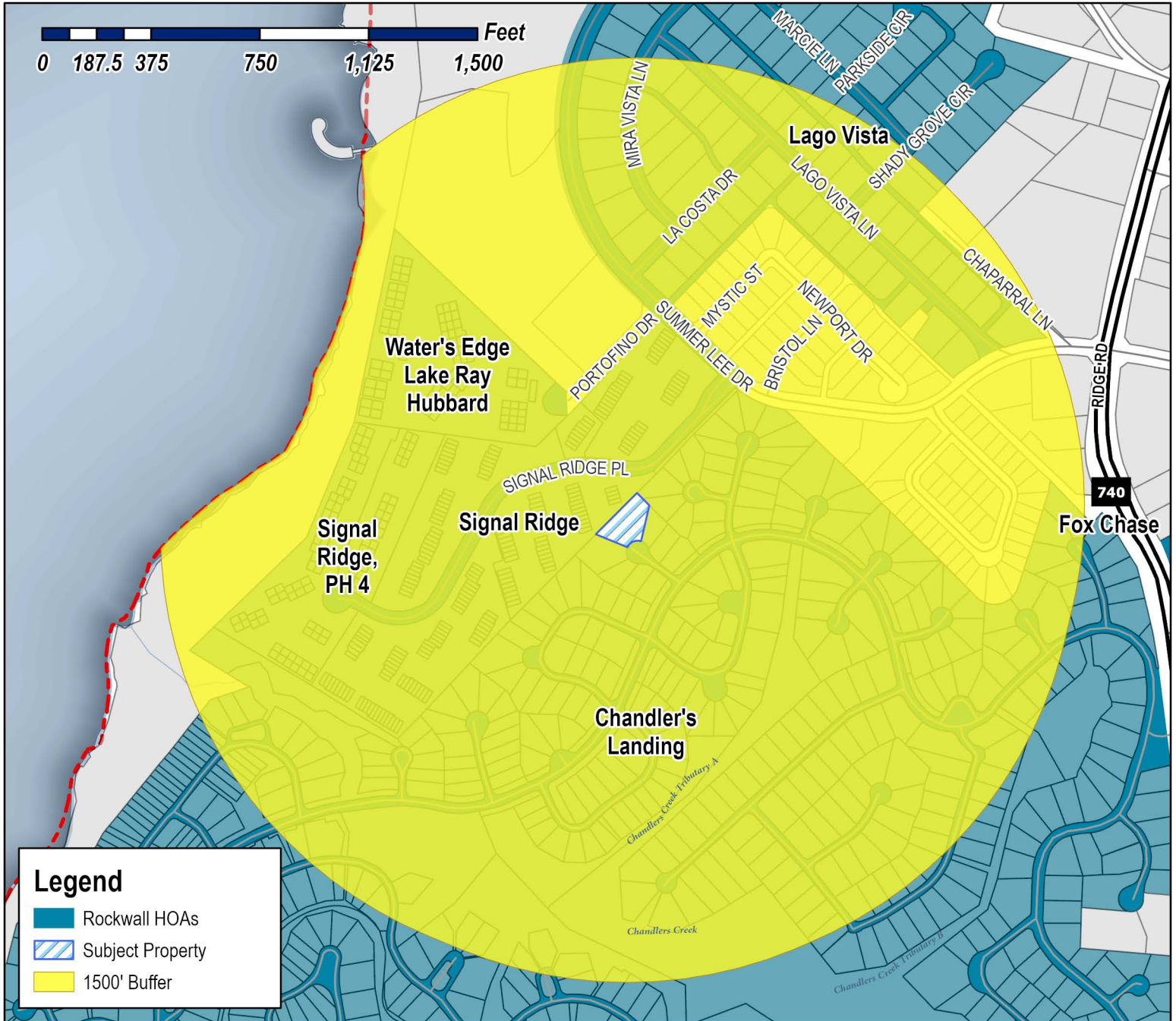
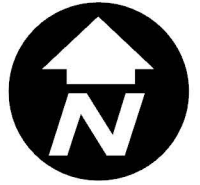




City of Rockwall

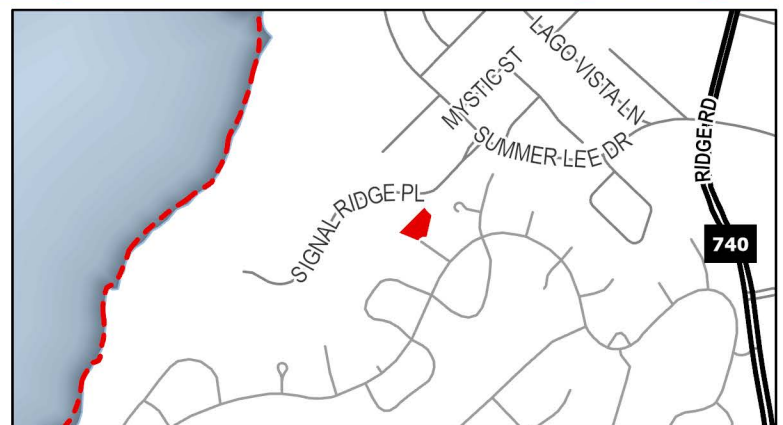
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Case Number: Z2024-046
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 108 Reliance Court

Date Saved: 9/13/2024
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2024-046]
Date: Wednesday, September 18, 2024 10:36:36 AM
Attachments: [Public Notice \(P&Z\) \(09.16.2024\).pdf](#)
[HOA Map \(09.13.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 20, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 15, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 21, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2024-046: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a Specific Use Permit (SUP) for a Short-Term Rental on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County

Thank you,

Melanie Zavala

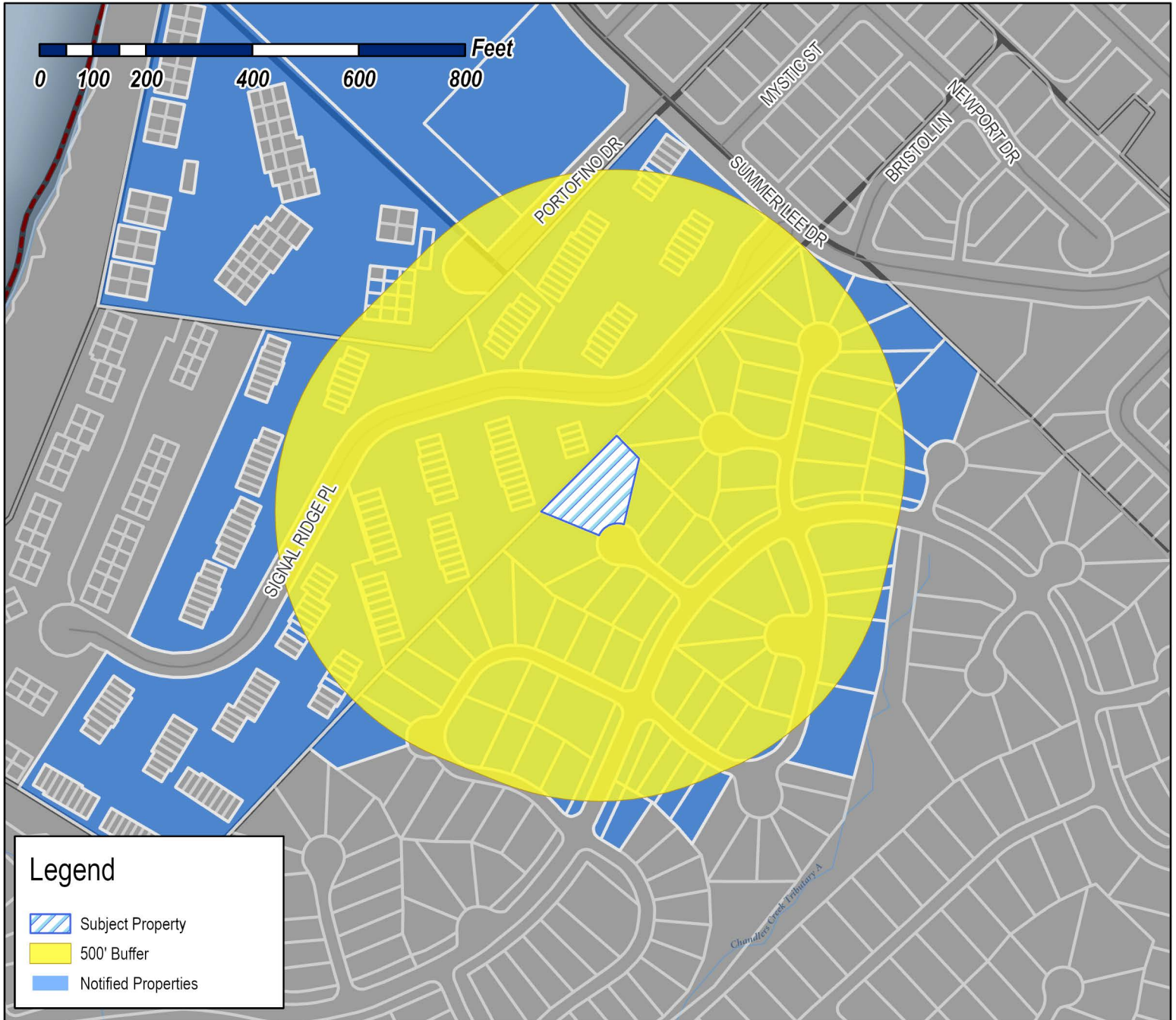
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

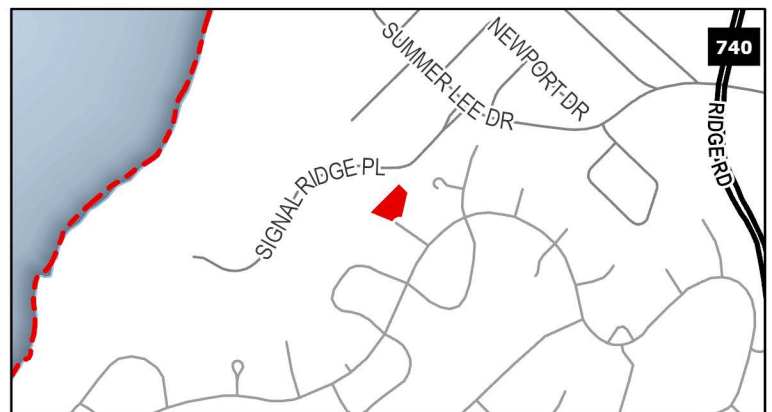
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Case Number: Z2024-046
Case Name: SUP for a Short Term Rental
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 108 Reliance Court

Date Saved: 9/13/2024

For Questions on this Case Call: (972) 771-7745



BELOTE GARLAND III
1001 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL
1002 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SHAH ZAHRA
1003 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

PEREZ FREDDIE
1004 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1005 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESENDIZ FERNANDO JR AND TIFFANY ARAI
ARAGON
1006 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HILL KENNETH JAMES AND BETH ANNE
1006 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LANGSTONFRIEDA KARLEN
101 MAYFLOWER CT
ROCKWALL, TX 75032

SWEET CHASE AND SADIE
101 RELIANCE CT
ROCKWALL, TX 75032

NASH SYDNEY
101 VALKYRIE PL
ROCKWALL, TX 75032

MCAFFEE CANDACE
1010 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1013 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHARLES CREIG
1014 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DEWET WAYNE JOHN
1015 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1017 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1019 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HARRELL STEVEN R AND ROBERTA J
102 MAYFLOWER CT
ROCKWALL, TX 75032

HALL CORI
102 MISCHIEF LANE
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1021 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GIBBS STEPHANIE L
1022 SIGNAL RIDGE PLACE
ROCKWALL, TX 75087

RESIDENT
1023 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JANAK KEVIN WAYNE
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CANCIOBELLO YESENIA AND
BILLY DREW MCMURTRE
1025 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOSEPH JACOB
1028 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GLEAVES THOMAS J &
LACY N WENDT
1029 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
103 MAYFLOWER CT
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

AUSTIN CHRISTI LYNN
103 RELIANCE COURT
ROCKWALL, TX 75032

HALAMA STEFAN & ANN
103 VALKYRIE PL
ROCKWALL, TX 75032

DUKE HEATHER
1030 SIGNAL RIDGE PL UNIT 1030
ROCKWALL, TX 75032

LOPEZ LUISA
1031 SIGNAL RIDGE PLACE UNIT 1031
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1034 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1035 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRYOR MICA MALONEY
1036 SIGNAL RIDGE PLACE #1036
ROCKWALL, TX 75032

RESIDENT
1037 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1038 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CONNER JANICE S
1039 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
104 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
104 RELIANCE CT
ROCKWALL, TX 75032

SMITH BRYAN
104 MAYFLOWER CT
ROCKWALL, TX 75032

RESIDENT
1040 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1041 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1042 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TRINGALI CATHARINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FAULK ELIZABETH
1045 SIGNAL RIDGE PL # 2-B
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1047 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ZAJDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

O'CONNOR MICHAEL AND HEATHER DAWN
105 MAYFLOWER CT
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
ROBERT S AND DOLORES I JOHNSON - TRUSTEES
105 MISCHIEF LANE
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

RESIDENT
106 MAYFLOWER CT
ROCKWALL, TX 75032

RESIDENT
106 MISCHIEF LN
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE
106 RELIANCE CT
ROCKWALL, TX 75032

ROPER JOHN & JENNIFER
107 MAYFLOWER CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

GARCIA ANTONIO JR & ROXANN D
107 VALKYRIE PL
ROCKWALL, TX 75032

SLATER THOMAS EVERETT
108 MAYFLOWER CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

NORTEX PROPERTIES INC
% JOSEPH L ZEHR
10808 LA CABREAH LN
FORT WAYNE, IN 46845

LYONS ELIZABETH
109 MAYFLOWER COURT
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
110 MISCHIEF LN
ROCKWALL, TX 75032

COOPER ELI T & RIKKI J
110 MAYFLOWER CT
ROCKWALL, TX 75032

RESIDENT
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1102 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1103 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO
1104 SIGNAL RIDGE #1104
ROCKWALL, TX 75032

RESIDENT
1105 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OGLIN THOMAS J & JOYCE L
1106 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1107 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNS ETHAN
1108 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RUBIO CONNIE L
1109 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RATCLIFFE KATHLEEN C
111 MAYFLOWER CT
ROCKWALL, TX 75032

CERVANTES LESLEY PATINO
1110 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLER JEFFRY AND KATHLEEN
1111 VISTA GRANDE ROAD
EL CAJON, CA 92019

RESIDENT
1113 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LEMIEUX RICHARD
1114 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

MATHERNE JUDITH L
1115 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARRETSON CLAY
1116 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1117 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SHERMAN THREASA L AND DOYLE
112 MAYFLOWER COURT
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

CASTRO CRISTINA
113 MAYFLOWER CT
ROCKWALL, TX 75032

FAIRCHILD JOINT REVOCABLE LIVING TRUST
TONI A FAIRCHILD- TRUSTEE
114 MAYFLOWER CT
ROCKWALL, TX 75032

RASOOL SHAIKH AL HADI AND
FARHANA ZAFAR
114 MISCHIEF LANE
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
PLUTUS21 DEVELOPMENT
11455 NEWKIRK ST STE 1405
DALLAS, TX 75229

JURCA JACOB S AND JACLYN J
115 MAYFLOWER CT
ROCKWALL, TX 75032

BRACE JUDE
116 MISCHIEF LN
ROCKWALL, TX 75032

RESIDENT
118 MISCHIEF LN
ROCKWALL, TX 75032

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J
120 PURITAN CT
ROCKWALL, TX 75032

HORTON TREVOR L AND MEGAN
122 PURITAN COURT
ROCKWALL, TX 75032

POTISKA PATRICIA AND ANDREA
124 PURITAN CT
ROCKWALL, TX 75032

RESIDENT
125 MISCHIEF LN
ROCKWALL, TX 75032

WINKLES GARY AND KRISTY
126 PURITAN CT
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

HAYES RICHARD
128 PURITAN CT
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

MORRIS NICOLE E
13724 CORDARY AVE UNIT 7
HAWTHORNE, CA 90250

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

RESIDENT
1501 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WEST VICTORIA FELICIA
1502 SIGNAL RIDGE
ROCKWALL, TX 75032

PANNELL TIMOTHY WAYNE
1503 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1504 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BRINKMAN VICKI LYNN
1505 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1506 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FITZGERALD LARRY R AND JACQUELINE
1507 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1508 SIGNAL RIDGE PL
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

JOHNSON JARED H JR & BRINDA M
1741 PEPPERDALE DR
ROWLAND HEIGHTS, CA 91748

MEDINA ALEJANDRO
1800 DALROCK #100
ROWLETT, TX 75088

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1910 SIGNAL RIDGE
ROCKWALL, TX 75032

OLSEN CATHERINE A
1920 KINGS PASS
HEATH, TX 75032

RESIDENT
1995 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
2000 PORTOFINO DR
ROCKWALL, TX 75032

HARVILLE BRET
2003 PORTOFINO DR
ROCKWALL, TX 75032

DASILVA JOHN M
2009 TOUCH GOLD CT
ROWLETT, TX 75088

RESIDENT
2018 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2020 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2022 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2024 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2026 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2028 PORTOFINO DR
ROCKWALL, TX 75032

LARAPINTA LLC
2028 E. BEN WHITE BLVD # 240-5820
AUSTIN, TX 75741

RESIDENT
2030 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2032 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2034 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2036 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2038 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2055 SUMMER LEE DR
ROCKWALL, TX 75032

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

WALLICK & VOLK INC
222 E 18TH ST
CHEYENNE, WY 82001

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

PINK DALLAS LLC
240 WILLOWCREST
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

GATZKE LISA AND JAMES
247 VICTORY LANE
ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE
251 VICTORY LN
ROCKWALL, TX 75032

LASANCE RICHARD & SHIRLEY
253 VICTORY LN
ROCKWALL, TX 75032

ROCKWALL LOT 3 OWNER LLC
255 ALHAMBRA CIRCLE SUITE 760

2055 SUMMER LEE ROCKWALL OWNER LLC
255 ALHAMBRA CIRCLE SUITE 760

BRITTON MATTIE JO AND ZACHARY TAYLOR
256 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
257 VICTORY LN
ROCKWALL, TX 75032

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
264 VICTORY LN
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN
268 VICTORY LN
ROCKWALL, TX 75032

DILOV VANIO
2717 LAKEWOOD DR
ROWLETT, TX 75088

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

CARPENTER REVOCABLE LIVING TRUST
2752 E FM 552
ROCKWALL, TX 75087

BURKETT MARY REBECCA EASON
277 TERRY LN
HEATH, TX 75032

DEMARS GREGORY SCOTT AND
CYNTHIA LEE FLOYD
281 VICTORY LANE
ROCKWALL, TX 75032

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BAILEY BETH KENNEDY
2919 COUNTRY PLACE CIR
CARROLLTON, TX 75006

SALT PROPERTIES LLC
2931 RIDGE ROAD SUITE 101-181
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

MIRFENDERESKI JONAH JAVAD AND
NALINA MICHELLE SHAPIRO
301 VALIANT DRIVE
ROCKWALL, TX 75032

RESIDENT
306 VICTORY LN
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

RESIDENT
310 VICTORY LN
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

SARAH LOREDO A/K/A SARAH ARCE SPECIAL
COMMUNITY PROPERTY TRUST, A SU
JAIME & SARAH ARCE LIVING TRUST, SARAH
LOREDO/SARAH ARCE-T
315 VICTORY LN
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

LESLIE RANDY
349 E ELDORADO DR
SCROGGINS, TX 75480

MCILRATH PROPERTIES LLC
3910 WESLEY ST
GREENVILLE, TX 75401

STRAHM ROBERT & DENA LYNNE
4010 STONE HAVEN DR
GARLAND, TX 75043

OPENDOOR PROPERTY J LLC
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85281

OPENDOOR PROPERTY J LLC
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85281

GARDNER DAVID L REV LIV TR
4401 GMD UNIT 702
LONGBOAT KEY, FL 34228

DAVID L GARDNER REVOCABLE LIVING TRUST
4401 GULF OF MEXICO DR UNIT 702
LONGBOAT KEY, FL 34228

BRACK KENYATTA AND SELEAN TURNER
4501 YACHT CLUB DRIVE
ROCKWALL, TX 75032

BOUSSERT ANNE S & CHRISTIAN B
516 CAMELIA AVE
BATON ROUGE, LA 70806

ROCKWALL YELLOWJACKETS 3533 LLC
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

GRAF DANIEL & JESSICA
5307 92ND ST
LUBBOCK, TX 79424

BAUMGARD CHRIS & LAUREN
5324 PETERSON CT
FLOWER MOUND, TX 75028

VEGA DAVID AND ALICIA C
550 MCDONALD ROAD
HEATH, TX 75032

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

MCKINSTRY FRITZ AND KATHY LIVING TRUST
634 COURAGEOUS DR
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

BENTON EMILY AND
LORI BENTON
785 WINDING RIDGE LN
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LONON DEBORAH J
802 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

KILLGORE LEE A
803 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
804 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG JOHN D III
804 EAGLE PASS
HEATH, TX 75032

BRYANT BLAIR WILLIAM JR
805 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WALKER RAYMOND B & PHYLLIS F REVOCABLE
TRUST
RAYMOND B & PHYLLIS F WALKER TRUSTEES
806 SIGNAL RIDGE PLACE UNIT 806
ROCKWALL, TX 75032

POPP LEILA
807 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PETERSON STEVEN R & DONNA R
808 SIGNAL RIDGE
ROCKWALL, TX 75032

BRAY SHAWN & HANNAH GRACE LEHMANN-
BRAY
809 SIGNAL RIDGE
ROCKWALL, TX 75032

GERAULT JANET
810 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
811 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
812 SIGNAL RIDGE PL
ROCKWALL, TX 75032

THOMPSON JOHN R AND REGINA B
813 SIGNAL RIDGE PLACE UNIT 813
ROCKWALL, TX 75032

BRASHEARS KARI
814 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ANDREW JONATHON
815 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
816 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN LAURA J AND RONALD L
905 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GOODALL JOYCE ANN & JILL NICOLE COOPER
906 SIGNAL RIDGE PLACE 5
ROCKWALL, TX 75032

RESIDENT
907 SIGNAL RIDGE PL
ROCKWALL, TX 75032

EFFLE MANDY E AND
JOSH DEATON
908 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
909 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
910 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BAIRD-SMIT JULIA GRAYSON
911 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

WHITE DEBORAH
912 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DISMUKE JAMIE M
913 SIGNAL RIDGE PLACE #913
ROCKWALL, TX 75032

YANG JIE &
CHANGYUN LI
914 SIGNAL RIDGE PL UNIT 914
ROCKWALL, TX 75032

TUNNELL MEREDITH MICHELLE
915 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
916 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DEZEE GENENE
917 SIGNAL
ROCKWALL, TX 75032

RESIDENT
918 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LARAMORE ALLISON AND
KIMBERLY LARAMORE & BAYLIS H
919 SIGNAL RIGE PLACE
ROCKWALL, TX 75032

INZILLO FRANCA
920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MURRAY NORMA C
922 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
923 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
924 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
925 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
926 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
927 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILEY ALEXANDRIA AND JOHN WESLEY
SHELTON
928 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GREEN MAUREEN
945 BREEZY HILL LANE
ROCKWALL, TX 75087

HARRIS SUSAN
9660 ALPHA LN
QUINLAN, TX 75474

TAYLOR LIVING TRUST
KEVIN ASHLEY TAYLOR AND ANNETTE
ELIZABETH TAYLOR-COTRUSTEES
9918 LINCOLNSHIRE CT
ROCKWALL, TX 75087

THE SPACE PLACE, SERIES LLC, SERIES I
P.O. BOX 1271
MOUNT PLEASANT, TX 75456

LOGAN PAULINE K
P.O. BOX 2198
ROCKWALL, TX 75087

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

GONZALEZ LOURDES
1027 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-046: SUP for a Short-Term Rental

Hold a public hearing to discuss and consider a request by Carl and Wendy Petersen for the approval of a *Specific Use Permit (SUP)* for a *Short-Term Rental* on a 0.6391-acre parcel of land identified as Lot 25-R, Block A, Chandler's Landing #20 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 108 Reliance Court, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-046: SUP for a Short-Term Rental

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Wendy Petersen
2880 Chippewa Way
Provo, UT 84604-4349
214-675-4142
wendyhp55@gmail.com

10 September 2024

City of Rockwall
Planning and Zoning Department
385 South Goliad Street
Rockwall, TX 75087

Re: 108 Reliance Court

Dear Planning and Zoning Department:

This letter regards a Specific Use Permit for the residence located at 108 Reliance Court, Rockwall, Texas for designation as a short-term rental.

My husband and I built our dream house in 1994 on property we purchased in Chandlers Landing in 1993.* We lived in the house for 30 years and raised our children there.

For the past few years, my husband's parents have been inviting us to live with them in Utah to help care for them. They are 92 and 96 years old. We had several situations that prevented us from accommodating them, but during the last couple of years, things fell into place, and we made the big move. We were excited to go because most of our children and grandchildren are also in Utah.

We love our house and don't want to sell it. We want to return to visit friends and family occasionally, but we don't want our home to sit vacant most of the time. Logically, converting it into a short-term rental is a great solution because it would be occupied much of the time (hopefully), it would generate income to pay for property insurance and taxes, and we can reserve it for ourselves when we visit.

Our house is approximately 950 feet away from the nearest existing short-term rental, about 50 feet under the 1,000-foot proximity requirement. There are several items to consider in our application for a Specific Use Permit:

- Our home is located in Chandlers Landing which is an attractive neighborhood with many speed bumps which encourages slow traffic.
- Yacht Club Drive, which circles the community, is two miles around. About one consecutive mile of Yacht Club Drive has only a couple of homes whose front doors face the Drive. Reliance Court is a street that intersects that section of the Drive. The result is a feeling of less concentration and more spaciousness.
- Our property on Reliance Court includes a landscaped lot which provides a peaceful clearing.
- Our property is adjacent to the condominiums at Signal Ridge which is separated from Chandlers Landing by a fence, bushes, and trees and provides privacy.
- Our property has retaining walls on two sides which act as buffers.
- Our home is located in a small, quiet cul-de-sac that is somewhat secluded.

In addition to the City's ordinances, the Chandlers Landing Community Association requires a short-term rental application. It includes an annual administrative fee of \$100 and a \$1,500 deposit to cover fines and damages. There are regulations such as quiet time between 10 pm and 8 am, no overnight street parking, and other conditions with which renters must comply. I intend to clearly communicate to renters the importance of keeping the rules, otherwise, I will lose my ability to maintain my home as a rental.

Our home is an attractive asset that will accommodate guests in a desirable location without adversely influencing the beautiful City of Rockwall, Chandlers Landing, its residents, or visitors.

Sincerely,

A handwritten signature in black ink, appearing to read 'Wendy Petersen', written in a cursive style.

Wendy Petersen

*An interesting bit of information is that our house was built from my husband's earnings working at id Software where he worked on Doom, one of the most influential video games of all time. As a matter of fact, portions of our home are featured in Doom II. My husband, Carl Sanford (Sandy) Petersen, is a world-renowned game designer whose specialty is making games fun. He has an impressive resume filled with award-winning role-playing games, board games, card games, video games, and computer games.

Enclosures: Development Application

History of Petersen ownership of Reliance Court property

Email from Rockwall City P&Z Department accepting out-of-state notary on application

\$215 check for application fee











History of Property at
108 Reliance Court, Rockwall, Texas
Owned by Carl Sanford (Sandy) Petersen and Wendy Petersen

1993 Purchased property in Rockwall.

Chandlers Landing, Phase 20, Lot 26.
Rockwall County Plat Records, Cabinet B, Slides 254-256.

1994 Built house on property. Paid cash for part of construction costs and acquired a mortgage for remainder.

108 Reliance Court, Rockwall.

2001 Purchased vacant lot adjacent to 108 Reliance Court.

Chandlers Landing, Phase 20, Lot 25.
Rockwall County Plat Records, Cabinet B, Slides 254-256.

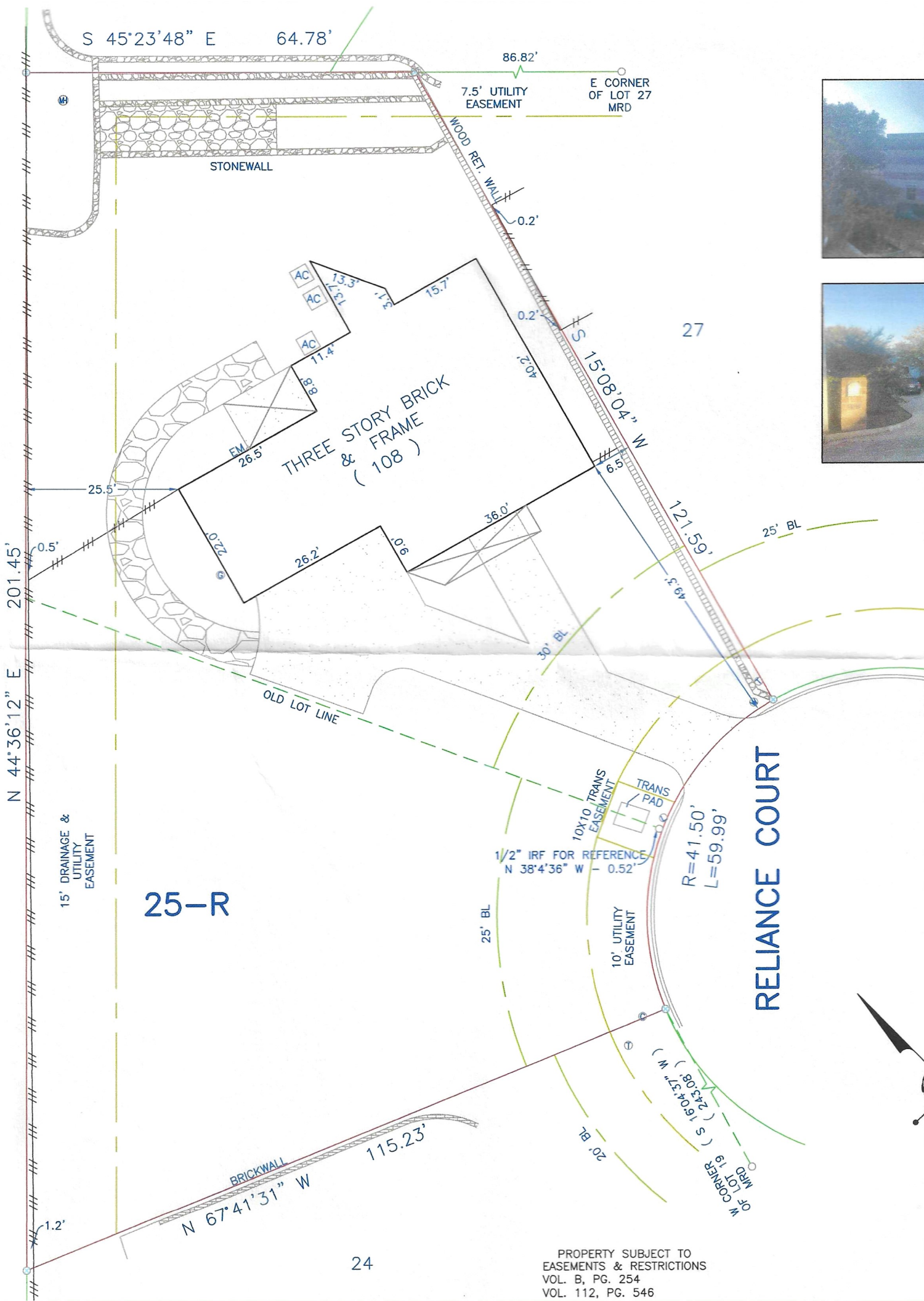
2001 Paid off mortgage acquired in 1994.

2005 Replat of Lots 25 and 26 to join the lots into one property.

Chandlers Landing, Phase 20, Lot 25-R.
Rockwall County Plat Records, Cabinet F, Slide 155.

2015 Obtained a home equity loan to invest money in a family business and 108 Reliance Court is collateral for the loan.

2024 Preparing home to become a short-term rental.



25-R

27

24

RELIANCE COURT

PROPERTY SUBJECT TO
EASEMENTS & RESTRICTIONS
VOL. B, PG. 254
VOL. 112, PG. 546

After recording please mail to:
ANGEL OAK MORTGAGE SOLUTIONS, LLC
980 HAMMOND DRIVE, SUITE 850
ATLANTA, GA 30328
Attn: Document Return

2020000028897
11/25/2020 10:57:26 AM
DEED OF TRUST
Pg: 1/16

Lawyers Title GF# 1901422000157

[Space Above This Line for Recording Data.]

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

THIS SECURITY INSTRUMENT SECURES AN EXTENSION OF CREDIT THAT IS THE TYPE OF CREDIT DEFINED BY SUBSECTION (a)(6) OF SECTION 50, ARTICLE XVI OF THE TEXAS CONSTITUTION.

TEXAS HOME EQUITY SECURITY INSTRUMENT (First Lien)

Loan Number: 802009148953
MIN: 10130160000651918
MERS Phone: 1-888-679-6377

This Security Instrument is not intended to finance Borrower's acquisition of the Property.

DEFINITIONS

Words used in multiple sections of this document are defined below and other words are defined in Sections 3, 10, 12, 17, 19, 20 and 21. Certain rules regarding the usage of words used in this document are also provided in Section 15.

(A) "Security Instrument" means this document, which is dated **NOVEMBER 18, 2020**, together with all Riders to this document.

(B) "Borrower" is **CARL PETERSEN A/K/A CARL S. PETERSEN AND A/K/A SANDY PETERSEN AND WENDY HALL PETERSEN A/K/A WENDY PETERSEN, HUSBAND AND WIFE**. Borrower is the grantor under this Security Instrument.

(C) "Lender" is **ANGEL OAK MORTGAGE SOLUTIONS, LLC**. Lender is a LLC organized and existing under the laws of **DELAWARE**. Lender's address is **980 HAMMOND DRIVE, SUITE 850, ATLANTA, GA 30328**. Lender includes any holder of the Note who is entitled to receive payments under the Note.

(D) "Trustee" is **THOMAS E BLACK, JR.** Trustee's address is **2905 CORPORATE CIRCLE, FLOWER MOUND, TX 75028**.

(E) "MERS" is Mortgage Electronic Registration Systems, Inc. MERS is a separate corporation that is acting solely as a nominee for Lender and Lender's successors and assigns. **MERS is the beneficiary under this Security Instrument**. MERS is organized and existing under the laws of Delaware, and has an address and telephone number of P.O. Box 2026, Flint, MI 48501-2026, tel. (888) 679-MERS.

(F) "Note" means the promissory note signed by Borrower and dated **NOVEMBER 18, 2020**. The Note states that Borrower owes Lender **Two Hundred Eighty-Eight Thousand Seven Hundred Fifty And No/100 Dollars (U.S. \$288,750.00)** plus interest. Borrower has promised to pay this debt in regular Periodic Payments and to pay the debt in full not later than **DECEMBER 01, 2050**.

Initials: CP WHP

(G) "Property" means the property that is described below under the heading "Transfer of Rights in the Property."

(H) "Extension of Credit" means the debt evidenced by the Note, as defined by Section 50(a)(6), Article XVI of the Texas Constitution and all the documents executed in connection with the debt.

(I) "Riders" means all riders to this Security Instrument that are executed by Borrower. The following riders are to be executed by Borrower [check box as applicable]:

- Texas Home Equity Condominium Rider
- Texas Home Equity Planned Unit Development Rider
- Adjustable Rate Rider
- Other:

(J) "Applicable Law" means all controlling applicable federal, state and local statutes, regulations, ordinances and administrative rules and orders (that have the effect of law) as well as all applicable final, non-appealable judicial opinions.

(K) "Community Association Dues, Fees, and Assessments" means all dues, fees, assessments and other charges that are imposed on Borrower or the Property by a condominium association, homeowners association or similar organization.

(L) "Electronic Funds Transfer" means any transfer of funds, other than a transaction originated by check, draft, or similar paper instrument, which is initiated through an electronic terminal, telephonic instrument, computer, or magnetic tape so as to order, instruct, or authorize a financial institution to debit or credit an account. Such term includes, but is not limited to, point-of-sale transfers, automated teller machine transactions, transfers initiated by telephone, wire transfers, and automated clearinghouse transfers.

(M) "Escrow Items" means those items that are described in Section 3.

(N) "Miscellaneous Proceeds" means any compensation, settlement, award of damages, or proceeds paid by any third party (other than insurance proceeds paid under the coverages described in Section 5) for: (i) damage to, or destruction of, the Property; (ii) condemnation or other taking of all or any part of the Property; (iii) conveyance in lieu of condemnation; or (iv) misrepresentations of, or omissions as to, the value and/or condition of the Property.

(O) "Periodic Payment" means the regularly scheduled amount due for (i) principal and interest under the Note, plus (ii) any amounts under Section 3 of this Security Instrument.

(P) "RESPA" means the Real Estate Settlement Procedures Act (12 U.S.C. § 2601 et seq.) and its implementing regulation, Regulation X (12 C.F.R. Part 1024), as they might be amended from time to time, or any additional or successor legislation or regulation that governs the same subject matter. As used in this Security Instrument, "RESPA" refers to all requirements and restrictions that are imposed in regard to a "federally related mortgage loan" even if the Extension of Credit does not qualify as a "federally related mortgage loan" under RESPA.

(Q) "Successor in Interest of Borrower" means any party that has taken title to the Property, whether or not that party has assumed Borrower's obligations under the Note and/or this Security Instrument.

TRANSFER OF RIGHTS IN THE PROPERTY

The beneficiary of this Security Instrument is MERS (solely as nominee for Lender and Lender's successors and assigns) and the successors and assigns of MERS. This Security Instrument secures to Lender: (i) the repayment of the Extension of Credit, and all extensions and modifications of the Note; and (ii) the performance of Borrower's covenants and agreements under this Security Instrument and the Note. For this purpose, Borrower irrevocably grants and conveys to Trustee, in trust, with power of sale, the following described Property located in the County of ROCKWALL:

BEING LOT 25R IN BLOCK A OF CHANDLERS LANDING, PHASE 20, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE REPLAT THEREOF RECORDED IN VOLUME F, PAGE 155, PLAT RECORDS, ROCKWALL COUNTY, TEXAS

which currently has the address of **108 RELIANCE COURT**

ROCKWALL, Texas **75032** ("Property Address"):
[City] [Street] [Zip Code]

TOGETHER WITH all the improvements now or hereafter erected on the Property, and all easements, appurtenances, and fixtures now or hereafter a part of the Property. All replacements and additions shall also be covered by this Security

Initials: *GP* *WHP*

Instrument. All of the foregoing is referred to in this Security Instrument as the "Property"; provided however, that if the Property includes both homestead property and property that is not homestead property, the Property is limited solely to homestead property in accordance with Section 50(a)(6)(H), Article XVI of the Texas Constitution. If no part of the Property is homestead property, the homestead protections of Section 50, Article XVI of the Texas Constitution are not applicable to this Extension of Credit. Borrower understands and agrees that MERS holds only legal title to the interests granted by Borrower in this Security Instrument, but, if necessary to comply with law or custom, MERS (as nominee for Lender and Lender's successors and assigns) has the right: to exercise any or all of those interests, including, but not limited to, the right to foreclose and sell the Property; and to take any action required of Lender including, but not limited to, releasing and canceling this Security Instrument.

BORROWER COVENANTS that Borrower is lawfully seised of the estate hereby conveyed and has the right to grant and convey the Property and that the Property is unencumbered, except for encumbrances of record. Borrower warrants and will defend generally the title to the Property against all claims and demands, subject to any encumbrances of record.

Borrower and Lender covenant and agree as follows:

1. Payment of Principal, Interest, Escrow Items, and Late Charges. Borrower shall pay when due the principal of, and interest on, the debt evidenced by the Note and any late charges due under the Note. Borrower shall also pay funds for Escrow Items pursuant to Section 3. Payments due under the Note and this Security Instrument shall be made in U.S. currency. However, if any check or other instrument received by Lender as payment under the Note or this Security Instrument is returned to Lender unpaid, Lender may require that any or all subsequent payments due under the Note and this Security Instrument be made in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check, provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality, or entity; or (d) Electronic Funds Transfer.

Payments are deemed received by Lender when received at the location designated in the Note or at such other location as may be designated by Lender in accordance with the notice provisions in Section 14. Lender may return any payment or partial payment if the payment or partial payments are insufficient to bring the Extension of Credit current. Lender may accept any payment or partial payment insufficient to bring the Extension of Credit current, without waiver of any rights hereunder or prejudice to its rights to refuse such payment or partial payment in the future, but Lender is not obligated to apply such payments at the time such payments are accepted. If each Periodic Payment is applied as of its scheduled due date, then Lender need not pay interest on unapplied funds. Lender may hold such unapplied funds until Borrower makes payment to bring the Extension of Credit current. If Borrower does not do so within a reasonable period of time, Lender shall either apply such funds or return them to Borrower. If not applied or returned to Borrower earlier, such funds may be applied to the outstanding principal balance under the Note immediately prior to foreclosure without abandoning any acceleration of the Note. No offset or claim which Borrower might have now or in the future against Lender shall relieve Borrower from making payments due under the Note and this Security Instrument or performing the covenants and agreements secured by this Security Instrument.

2. Application of Payments or Proceeds. Except as otherwise described in this Section 2, all payments accepted and applied by Lender shall be applied in the following order of priority: (a) interest due under the Note; (b) principal due under the Note; (c) amounts due under Section 3. Such payments shall be applied to each Periodic Payment in the order in which it became due. Any remaining amounts shall be applied first to late charges, second to any other amounts due under this Security Instrument, and then to reduce the principal balance of the Note.

If Lender receives a payment from Borrower for a delinquent Periodic Payment which includes a sufficient amount to pay any late charge due, the payment may be applied to the delinquent payment and the late charge. If more than one Periodic Payment is outstanding, Lender may apply any payment received from Borrower to the repayment of the Periodic Payments if, and to the extent that, each payment can be paid in full. To the extent that any excess exists after the payment is applied to the full payment of one or more Periodic Payments, such excess may be applied to any late charges due. Voluntary prepayments shall be applied as described in the Note.

Any application of payments, insurance proceeds, or Miscellaneous Proceeds to principal due under the Note shall not extend or postpone the due date, or change the amount, of the Periodic Payments.

3. Funds for Escrow Items. Borrower shall pay to Lender on the day Periodic Payments are due under the Note, until the Note is paid in full, a sum (the "Funds") to provide for payment of amounts due for: (a) taxes and assessments and other items which can attain priority over this Security Instrument as a lien or encumbrance on the Property; (b) leasehold payments or ground rents on the Property, if any; and (c) premiums for any and all insurance required by Lender under Section 5. These items are called "Escrow Items." At origination or at any time during the term of the Extension of Credit, Lender may require that Community Association Dues, Fees, and Assessments, if any, be escrowed by Borrower, and such dues, fees and assessments shall be an Escrow Item. Borrower shall promptly furnish to Lender all notices of amounts to be paid under this Section. Borrower shall pay Lender the Funds for Escrow Items unless Lender waives Borrower's obligation

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to pay the Funds for any or all Escrow Items. Lender may waive Borrower's obligation to pay to Lender Funds for any or all Escrow Items at any time. Any such waiver may only be in writing. In the event of such waiver, Borrower shall pay directly, when and where payable, the amounts due for any Escrow Items for which payment of Funds has been waived by Lender and, if Lender requires, shall furnish to Lender receipts evidencing such payment within such time period as Lender may require. Borrower's obligation to make such payments and to provide receipts shall for all purposes be deemed to be a covenant and agreement contained in this Security Instrument, as the phrase "covenant and agreement" is used in Section 9. If Borrower is obligated to pay Escrow Items directly, pursuant to a waiver, and Borrower fails to pay the amount due for an Escrow Item, Lender may exercise its rights under Section 9 and pay such amount and Borrower shall then be obligated under Section 9 to repay to Lender any such amount. Lender may revoke the waiver as to any or all Escrow Items at any time by a notice given in accordance with Section 14 and, upon such revocation, Borrower shall pay to Lender all Funds, and in such amounts, that are then required under this Section 3.

Lender may, at any time, collect and hold Funds in an amount (a) sufficient to permit Lender to apply the Funds at the time specified under RESPA, and (b) not to exceed the maximum amount a lender can require under RESPA. Lender shall estimate the amount of Funds due on the basis of current data and reasonable estimates of expenditures of future Escrow Items or otherwise in accordance with Applicable Law.

The Funds shall be held in an institution whose deposits are insured by a federal agency, instrumentality, or entity (including Lender, if Lender is an institution whose deposits are so insured) or in any Federal Home Loan Bank. Lender shall apply the Funds to pay the Escrow Items no later than the time specified under RESPA. Lender shall not charge Borrower for holding and applying the Funds, annually analyzing the escrow account, or verifying the Escrow Items, unless Lender pays Borrower interest on the Funds and Applicable Law permits Lender to make such a charge. Unless an agreement is made in writing or Applicable Law requires interest to be paid on the Funds, Lender shall not be required to pay Borrower any interest or earnings on the Funds. Borrower and Lender can agree in writing, however, that interest shall be paid on the Funds. Lender shall give to Borrower, without charge, an annual accounting of the Funds as required by RESPA.

If there is a surplus of Funds held in escrow, as defined under RESPA, Lender shall account to Borrower for the excess funds in accordance with RESPA. If there is a shortage of Funds held in escrow, as defined under RESPA, Lender shall notify Borrower as required by RESPA, and Borrower shall pay to Lender the amount necessary to make up the shortage in accordance with RESPA, but in no more than twelve monthly payments. If there is a deficiency of Funds held in escrow, as defined under RESPA, Lender shall notify Borrower as required by RESPA, and Borrower shall pay to Lender the amount necessary to make up the deficiency in accordance with RESPA, but in no more than twelve monthly payments.

Upon payment in full of all sums secured by this Security Instrument, Lender shall promptly refund to Borrower any Funds held by Lender.

4. Charges; Liens. Borrower shall pay all taxes, assessments, charges, fines, and impositions attributable to the Property which can attain priority over this Security Instrument, leasehold payments or ground rents on the Property, if any, and Community Association Dues, Fees, and Assessments, if any. To the extent that these items are Escrow Items, Borrower shall pay them in the manner provided in Section 3.

Borrower shall promptly discharge any lien which has priority over this Security Instrument unless Borrower: (a) agrees in writing to the payment of the obligation secured by the lien in a manner acceptable to Lender, but only so long as Borrower is performing such agreement; (b) contests the lien in good faith by, or defends against enforcement of the lien in, legal proceedings which in Lender's opinion operate to prevent the enforcement of the lien while those proceedings are pending, but only until such proceedings are concluded; or (c) secures from the holder of the lien an agreement satisfactory to Lender subordinating the lien to this Security Instrument. If Lender determines that any part of the Property is subject to a lien which can attain priority over this Security Instrument, Lender may give Borrower a notice identifying the lien. Within 10 days of the date on which that notice is given, Borrower shall satisfy the lien or take one or more of the actions set forth above in this Section 4.

Lender may require Borrower to pay a one-time charge for a real estate tax verification and/or reporting service used by Lender in connection with this Extension of Credit.

5. Property Insurance. Borrower shall keep the improvements now existing or hereafter erected on the Property insured against loss by fire, hazards included within the term "extended coverage," and any other hazards including, but not limited to, earthquakes and floods, for which Lender requires insurance. This insurance shall be maintained in the amounts (including deductible levels) and for the periods that Lender requires. What Lender requires pursuant to the preceding sentences can change during the term of the Extension of Credit. The insurance carrier providing the insurance shall be chosen by Borrower subject to Lender's right to disapprove Borrower's choice, which right shall not be exercised unreasonably. Lender may require Borrower to pay, in connection with this Extension of Credit, either: (a) a one-time charge for flood zone determination, certification and tracking services; or (b) a one-time charge for flood zone determination and certification services and subsequent charges each time remappings or similar changes occur which reasonably might affect such determination or certification. Borrower shall also be responsible for the payment of any fees imposed by the

Initials: CP WP

Federal Emergency Management Agency in connection with the review of any flood zone determination resulting from an objection by Borrower.

If Borrower fails to maintain any of the coverages described above, Lender may obtain insurance coverage, at Lender's option and Borrower's expense. Lender is under no obligation to purchase any particular type or amount of coverage. Therefore, such coverage shall cover Lender, but might or might not protect Borrower, Borrower's equity in the Property, or the contents of the Property, against any risk, hazard or liability and might provide greater or lesser coverage than was previously in effect. Borrower acknowledges that the cost of the insurance coverage so obtained might significantly exceed the cost of insurance that Borrower could have obtained. Any amounts disbursed by Lender under this Section 5 shall become additional debt of Borrower secured by this Security Instrument. These amounts shall bear interest at the Note rate from the date of disbursement and shall be payable, with such interest, upon notice from Lender to Borrower requesting payment.

All insurance policies required by Lender and renewals of such policies shall be subject to Lender's right to disapprove such policies, shall include a standard mortgage clause, and shall name Lender as mortgagee and/or as an additional loss payee. Lender shall have the right to hold the policies and renewal certificates. If Lender requires, Borrower shall promptly give to Lender all receipts of paid premiums and renewal notices. If Borrower obtains any form of insurance coverage, not otherwise required by Lender, for damage to, or destruction of, the Property, such policy shall include a standard mortgage clause and shall name Lender as mortgagee and/or as an additional loss payee.

In the event of loss, Borrower shall give prompt notice to the insurance carrier and Lender. Lender may make proof of loss if not made promptly by Borrower. Unless Lender and Borrower otherwise agree in writing, any insurance proceeds, whether or not the underlying insurance was required by Lender, shall be applied to restoration or repair of the Property, if the restoration or repair is economically feasible and Lender's security is not lessened. During such repair and restoration period, Lender shall have the right to hold such insurance proceeds until Lender has had an opportunity to inspect such Property to ensure the work has been completed to Lender's satisfaction, provided that such inspection shall be undertaken promptly. Lender may disburse proceeds for the repairs and restoration in a single payment or in a series of progress payments as the work is completed. Unless an agreement is made in writing or Applicable Law requires interest to be paid on such insurance proceeds, Lender shall not be required to pay Borrower any interest or earnings on such proceeds. Fees for public adjusters, or other third parties, retained by Borrower shall not be paid out of the insurance proceeds and shall be the sole obligation of Borrower. If the restoration or repair is not economically feasible or Lender's security would be lessened, the insurance proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower. Such insurance proceeds shall be applied in the order provided for in Section 2.

If Borrower abandons the Property, Lender may file, negotiate and settle any available insurance claim and related matters. If Borrower does not respond within 30 days to a notice from Lender that the insurance carrier has offered to settle a claim, then Lender may negotiate and settle the claim. The 30-day period will begin when the notice is given. In either event, or if Lender acquires the Property under Section 21 or otherwise, Borrower hereby assigns to Lender (a) Borrower's rights to any insurance proceeds in an amount not to exceed the amounts unpaid under the Note or this Security Instrument, and (b) any other of Borrower's rights (other than the right to any refund of unearned premiums paid by Borrower) under all insurance policies covering the Property, insofar as such rights are applicable to the coverage of the Property. Lender may use the insurance proceeds either to repair or restore the Property or to pay amounts unpaid under the Note or this Security Instrument, whether or not then due.

6. Occupancy. Borrower now occupies and uses the Property as Borrower's Texas homestead and shall continue to occupy the Property as Borrower's Texas homestead for at least one year after the date of this Security Instrument, unless Lender otherwise agrees in writing, which consent shall not be unreasonably withheld, or unless extenuating circumstances exist which are beyond Borrower's control.

7. Preservation, Maintenance and Protection of the Property; Inspections. Borrower shall not destroy, damage or impair the Property, allow the Property to deteriorate or commit waste on the Property. Whether or not Borrower is residing in the Property, Borrower shall maintain the Property in order to prevent the Property from deteriorating or decreasing in value due to its condition. Unless it is determined pursuant to Section 5 that repair or restoration is not economically feasible, Borrower shall promptly repair the Property if damaged to avoid further deterioration or damage. If insurance or condemnation proceeds are paid in connection with damage to, or the taking of, the Property, Borrower shall be responsible for repairing or restoring the Property only if Lender has released proceeds for such purposes. Lender may disburse proceeds for the repairs and restoration in a single payment or in a series of progress payments as the work is completed. If the insurance or condemnation proceeds are not sufficient to repair or restore the Property, Borrower is not relieved of Borrower's obligation for the completion of such repair or restoration.

Lender or its agent may make reasonable entries upon and inspections of the Property. If it has reasonable cause, Lender may inspect the interior of the improvements on the Property. Lender shall give Borrower notice at the time of or prior to such an interior inspection specifying such reasonable cause.

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8. Borrower's Loan Application. Borrower's actions shall constitute actual fraud under Section 50(a)(6)(c), Article XVI of the Texas Constitution and Borrower shall be in default and may be held personally liable for the debt evidenced by the Note and this Security Instrument if, during the Loan application process, Borrower or any persons or entities acting at the direction of Borrower or with Borrower's knowledge or consent gave materially false, misleading, or inaccurate information or statements to Lender (or failed to provide Lender with material information) in connection with the Loan or any other action or inaction that is determined to be actual fraud. Material representations include, but are not limited to, representations concerning Borrower's occupancy of the Property as a Texas homestead, the representations and warranties contained in the Texas Home Equity Affidavit and Agreement, and the execution of an acknowledgment of fair market value of the property as described in Section 27.

9. Protection of Lender's Interest in the Property and Rights Under this Security Instrument. If (a) Borrower fails to perform the covenants and agreements contained in this Security Instrument, (b) there is a legal proceeding that might significantly affect Lender's interest in the Property and/or rights under this Security Instrument (such as a proceeding in bankruptcy, probate, for condemnation or forfeiture, for enforcement of a lien which may attain priority over this Security Instrument or to enforce laws or regulations), or (c) Borrower has abandoned the Property, then Lender may do and pay for whatever is reasonable or appropriate to protect Lender's interest in the Property and rights under this Security Instrument, including protecting and/or assessing the value of the Property, and securing and/or repairing the Property. Lender's actions can include, but are not limited to: (a) paying any sums secured by a lien which has priority over this Security Instrument; (b) appearing in court; and (c) paying reasonable attorneys' fees to protect its interest in the Property and/or rights under this Security Instrument, including its secured position in a bankruptcy proceeding. Securing the Property includes, but is not limited to, entering the Property to make repairs, change locks, replace or board up doors and windows, drain water from pipes, eliminate building or other code violations or dangerous conditions, and have utilities turned on or off. Although Lender may take action under this Section 9, Lender does not have to do so and is not under any duty or obligation to do so. It is agreed that Lender incurs no liability for not taking any or all actions authorized under this Section 9. No powers are granted by Borrower to Lender or Trustee that would violate provisions of the Texas Constitution applicable to Extensions of Credit as defined by Section 50(a)(6), Article XVI of the Texas Constitution or other Applicable Law.

Any amounts disbursed by Lender under this Section 9 shall become additional debt of Borrower secured by this Security Instrument. These amounts shall bear interest at the Note rate from the date of disbursement and shall be payable, with such interest, upon notice from Lender to Borrower requesting payment.

If this Security Instrument is on a leasehold, Borrower shall comply with all the provisions of the lease. If Borrower acquires fee title to the Property, the leasehold and the fee title shall not merge unless Lender agrees to the merger in writing.

10. Assignment of Miscellaneous Proceeds; Forfeiture. All Miscellaneous Proceeds are hereby assigned to and shall be paid to Lender.

If the Property is damaged, such Miscellaneous Proceeds shall be applied to restoration or repair of the Property, if the restoration or repair is economically feasible and Lender's security is not lessened. During such repair and restoration period, Lender shall have the right to hold such Miscellaneous Proceeds until Lender has had an opportunity to inspect such Property to ensure the work has been completed to Lender's satisfaction, provided that such inspection shall be undertaken promptly. Lender may pay for the repairs and restoration in a single disbursement or in a series of progress payments as the work is completed. Unless an agreement is made in writing or Applicable Law requires interest to be paid on such Miscellaneous Proceeds, Lender shall not be required to pay Borrower any interest or earnings on such Miscellaneous Proceeds. If the restoration or repair is not economically feasible or Lender's security would be lessened, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower. Such Miscellaneous Proceeds shall be applied in the order provided for in Section 2.

In the event of a total taking, destruction, or loss in value of the Property, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument, whether or not then due, with the excess, if any, paid to Borrower.

In the event of a partial taking, destruction, or loss in value of the Property in which the fair market value of the Property immediately before the partial taking, destruction, or loss in value is equal to or greater than the amount of the sums secured by this Security Instrument immediately before the partial taking, destruction, or loss in value, unless Borrower and Lender otherwise agree in writing, the sums secured by this Security Instrument shall be reduced by the amount of the Miscellaneous Proceeds multiplied by the following fraction: (a) the total amount of the sums secured immediately before the partial taking, destruction, or loss in value divided by (b) the fair market value of the Property immediately before the partial taking, destruction, or loss in value. Any balance shall be paid to Borrower.

In the event of a partial taking, destruction, or loss in value of the Property in which the fair market value of the Property immediately before the partial taking, destruction, or loss in value is less than the amount of the sums secured immediately before the partial taking, destruction, or loss in value, unless Borrower and Lender otherwise agree in writing, the Miscellaneous Proceeds shall be applied to the sums secured by this Security Instrument whether or not the sums are then due.

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If the Property is abandoned by Borrower, or if, after notice by Lender to Borrower that the Opposing Party (as defined in the next sentence) offers to make an award to settle a claim for damages, Borrower fails to respond to Lender within 30 days after the date the notice is given, Lender is authorized to collect and apply the Miscellaneous Proceeds either to restoration or repair of the Property or to the sums secured by this Security Instrument, whether or not then due. "Opposing Party" means the third party that owes Borrower Miscellaneous Proceeds or the party against whom Borrower has a right of action in regard to Miscellaneous Proceeds.

Borrower shall be in default if any action or proceeding which is not commenced as a result of Borrower's default under other indebtedness not secured by a prior valid encumbrance against the homestead, whether civil or criminal, is begun that, in Lender's judgment, could result in forfeiture of the Property or other material impairment of Lender's interest in the Property or rights under this Security Instrument. Borrower can cure such a default and, if acceleration has occurred, reinstate as provided in Section 18, by causing the action or proceeding to be dismissed with a ruling that, in Lender's judgment, precludes forfeiture of the Property or other material impairment of Lender's interest in the Property or rights under this Security Instrument. The proceeds of any award or claim for damages that are attributable to the impairment of Lender's interest in the Property are hereby assigned and shall be paid to Lender.

All Miscellaneous Proceeds that are not applied to restoration or repair of the Property shall be applied in the order provided for in Section 2.

11. Borrower Not Released; Forbearance By Lender Not a Waiver. Extension of the time for payment or modification of amortization of the sums secured by this Security Instrument granted by Lender to Borrower or any Successor in Interest of Borrower shall not operate to release the liability of Borrower or any Successors in Interest of Borrower. Lender shall not be required to commence proceedings against any Successor in Interest of Borrower or to refuse to extend time for payment or otherwise modify amortization of the sums secured by this Security Instrument by reason of any demand made by the original Borrower or any Successors in Interest of Borrower. Any forbearance by Lender in exercising any right or remedy including, without limitation, Lender's acceptance of payments from third persons, entities or Successors in Interest of Borrower or in amounts less than the amount then due, shall not be a waiver of or preclude the exercise of any right or remedy.

12. Joint and Several Liability; Security Instrument Execution; Successors and Assigns Bound. Borrower covenants and agrees that Borrower's obligations and liability shall be joint and several. However, any person who signs this Security Instrument, but does not execute the Note: (a) is signing this Security Instrument only to mortgage, grant and convey the person's interest in the Property under the terms of this Security Instrument and to comply with the requirements of Section 50(a)(6)(A), Article XVI of the Texas Constitution; (b) is not obligated to pay the sums secured by this Security Instrument and is not to be considered a guarantor or surety; (c) agrees that this Security Instrument establishes a voluntary lien on the homestead and constitutes a written agreement evidencing the person's consent to such lien; and (d) agrees that Lender and Borrower can agree to extend, modify, forbear or make any accommodations with regard to the terms of the Note. Borrower further represents, covenants, and agrees that each owner of the Property and each owner's spouse has consented to the voluntary lien on the homestead that is being established by this Security Instrument.

Subject to the provisions of Section 17, any Successor in Interest of Borrower who assumes Borrower's obligations under this Security Instrument in writing, and is approved by Lender, shall obtain all of Borrower's rights and benefits under this Security Instrument. Borrower shall not be released from Borrower's obligations and liability under this Security Instrument unless Lender agrees to such release in writing. The covenants and agreements of this Security Instrument shall bind (except as provided in Section 19) and benefit the successors and assigns of Lender.

13. Extension of Credit Charges. Lender may charge Borrower fees for services performed in connection with Borrower's default, for the purpose of protecting Lender's interest in the Property and rights under this Security Instrument, including, but not limited to, attorneys' fees, property inspection and valuation fees. In regard to any other fees, the absence of express authority in this Security Instrument to charge a specific fee to Borrower shall not be construed as a prohibition on the charging of such fee. Lender may not charge fees that are expressly prohibited by this Security Instrument or by Applicable Law.

If the Extension of Credit is subject to a law which sets a limit on the amount of Extension of Credit charges, then all agreements between Lender and Borrower are expressly limited so that any Extension of Credit charges collected or to be collected (other than interest, bona fide discount points used to buy down the interest rate, and any excluded charges listed in Section 50(a)(6)(E)(i)-(iv) of the Texas Constitution) from Borrower, the owner of the Property, or the owner's spouse in connection with the origination, evaluation, maintenance, recording, insuring or servicing of the Extension of Credit are hereby amended so that such charges do not exceed, in the aggregate, the highest amount allowed by Applicable Law. If it is finally adjudicated by a court of last resort that the amount of such Extension of Credit charges exceeds the permitted limit, then: (a) any sums already collected from Borrower which exceeded the permitted limit will be refunded to Borrower; and (b) any sums yet to be collected from Borrower which exceed the permitted limit are hereby waived by Lender. Lender will make any refund required by this section by either making a payment to Borrower or by crediting the refund amount to the

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balance due on the Extension of Credit. Borrower acknowledges that there may be a bona fide dispute with regard to whether such Extension of Credit charges exceed in the aggregate a permitted limit and agrees that Lender will not have received adequate notice that such Extension of Credit charges exceed the permitted limit, and will have no obligation to refund any excess, unless and until that fact has been finally adjudicated by a court of last resort. **The Lender's payment or credit of any such refund will extinguish any right of action or defense to foreclosure Borrower might have arising out of such overcharge.**

This Section 13 will supersede any inconsistent provision of the Note or this Security Instrument.

14. Notices. All notices given by Borrower or Lender in connection with this Security Instrument must be in writing. Any notice to Borrower in connection with this Security Instrument shall be deemed to have been given to Borrower when mailed by first class mail or when actually delivered to Borrower's notice address if sent by other means. Notice to any one Borrower shall constitute notice to all Borrowers unless Applicable Law expressly requires otherwise. The notice address shall be the Property Address unless Borrower has designated a substitute notice address by notice to Lender. Borrower shall promptly notify Lender of Borrower's change of address. If Lender specifies a procedure for reporting Borrower's change of address, then Borrower shall only report a change of address through that specified procedure. There may be only one designated notice address under this Security Instrument at any one time. Any notice to Lender shall be given by delivering it or by mailing it by first class mail (but, by certified mail if the notice is given pursuant to Section 19) to Lender's address stated herein unless Lender has designated another address by notice to Borrower. Any notice in connection with this Security Instrument shall not be deemed to have been given to Lender until actually received by Lender. If any notice required by this Security Instrument is also required under Applicable Law, the Applicable Law requirement will satisfy the corresponding requirement under this Security Instrument.

15. Governing Law; Severability; Rules of Construction. This Security Instrument shall be governed by federal law and the laws of Texas. All rights and obligations contained in this Security Instrument are subject to any requirements and limitations of Applicable Law. Applicable Law might explicitly or implicitly allow the parties to agree by contract or it might be silent, but such silence shall not be construed as a prohibition against agreement by contract. In the event that any provision or clause of this Security Instrument or the Note conflicts with Applicable Law, such conflict shall not affect other provisions of this Security Instrument or the Note which can be given effect without the conflicting provision.

As used in this Security Instrument: (a) words of the masculine gender shall mean and include corresponding neuter words or words of the feminine gender; (b) words in the singular shall mean and include the plural and vice versa; and (c) the word "may" gives sole discretion without any obligation to take any action.

16. Borrower's Copies. At the time the Extension of Credit is made, Borrower shall receive a copy of the final loan application and all executed documents signed by Borrower at closing related to the Extension of Credit.

17. Transfer of the Property or a Beneficial Interest in Borrower. As used in this Section 17, "Interest in the Property" means any legal or beneficial interest in the Property, including, but not limited to, those beneficial interests transferred in a bond for deed, contract for deed, installment sales contract or escrow agreement, the intent of which is the transfer of title by Borrower at a future date to a purchaser.

If all or any part of the Property or any Interest in the Property is sold or transferred (or if Borrower is not a natural person and a beneficial interest in Borrower is sold or transferred) without Lender's prior written consent, Lender may require immediate payment in full of all sums secured by this Security Instrument. However, this option shall not be exercised by Lender if such exercise is prohibited by Applicable Law.

If Lender exercises this option, Lender shall give Borrower notice of acceleration. The notice shall provide a period of not less than 30 days from the date the notice is given in accordance with Section 14 within which Borrower must pay all sums secured by this Security Instrument. If Borrower fails to pay these sums prior to the expiration of this period, Lender may invoke any remedies permitted by this Security Instrument without further notice or demand on Borrower.

18. Borrower's Right to Reinstate After Acceleration. If Borrower meets certain conditions, Borrower shall have the right to have enforcement of this Security Instrument discontinued at any time prior to the earliest of: (a) five days before sale of the Property pursuant to any power of sale contained in this Security Instrument; (b) such other period as Applicable Law might specify for the termination of Borrower's right to reinstate; or (c) entry of a judgment enforcing this Security Instrument. Those conditions are that Borrower: (a) pays Lender all sums which then would be due under this Security Instrument and the Note as if no acceleration had occurred; (b) cures any default of any other covenants or agreements; (c) pays all expenses, insofar as allowed by Section 50(a)(6), Article XVI of the Texas Constitution, incurred in enforcing this Security Instrument, including, but not limited to, reasonable attorneys' fees, property inspection and valuation fees, and other fees incurred for the purpose of protecting Lender's interest in the Property and rights under this Security Instrument; and (d) takes such action as Lender may reasonably require to assure that Lender's interest in the Property and rights under this Security Instrument, and Borrower's obligation to pay the sums secured by this Security Instrument, shall continue unchanged. Lender may require that Borrower pay such reinstatement sums and expenses in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check,

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provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality or entity; or (d) Electronic Funds Transfer. Upon reinstatement by Borrower, this Security Instrument and obligations secured hereby shall remain fully effective as if no acceleration had occurred. However, this right to reinstate shall not apply in the case of acceleration under Section 17.

19. Sale of Note; Change of Loan Servicer; Notice of Grievance; Lender's Right-to-Comply. The Note or a partial interest in the Note (together with this Security Instrument) can be sold one or more times without prior notice to Borrower. A sale might result in a change in the entity (known as the "Loan Servicer") that collects Periodic Payments due under the Note and this Security Instrument and performs other mortgage loan servicing obligations under the Note, this Security Instrument, and Applicable Law. There also might be one or more changes of the Loan Servicer unrelated to a sale of the Note. If there is a change of the Loan Servicer, Borrower will be given written notice of the change which will state the name and address of the new Loan Servicer, the address to which payments should be made and any other information RESPA requires in connection with a notice of transfer of servicing. If the Note is sold and thereafter the Extension of Credit is serviced by a Loan Servicer other than the purchaser of the Note, the mortgage loan servicing obligations to Borrower will remain with the Loan Servicer or be transferred to a successor Loan Servicer and are not assumed by the Note purchaser unless otherwise provided by the Note purchaser.

Neither Borrower nor Lender may commence, join, or be joined to any judicial action (as either an individual litigant or the member of a class) that arises from the other party's actions pursuant to this Security Instrument or that alleges that the other party has breached any provision of, or any duty owed by reason of, this Security Instrument, until such Borrower or Lender has notified the other party (with such notice given in compliance with the requirements of Section 14) of such alleged breach and afforded the other party hereto a reasonable period after the giving of such notice to take corrective action. If Applicable Law provides a time period which must elapse before certain action can be taken, that time period will be deemed to be reasonable for purposes of this paragraph. For example, Section 50(a)(6)(Q)(x), Article XVI of the Texas Constitution, generally provides that a lender has 60 days to comply with its obligations under the extension of credit after being notified by a borrower of a failure to comply with any such obligation. The notice of acceleration and opportunity to cure given to Borrower pursuant to Section 21 and the notice of acceleration given to Borrower pursuant to Section 17 shall be deemed to satisfy the notice and opportunity to take corrective action provisions of this Section 19.

It is Lender's and Borrower's intention to conform strictly to provisions of the Texas Constitution applicable to Extensions of Credit as defined by Section 50(a)(6), Article XVI of the Texas Constitution.

All agreements between Lender and Borrower are hereby expressly limited so that in no event shall any agreement between Lender and Borrower, or between either of them and any third party, be construed to limit Lender's right or time period to correct any failure to comply with the provisions of Section 50(a)(6), Article XVI of the Texas Constitution to the fullest extent allowed by Applicable Law. As a precondition to taking any action premised on a failure of Lender to comply with its obligations under the Extension of Credit, Borrower will advise Lender of the noncompliance by a notice given as required by Section 14, and will give Lender at least 60 days after such notice has been received by Lender to comply. Except as otherwise required by Applicable Law, Lender shall forfeit all principal and interest of the Extension of Credit only if: (a) Lender receives said notice, the failure to comply may be corrected by one of the methods set forth in Section 50(a)(6)(Q)(x), Article XVI of the Texas Constitution, and Lender fails to correct the failure to comply within sixty (60) days after it receives said notice; (b) the Extension of Credit is made by a person other than a person described under Section 50(a)(6)(P), Article XVI of the Texas Constitution; or (c) each owner of the Property and each owner's spouse has not consented to the lien established by this Security Instrument and each owner and each owner's spouse who did not initially consent does not subsequently consent. Borrower will cooperate in reasonable efforts to correct any failure by Lender to comply with Section 50(a)(6), Article XVI of the Texas Constitution, including in reasonable efforts to obtain the subsequent consent of any owner or owner's spouse who does not initially consent to the lien established by this Security Instrument.

In the event that, for any reason whatsoever, any obligation of Borrower or of Lender pursuant to the terms or requirements hereof or of any other loan document shall be construed to violate any of the provisions of the Texas Constitution applicable to Extensions of Credit as defined by Section 50(a)(6), Article XVI of the Texas Constitution, then any such obligation shall be subject to the provisions of this Section 19, and the document may be reformed, by written notice or written acknowledgment from Lender, without the necessity of the execution of any amendment or new document by Borrower, so that Borrower's or Lender's obligation shall be modified to conform to the Texas Constitution, and in no event shall Borrower or Lender be obligated to perform any act, or be bound by any requirement which would conflict therewith.

It is the express intention of Lender and Borrower to structure this Extension of Credit to conform to Applicable Law and, specifically, to the provisions of the Texas Constitution applicable to Extensions of Credit as defined by Section 50(a)(6), Article XVI of the Texas Constitution. If, from any circumstance whatsoever, any promise, payment, obligation or provision of the Note, this Security Instrument or any other loan document involving this Extension of Credit transcends the limit of validity prescribed by Applicable Law or does not comply with Section 50(a)(6), Article XVI of the Texas

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more parcels and in any order Trustee determines. Lender or its designee may purchase the Property at any sale. In the event of any conflict between such procedure and the Rules, the Rules shall prevail, and this provision shall automatically be reformed to the extent necessary to comply.

Trustee shall deliver to the purchaser who acquires title to the Property pursuant to the foreclosure of the lien a Trustee's deed conveying indefeasible title to the Property with covenants of general warranty from Borrower. Borrower covenants and agrees to defend generally the purchaser's title to the Property against all claims and demands. The recitals in the Trustee's deed shall be prima facie evidence of the truth of the statements made therein. Trustee shall apply the proceeds of the sale in the following order: (a) to all expenses of the sale, including, but not limited to, court costs and reasonable Trustee's and attorneys' fees; (b) to all sums secured by this Security Instrument; and (c) any excess to the person or persons legally entitled to it.

If the Property is sold pursuant to this Section 22, Borrower or any person holding possession of the Property through Borrower shall immediately surrender possession of the Property to the purchaser at that sale. If possession is not surrendered, Borrower or such person shall be a tenant at sufferance and may be removed by writ of possession or other court proceeding.

23. Release. Within a reasonable time after termination and full payment of the Extension of Credit, Lender shall cancel and return the Note to the owner of the Property and give the owner, in recordable form, a release of the lien securing the Extension of Credit or a copy of an endorsement of the Note and assignment of the lien to a lender that is refinancing the Extension of Credit. Owner shall pay only recordation costs. **OWNER'S ACCEPTANCE OF SUCH RELEASE, OR ENDORSEMENT AND ASSIGNMENT, SHALL EXTINGUISH ALL OF LENDER'S OBLIGATIONS UNDER SECTION 50(a)(6), ARTICLE XVI OF THE TEXAS CONSTITUTION.**

24. Non-Recourse Liability. Lender shall be subrogated to any and all rights, superior title, liens and equities owned or claimed by any owner or holder of any liens and debts outstanding immediately prior to execution hereof, regardless of whether said liens or debts are acquired by Lender by assignment or are released by the holder thereof upon payment, and regardless of whether the lien established by this Security Instrument is held to be invalid. Borrower agrees that any statute of limitations related to a cause of action or right to foreclose based on such subrogated rights, superior title, liens, and equities are hereby tolled to the extent necessary until, at the earliest, a final adjudication by a court of last resort that the lien established by this Security Instrument is invalid. Borrower further agrees that Lender shall have the same rights and powers provided in Sections 21 and 22 of this Security Instrument in connection with any such subrogated rights, superior title, liens, and equities as Lender has in connection with the lien established by this Security Instrument.

Subject to the limitation of personal liability described below, each person who signs this Security Instrument is responsible for ensuring that all of Borrower's promises and obligations in the Note and this Security Instrument are performed.

Borrower understands that Section 50(a)(6)(C), Article XVI of the Texas Constitution provides that the Note is given without personal liability against each owner of the Property and against the spouse of each owner unless the owner or spouse obtained this Extension of Credit by actual fraud. This means that, absent such actual fraud, Lender can enforce its rights under this Security Instrument solely against the Property and not personally against the owner of the Property or the spouse of an owner.

If this Extension of Credit is obtained by such actual fraud, then, subject to Section 12, Borrower will be personally liable for the payment of any amounts due under the Note or this Security Instrument. This means that a personal judgment could be obtained against Borrower, if Borrower fails to perform Borrower's responsibilities under the Note or this Security Instrument, including a judgment for any deficiency that results from Lender's sale of the Property for an amount less than is owing under the Note, thereby subjecting Borrower's other assets to satisfaction of the debt.

If not prohibited by Section 50(a)(6)(C), Article XVI of the Texas Constitution, this Section 24 shall not impair in any way the lien of this Security Instrument or the right of Lender to collect all sums due under the Note and this Security Instrument or prejudice the right of Lender as to any covenants or conditions of the Note and this Security Instrument.

25. Proceeds. The owner of the Property shall not be required to apply the proceeds of the Extension of Credit to repay another debt, unless such debt, if any, is a debt secured by the Property or a debt to another lender. If proceeds of the Extension of Credit are being applied to a debt due to Lender and not secured by the Property, it is being done voluntarily by the owner of the Property and at the owner's request. Lender would make the Extension of Credit regardless of whether any proceeds are being applied to a debt due to Lender and not secured by the Property.

26. No Assignment of Wages. The owner of the Property is not assigning wages, and shall not be required to assign wages, as security for the Extension of Credit.

27. Acknowledgment of Fair Market Value. Lender and Borrower have executed a written acknowledgment as to the fair market value of Borrower's Property on the date the Extension of Credit is made. The fair market value stated in the written acknowledgment is correct and is the value estimate in an appraisal or evaluation of the Property that was prepared in accordance with a state or federal requirement applicable to an extension of credit under Section 50(a)(6), Article XVI, Texas

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Constitution. The principal amount of the Extension of Credit, when added to the aggregate total of the outstanding principal balances of all other indebtedness secured by valid encumbrances of record against the Property, does not exceed eighty percent (80%) of the value stated in the executed acknowledgment. Borrower understands and agrees that Lender and its successors and assigns are relying upon Borrower's representations regarding the fair market value of the Property as additional consideration for making or purchasing the Extension of Credit, and that such representations are material. Borrower represents, warrants, and agrees that such representations are being made on all information known to Borrower and Lender at this time, and that Borrower may not later assert a different fair market value of the Property, even if such assertion is based on information discovered by Borrower after the Extension of Credit is made.

28. Substitute Trustee; Trustee Liability. All rights, remedies and duties of Trustee under this Security Instrument may be exercised or performed by one or more trustees acting alone or together. Lender, at its option and with or without cause, may from time to time, by power of attorney or otherwise, remove or substitute any trustee, add one or more trustees, or appoint a successor trustee to any Trustee without the necessity of any formality other than a designation by Lender in writing. Without any further act or conveyance of the Property the substitute, additional or successor trustee shall become vested with the title, rights, remedies, powers and duties conferred upon Trustee herein and by Applicable Law.

Trustee shall not be liable if acting upon any notice, request, consent, demand, statement or other document believed by Trustee to be correct. Trustee shall not be liable for any act or omission unless such act or omission is willful.

29. Acknowledgment of Waiver by Lender of Additional Collateral. Borrower acknowledges that Lender waives all terms in any of Lender's loan documentation (whether existing now or created in the future) which (a) create cross default; (b) provide for additional collateral; (c) create personal liability for any Borrower (except in the event of actual fraud), for the Extension of Credit; and/or (d) allow the Extension of Credit to be accelerated because of a decrease in the market value of the Property or because of a default under other indebtedness not secured by a prior valid encumbrance against the Property. This waiver includes, but is not limited to, any (a) guaranty; (b) cross collateralization; (c) future indebtedness; (d) cross default; and/or (e) dragnet provisions in any loan documentation with Lender.

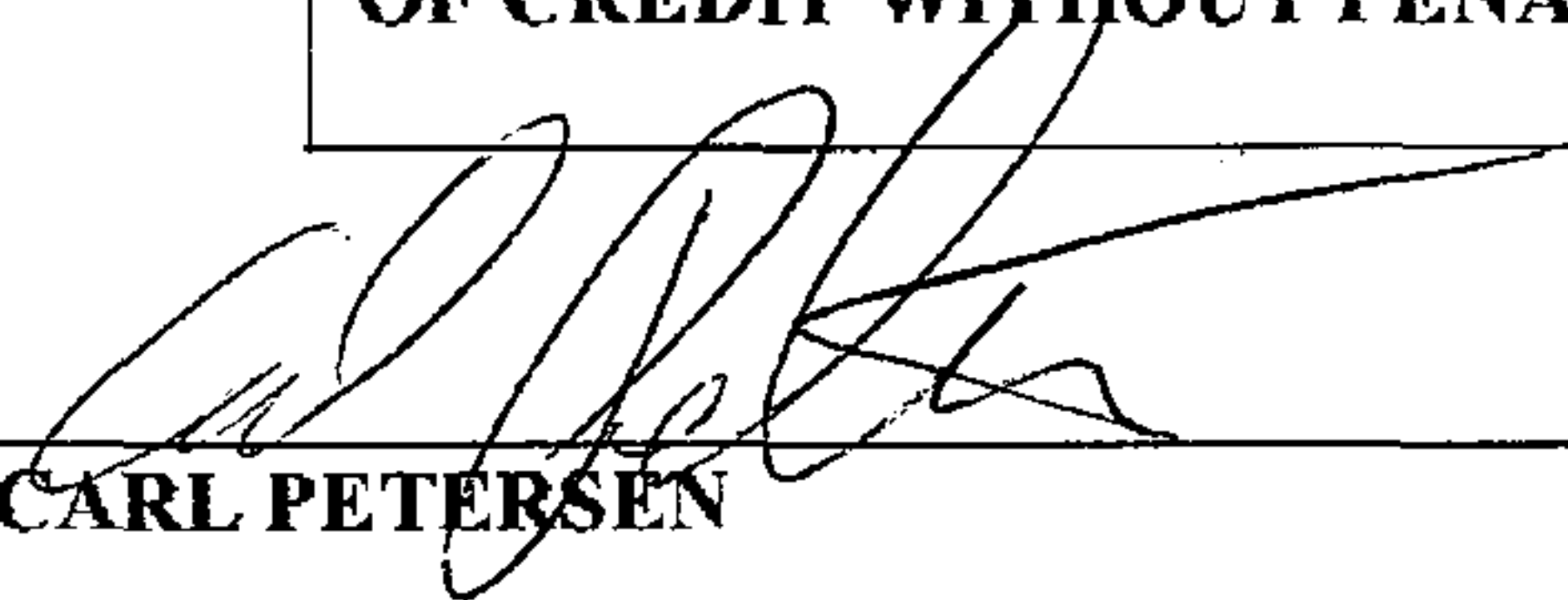
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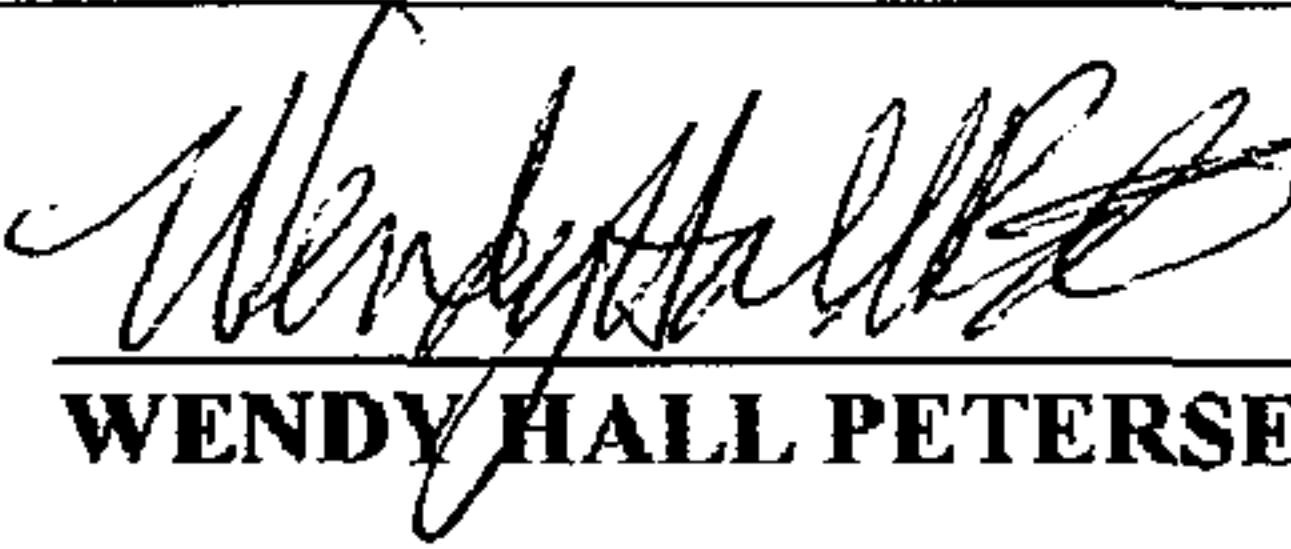
BY SIGNING BELOW, Borrower accepts and agrees to the terms and covenants contained in this Security Instrument and in any Rider executed by Borrower and recorded with it.

[DO NOT SIGN IF THERE ARE BLANKS LEFT TO BE COMPLETED IN THIS DOCUMENT. THIS DOCUMENT MUST BE EXECUTED AT THE OFFICE OF LENDER, AN ATTORNEY AT LAW OR A TITLE COMPANY. YOU MUST RECEIVE A COPY OF THIS DOCUMENT AFTER YOU HAVE SIGNED IT.]

YOU MAY, WITHIN 3 DAYS AFTER CLOSING, RESCIND THIS EXTENSION OF CREDIT WITHOUT PENALTY OR CHARGE.



CARL PETERSEN -Borrower



WENDY HALL PETERSEN -Borrower

-Borrower

-Borrower

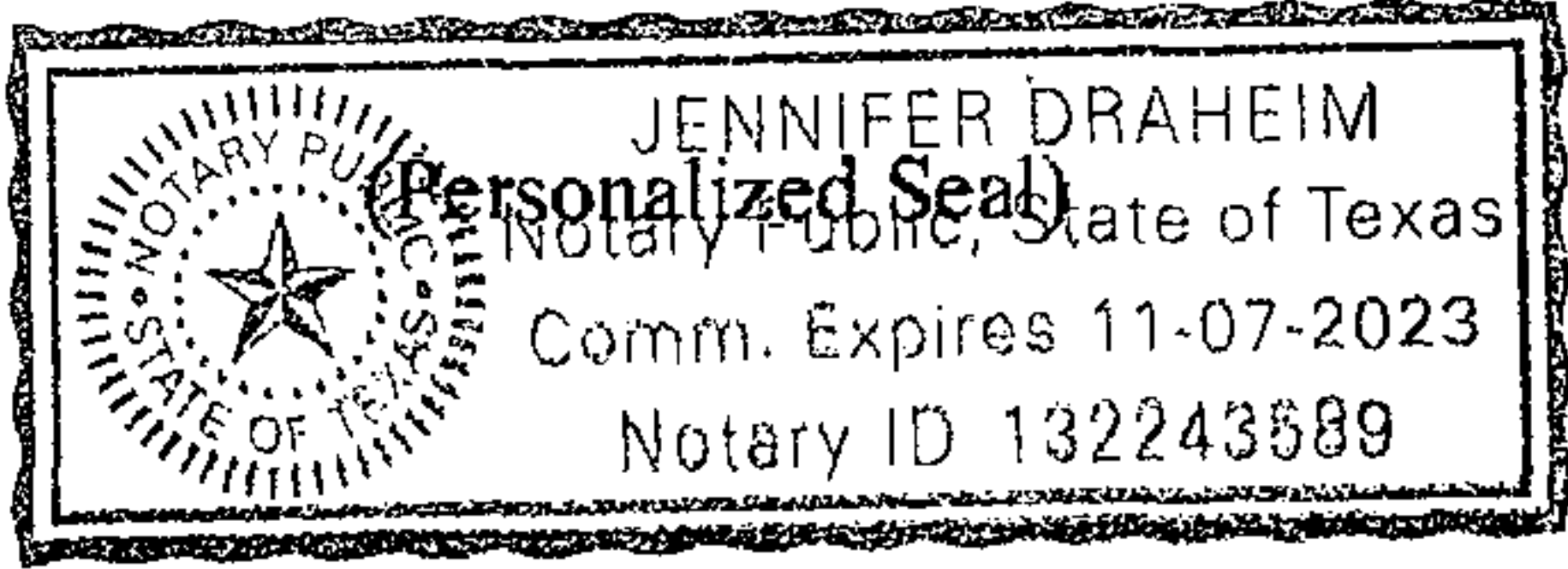
-Borrower

-Borrower

[Space Below This Line for Acknowledgment]

State of Texas
County of ~~COLLIN~~ Rockwall § § *Q*

This instrument was acknowledged before me on Nov 18, 2020 (date) by **CARL PETERSEN and WENDY HALL PETERSEN** (name or names of person or persons acknowledging).



Jennifer Draheim

Signature of Officer
E.O

Title of Officer
11-7-2023

My Commission Expires

Loan Originator Organization: AMCAP MORTGAGE, LTD.; NMLSR ID: 129122
Loan Originator Organization: ANGEL OAK MORTGAGE SOLUTIONS, LLC; NMLSR ID: 1160240
Individual Loan Originator: ANDREA SMITH; NMLSR ID: 207168

TEXAS HOME EQUITY PLANNED UNIT DEVELOPMENT RIDER

Loan Number: 802009148953

THIS PLANNED UNIT DEVELOPMENT RIDER is made this 18TH day of NOVEMBER, 2020, and is incorporated into and shall be deemed to amend and supplement the Security Instrument of the same date, given by the undersigned (the "Borrower") to secure Borrower's Note to ANGEL OAK MORTGAGE SOLUTIONS, LLC (the "Lender") of the same date and covering the property described in the Security Instrument and located at:

108 RELIANCE COURT, ROCKWALL, TX 75032

[Property Address]

The property includes, but is not limited to, a parcel of land improved with a dwelling, together with other such parcels and certain common areas and facilities, as described in covenants, conditions, and restrictions filed in the Real Property records of the county in which the property is located (the "Declaration"). The property is a part of a planned unit development described in the Declaration (the "PUD"). The property also includes Borrower's interest in the homeowners association or equivalent entity owning or managing the common areas and facilities of the PUD (the "Owners Association") and the uses, benefits and proceeds of Borrower's interest. Insofar as permitted by Section 50(a)(6)(H), Article XVI of the Texas Constitution, "homestead" shall include the elements of the property described by this Rider.

PUD COVENANTS. In addition to the covenants and agreements made in the Security Instrument, Borrower and Lender further covenant and agree as follows:

A. PUD Obligations. Borrower shall perform all of Borrower's obligations under the PUD's Constituent Documents. The "Constituent Documents" are the: (i) Declaration; (ii) articles of incorporation, trust instrument or any equivalent document which creates the Owners Association; and (iii) any by-laws or other rules or regulations of the Owners Association. Borrower shall promptly pay, when due, all dues and assessments imposed pursuant to the Constituent Documents.

B. Property Insurance. So long as the Owners Association maintains, with a generally accepted insurance carrier, a "master" or "blanket" policy insuring the property which is satisfactory to Lender and which provides insurance coverage in the amounts (including deductible levels), for the periods, and against loss by fire, hazards included within the term "extended coverage," and any other hazards, including, but not limited to, earthquakes and floods, from which Lender requires insurance, then:

(i) Lender waives the provision in Section 3 for the Periodic Payment to Lender of the yearly premium installments for property insurance on the property; and

(ii) Borrower's obligation under Section 5 to maintain property insurance coverage on the property is deemed satisfied to the extent that the required coverage is provided by the Owners Association policy.

What Lender requires as a condition of this waiver can change during the term of the loan.

Borrower shall give Lender prompt notice of any lapse in required property insurance coverage provided by the master or blanket policy.

In the event of a distribution of property insurance proceeds in lieu of restoration or repair following a loss to the property, or to common areas and facilities of the PUD, any proceeds payable to Borrower shall be paid to Lender. Lender shall apply the proceeds to the sums secured by the Security Instrument, whether or not then due, with the excess, if any, paid to Borrower.

C. Public Liability Insurance. Borrower shall take such actions as may be reasonable to insure that the Owners Association maintains a public liability insurance policy acceptable in form, amount, and extent of coverage to Lender.

D. Condemnation. The proceeds of any award or claim for damages, direct or consequential, payable to Borrower in connection with any condemnation or other taking of all or any part of the property or the common areas and facilities of the PUD, or for any conveyance in lieu of condemnation, shall be paid to Lender. Such proceeds shall be applied by Lender to the sums secured by the Security Instrument as provided in Section 10.

E. Lender's Prior Consent. Borrower shall not, except after notice to Lender and with Lender's prior written consent, either partition or subdivide the property or consent to:

(i) the abandonment or termination of the PUD, except for abandonment or termination required by law in the case of substantial destruction by fire or other casualty or in the case of a taking by condemnation or eminent domain;

(ii) any amendment to any provision of the "Constituent Documents" if the provision is for the express benefit of Lender;

(iii) termination of professional management and assumption of self-management of the Owners Association; or


(iv) any action which would have the effect of rendering the public liability insurance coverage maintained by the Owners Association unacceptable to Lender.

Initials: CP Whp


F. Remedies. If Borrower does not pay PUD dues and assessments when due, then Lender, if allowed by applicable law, may pay them. Any amounts disbursed by Lender under this paragraph F shall become additional debt of Borrower secured by the Security Instrument. Unless Borrower and Lender agree to other terms of payment, these amounts shall bear interest from the date of disbursement at the Note rate and shall be payable, with interest, upon notice from Lender to Borrower requesting payment.

BY SIGNING BELOW, Borrower accepts and agrees to the terms and provisions contained in this PUD Rider.

[DO NOT SIGN IF THERE ARE BLANKS LEFT TO BE COMPLETED IN THIS DOCUMENT. THIS DOCUMENT MUST BE EXECUTED AT THE OFFICE OF THE LENDER, AN ATTORNEY AT LAW OR A TITLE COMPANY. YOU MUST RECEIVE A COPY OF THIS DOCUMENT AFTER YOU HAVE SIGNED IT.]



CARL PETERSEN (Seal)
- Borrower



WENDY HALL PETERSEN (Seal)
- Borrower

(Seal)
- Borrower

(Seal)
- Borrower

(Seal)
- Borrower

(Seal)
- Borrower

Electronically Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
11/25/2020 10:57:26 AM
Fee: \$86.00
2020000028897





Standards of the City of Rockwall District Development Standards of the City of Rockwall, Texas, as set forth in the City of Rockwall Code of Ordinances, Ordinance No. 20-02, and the City of Rockwall Code of Ordinances, Ordinance No. 02-02, Short-Term Rentals, and the City of Rockwall Code of Ordinances, Ordinance No. 13-02, Rental Housing, as heretofore amended and as may be amended in the future.

2.1. OPERATIONAL CONDITIONS

The following conditions shall apply to the Subject Property for Non-Owner-Occupied Short-Term Rental use:

- 1. The Subject Property shall comply with the requirements of the City of Rockwall Code of Ordinances, Ordinance No. 02-02, Short-Term Rentals, and the City of Rockwall Code of Ordinances, Ordinance No. 13-02, Rental Housing, as heretofore amended and as may be amended in the future, and shall obtain a Short-Term Rental Permit Application and Exhibits 'B' as required.
- 2. All other conditions shall apply to the Subject Property as set forth in the City of Rockwall Code of Ordinances, Ordinance No. 02-02, Short-Term Rental Permit.
- 3. All other conditions shall apply to the Subject Property as set forth in the City of Rockwall Code of Ordinances, Ordinance No. 02-02, Short-Term Rental Permit and Registration, and the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Specific Use Permits (SUP), as heretofore amended and as may be amended in the future, and shall obtain a Specific Use Permit (SUP) as required by the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Development Applications and Review Procedures, as heretofore amended and as may be amended in the future, and the City of Rockwall Code of Ordinances, Ordinance No. 20-02, Short-Term Rentals, as heretofore amended and as may be amended in the future.

2.2. COMPLIANCE

All other conditions shall apply to the Subject Property as set forth in the City of Rockwall Code of Ordinances, Ordinance No. 02-02, Specific Use Permits (SUP), as heretofore amended and as may be amended in the future, and the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Development Applications and Review Procedures, as heretofore amended and as may be amended in the future, and the City of Rockwall Code of Ordinances, Ordinance No. 20-02, Short-Term Rentals, as heretofore amended and as may be amended in the future.

- 1. The City of Rockwall Code of Ordinances, Ordinance No. 02-02, Short-Term Rental Permit and Registration, as heretofore amended and as may be amended in the future, shall apply to the Subject Property. If the City of Rockwall Code of Ordinances, Ordinance No. 02-02, Short-Term Rental Permit and Registration, as heretofore amended and as may be amended in the future, is violated, the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Specific Use Permits (SUP), as heretofore amended and as may be amended in the future, shall apply to the Subject Property. If the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Specific Use Permits (SUP), as heretofore amended and as may be amended in the future, is violated, the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Development Applications and Revision Procedures, as heretofore amended and as may be amended in the future, shall apply to the Subject Property. If the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Development Applications and Revision Procedures, as heretofore amended and as may be amended in the future, is violated, the City of Rockwall Code of Ordinances, Ordinance No. 20-02, Short-Term Rentals, as heretofore amended and as may be amended in the future, shall apply to the Subject Property.

SECTION 3. The City of Rockwall Code of Ordinances, Ordinance No. 02-02, Short-Term Rentals, as heretofore amended and as may be amended in the future, shall apply to the Subject Property.

SECTION 4. The City of Rockwall Code of Ordinances, Ordinance No. 13-02, Rental Housing, as heretofore amended and as may be amended in the future, shall apply to the Subject Property.

SECTION 5. A fine of not less than TWO THOUSAND DOLLARS (\$2,000.00) shall be assessed for each violation of the City of Rockwall Code of Ordinances, Ordinance No. 02-02, Short-Term Rental Permit and Registration, as heretofore amended and as may be amended in the future, or the City of Rockwall Code of Ordinances, Ordinance No. 13-02, Rental Housing, as heretofore amended and as may be amended in the future, or the City of Rockwall Code of Ordinances, Ordinance No. 20-02, Short-Term Rentals, as heretofore amended and as may be amended in the future.

SECTION 6. If the City of Rockwall Code of Ordinances, Ordinance No. 02-02, Short-Term Rental Permit and Registration, as heretofore amended and as may be amended in the future, is violated, the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Specific Use Permits (SUP), as heretofore amended and as may be amended in the future, shall apply to the Subject Property. If the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Specific Use Permits (SUP), as heretofore amended and as may be amended in the future, is violated, the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Development Applications and Revision Procedures, as heretofore amended and as may be amended in the future, shall apply to the Subject Property. If the City of Rockwall Code of Ordinances, Ordinance No. 11-02, Development Applications and Revision Procedures, as heretofore amended and as may be amended in the future, is violated, the City of Rockwall Code of Ordinances, Ordinance No. 20-02, Short-Term Rentals, as heretofore amended and as may be amended in the future, shall apply to the Subject Property.

Ordinance 09.24.2024

SECTION 7. The following Ordinance is hereby adopted and shall be in full force and effect from and after the date hereof.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF NOVEMBER, 2024.

Troy D. ... Mayor

ATTEST:

Kris ... City Secretary

APPROVED AS TO FORM:

... City Attorney

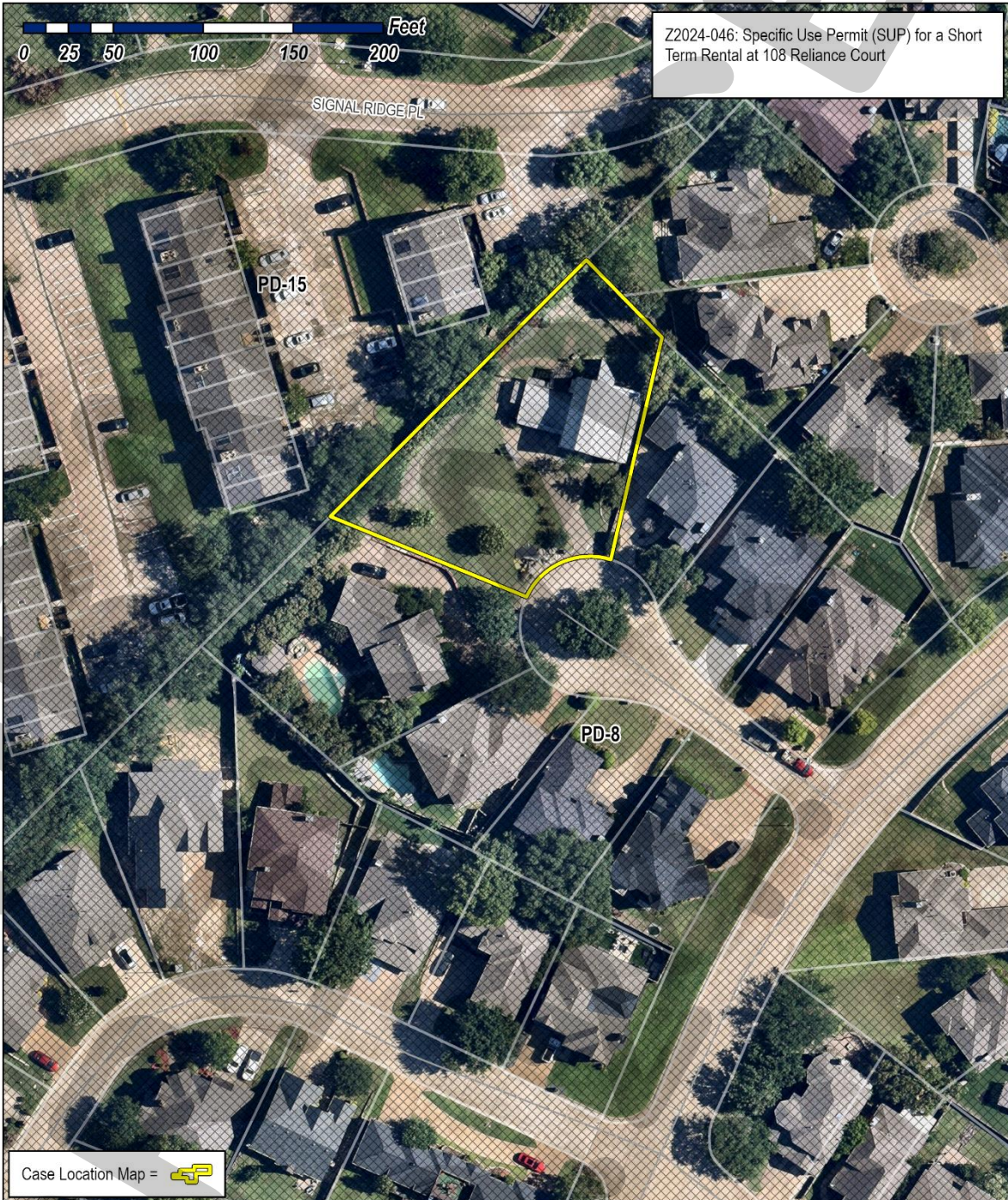
1st Read ... October 21, 2024

2nd Read ... November 4, 2024

Exhibit 'A'
Zoning Exhibit

Address: 108 Reliance Court

Legal Description: Lot 25-R, Block A, Chandler's Landing #20 Addition



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Z2024-04 SUP STR 108 R C P 4
Ord N 24-XX SUP S-3XX

Exhibit 'B':
Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
Neighborhood Improvement Services (NIS) Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY	
RECEIVED BY:	
DATE RECEIVED:	
STR PERMIT NO.	

ACKNOWLEDGEMENTS BY PROPERTY OWNER [PLEASE INITIAL BY EACH STATEMENT]

- wp I acknowledge that a *Short-Term Rental Permit* granted by the City of Rockwall does not supersede any property specific restrictions against *Short-Term Rentals* that may exist under law, agreement, lease, covenant, or deed restriction.
- wp I acknowledge that if three (3) violations/citations occur in any consecutive 12-month period, that my *Short-Term Rental Permit* will be revoked and that I will not be eligible to apply for a new *Short-Term Rental Permit* for 12-months from the date of revocation. In addition, I acknowledge that the City of Rockwall will have the right to inspect my property when a violation is reported or suspected.
- wp I acknowledge that a *Short-Term Rental Permit* and any non-conforming rights associated with a *Short-Term Rental Permit* are non-transferable to another property owner or operator, or address or location.
- wp I acknowledge that I am responsible for remitting all applicable state, county, and local hotel occupancy taxes in a timely manner pursuant to all applicable laws and the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinance. I also acknowledge that failure to pay hotel occupancy tax will result in the revocation of my *Short-Term Rental Permit*.
- wp I acknowledge that a *Short-Term Rental Permit* is valid for a period of three (3) years, and -- as the owner of the subject property -- it is my responsibility to apply for a renewal 30-days prior to the expiration of my *Short-Term Rental Permit*. Should I fail to submit a renewal application in this time period, I will forfeit all non-conforming rights and be required to submit a new application that will be subject to all the current requirements stipulated by the Unified Development Code (UDC) and Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances.

REGISTRATION TYPE

- New Registration | Renewal of an Existing Registration
Was this property being used as a short-term rental prior to April 1, 2024? Yes | No

PROPERTY INFORMATION [PLEASE PRINT]

Address	108 Reliance Court, Rockwall, TX 75032	Zoning	Chandlers Landing Phase 20
Subdivision	Chandlers Landing	Lot	25-R Block A
General Location	just inside the Chandlers main entrance, turn right OR left and go exactly 1 mile to Reliance Court		

TYPE OF SHORT-TERM RENTAL

Please indicate the type of short-term rental being permitted and registered:

- SHORT-TERM RENTAL (OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)** A single-family home, townhome, or duplex -- or portion thereof -- in which the property owner or operator, as reflected in a valid lease agreement, is a resident (i.e. occupies the primary structure) and is present during the rental. This includes when a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is detached from the primary structure and either the primary or secondary structure is rented, but the owner or operator resides on the property.
- SHORT-TERM RENTAL (NON-OWNER-OCCUPIED SINGLE-FAMILY HOME, TOWNHOME, OR DUPLEX)** A single-family home, townhome, or duplex -- or a portion thereof -- in which the property owner or operator does not occupy the dwelling unit during the rental, or that the owner or property owner does not occupy another dwelling unit -- or portion thereof -- on the same property (i.e. the property owner or operator is not on-site as an occupant during the rental of the property).
- SHORT-TERM RENTAL (APARTMENT OR CONDOMINIUM)** An apartment or condominium (or similar multi-family structure, excluding duplexes, but including triplexes or quadplexes, as defined in this Unified Development Code [UDC]) -- or a portion thereof -- in which the property owner or operator may or may not be an occupant of the dwelling unit during the rental.

PROPERTY OWNER INFORMATION [PLEASE PRINT]

Name	Wendy Petersen	Phone	214-675-4142
Mailing Address	2880 Chippewa Way	City	Provo State UT Zip Code 84604-4349
Email	wendyhp55@gmail.com		

RESPONSIBLE PARTY [PLEASE PRINT]

Please note that a *Responsible Party* is required for all *Short-Term Rental Permit* applications. A *Responsible Party* is a local representative that resides in Rockwall County and who is available at all time the rental is in use. The *Responsible Party* must be available within one (1) hour of contact and must be authorized to make decisions regarding the property and its occupants.

- Same as Property Owner

Name	Michael Lund	Phone	469-264-9632
Mailing Address	5425 Ranger Drive	City	Rockwall State TX Zip Code 75032
Email	lund.michael.james@gmail.com		

SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7709

Exhibit 'B'

Short-Term Rental Permit Application



SHORT-TERM RENTAL PERMIT APPLICATION AND REGISTRATION

City of Rockwall
 Neighborhood Improvement Services (NIS) Department
 385 S. Goliad Street
 Rockwall, Texas 75087

REQUIREMENTS CHECKLIST

Please indicate that the following required items have been provided with this application by checking the box next to each required item:

- REGISTRATION FEE** A \$500.00 application fee payable to the City of Rockwall.
- SITE PLAN** A site plan showing the location of the *Short-Term Rental* and the parking areas provided for the *Short-Term Rental*.
- PICTURES** Pictures of the subject property showing the rear, front, and side yards of the subject property. In addition, pictures of all structures -- one (1) per each façade of a structure -- and any on-site amenities.
- COMMERCIAL INSURANCE** Each *Short-Term Rental* shall be required to have and provide proof of general commercial insurance (or an equivalent) coverage of a minimum of \$500,000.00 per occurrence coverage and an aggregate of \$1,000,000.00.
- DRIVER LICENSE** A copy of the driver license for the property owner and responsible party.

GENERAL STANDARDS CHECKLIST

Please indicate that subject property currently conforms with the following requirements by checking the box next to each general standard:

- ADVERTISING** All advertising for the *Short-Term Rental* -- including online or on a proprietary website, application, or other technology -- will include the *Short-Term Rental Permit Number* within the description or body of the advertisement for public reference.
- PARKING** The parking on the subject property currently conforms to the requirements of *Table 5: Parking Requirement Schedule* of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). In addition, I understand that all parking shall be on an improved surface (i.e. gravel, pavers, asphalt, or concrete) and no guest or occupant will park on an unimproved surface (e.g. grass, vegetation, soil, etc.).
- EVACUATION PLAN** [ONLY APPLICABLE TO APARTMENTS AND CONDOMINIUMS THAT DO NOT HAVE DIRECT INGRESS/EGRESS TO THE EXTERIOR OF THE BUILDING FROM THE FRONT DOOR] An evacuation plan showing how to exit the building has been posted on the front door.
- TEMPORARY STRUCTURES** There are no temporary structures (i.e. recreational vehicles/campers, vehicles intended for occupancy, tents, canopies or shade structures that are not permitted by the City of Rockwall, or similar structures or vehicles) being utilized as a *Short-Term Rental*.
- TRASH/RUBBISH/SOLID WASTE** There are enough City approved containers (i.e. a polycarts or approved garage cans) to hold all trash/rubbish/solid waste produced on-site. I also understand that it will be a violation to have any trash/rubbish/solid waste -- bagged or otherwise -- placed on the ground.
- SIGNAGE** No external signage shall be installed or constructed on the property indicating or advertising the property as a *Short-Term Rental*.
- FIRE EXTINGUISHER** A standard five (5) pound fire extinguisher (i.e. 2A:10B:C) has been properly mounted within 75-feet of all portions of the *Short-Term Rental* on each floor.
- SMOKE AND CARBON MONOXIDE DETECTORS** Operable smoke and carbon monoxide detectors have been installed in the *Short-Term Rental* in accordance with all applicable City of Rockwall codes.
- INGRESS/EGRESS** All bedrooms in the *Short-Term Rental* have at least one (1) operable emergency point of ingress/egress for rescue and escape (i.e. windows and/or doors).
- SLEEPING ACCOMMODATIONS** There is no overnight sleeping outdoors or outdoor sleeping spaces provided as part of the *Short-Term Rental*.
- TENANT NOTIFICATION** The following information has been posted in a visible and obvious location inside the *Short-Term Rental*: [1] the property owner's and/or the Responsible Party's contact information and phone number; [2] pertinent information relating to the aforementioned standards (i.e. the location of the required off-street parking, the schedule, location, and requirements regarding trash/rubbish/solid waste; information regarding the conduct of guests; and etc.); [3] information to assist guests in the case of an emergency (i.e. emergency and non-emergency telephone numbers for police, fire, and medical services); and [4] a notice that failure to conform to the requirements and codes of the City of Rockwall is a violation, and that an owner, occupant, or visitor can be cited for violations to these requirements.

RESPONSIBLE PARTY'S CERTIFICATION

I hereby certify that I am the *Responsible Party* of the property identified in this application, and that my primary residence is located in Rockwall County. I further understand my responsibilities as the *Responsible Party* as stipulated by Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and consent to have my information posted online. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7th DAY OF August, 2024
 RESPONSIBLE PARTY'S SIGNATURE Michael Lund
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jasmine Fontenot County of Dallas MY COMMISSION EXPIRES 05/28/2025

Electronically signed and notarized online using the Proof platform.

PROPERTY OWNER'S CERTIFICATION

I hereby certify that I am the property owner of the property identified in this application, and that all information provided on this application is true and correct. I also hereby certify that the property identified in this application is in compliance with all of the requirements of Chapter 13, *Rental Housing*, of the Municipal Code of Ordinances, and that it is my sole responsibility to ensure that the property continues to be in compliance with the rules, requirements, and regulations of the City of Rockwall. I further acknowledge that failure to comply with these requirements and attests will lead to the revocation of this *Short-Term Rental Permit*.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7th DAY OF August, 2024
 PROPERTY OWNER'S SIGNATURE Wendy Hall Petersen
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jasmine Fontenot County of Galveston MY COMMISSION EXPIRES October 10, 2027

Electronically signed and notarized online using the Proof platform.

SHORT-TERM RENTAL APPLICATION AND REGISTRATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • (972) 771-1709

Z2024-04 SUP r STR
 108 R C r
 Ord N 23-XX SUP S-3XX

P

City of Rockwall, Texas

Exhibit 'C':
Short-Term Rental Photographs



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/19/2024

PROJECT NUMBER: Z2024-047
PROJECT NAME: SUP for 1801 Goliad Street
SITE ADDRESS/LOCATIONS: 1801 Goliad Street

CASE CAPTION: Hold a public hearing to discuss and consider a request by Eric Heideloff of Enterprise Rental Car for the approval of a Specific Use Permit (SUP) for Automobile Rental on a 1.1540-acre parcel of land identified as Lot 1, Block 1, HJG Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1801 S. Goliad Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	09/19/2024	Approved w/ Comments

09/19/2024: Z2024-047; Specific Use Permit (SUP) for Automobile Rental
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This request is for the approval of a Specific Use Permit (SUP) for Automobile Rental on a 1.1540-acre parcel of land identified as Lot 1, Block 1, HJG Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1801 S. Goliad Street.
- I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (Z2024-047) in the lower right-hand corner of all pages on future submittals.

I.4 According to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC), Automobile Rental requires a Specific Use Permit (SUP) in a Commercial (C) District.

I.5 According to Subsection 02.02 Land Uses Definitions, of Article 13, of the Unified Development Code (UDC), Automobile Rental is defined as: "(a) business that engages in the rental of light load motor vehicles for short periods of time for a fee. This use excludes the truck and heavy equipment rental."

I.6 Based on the submitted materials, staff has included the following Operational Conditions in the Specific Use Permit (SUP) ordinance:

- 1) The development of this property shall generally conform to the Concept Plan depicted in Exhibit 'B' of this SUP ordinance for the development of an Enterprise Rent-A-Car.
- 2) The development or redevelopment of the subject property shall generally conform to the Building Elevations depicted in Exhibit 'C' of this ordinance; however, these elevations shall be subject to review and recommendation by the Architecture Review Board (ARB) and approval by the Planning and Zoning Commission through the site plan review process.
- 3) Increased landscaping shall be installed in the parking medians and landscape buffer adjacent to the vehicle storage areas.

M.7 Site Plan.

- 1) An amended site plan will be required following the approval of the Specific Use Permit (SUP). (Subsection 03.02 (B), Article 11, UDC)
- 2) The car wash building will need to meet the building separation requirements of the Commercial District Development Standards or be incorporated into the existing structure. Without a fire rated wall, the building separation is 20 feet. The current site plan appears to show the buildings with no separation but as two (2) separate structures. (Subsection

07.03, Article 05, UDC)

3) The customer parking portion shall meet the office parking requirements of 1 parking space per 300 SF of the main building. (Table 5, Article 06, UDC)

M.8 Building Elevations.

- 1) Dumpster enclosure must be finished with the same primary materials as the building (i.e. brick), shall incorporate a self-latching gate, and be screened with evergreen shrubs. (Subsection 01.05.B, Article 05, UDC)
- 2) The proposed elevations will be subject to the General Overlay District Standards contained within Section 06, Article 05, of the Unified Development Code (UDC).
- 3) Dash in all roof top mounted equipment and demonstrate that it will be fully screened.

I.9 Landscape.

- 1) The current landscaping is out of conformance with the original site plan. This will need to be updated at site plan to the current standards of the UDC.
- 2) Vehicle storage shall be screened with increased landscape screening. (Subsection 05.02, Article 08, UDC)
- 3) Two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along S Goliad Street. (Subsection 06.02(E), Article 05, UDC) Six (6) canopy and 12 accent trees are required for the 250 feet of frontage of this lot.
- 4) Indicate any screening for pad-mounted or ground mounted utility equipment. (Subsection 01.05.C, of Article 05, UDC)
- 5) Indicate screening required for dumpsters. Dumpsters shall be four (4) sided, eight (8) foot in height, solid masonry enclosures that utilize the primary building materials of the associated building. Dumpster enclosures must incorporate a self-latching gate and require screening shrubs. (Subsection 06.02.D.7, of Article 05, UDC)
- 6) All parking spaces must be within 80' of a canopy tree. (Subsection 05.03.E, of Article 08, UDC)

I.10 A photometric plan will be required at the time of site plan. (Subsection 03.03, Article 07, UDC)

M.11 Please review the attached Draft Ordinance prior to the September 24, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than October 1, 2024. In reviewing the Draft Ordinance, please pay close attention to staff's suggestions.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 15, 2024 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 24, 2024.

I.13 The projected City Council meeting dates for this case will be October 21, 2024 (1st Reading) and November 4, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved w/ Comments

- 09/17/2024: 1. Dumpster can't be in an easement.
- 2. Dumpster must drain to an oil/water separator prior to discharging into the storm system.
- 3. Additional comments may come at time of Site Plan/Engineering.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Approved w/ Comments

- 09/18/2024: * DUMPSTER ENCLOSURE IS REQUIRED TO MEET THE HEIGHT REQUIREMENT OF 8 FEET SINCE THIS PROPERTY IS LOCATED IN A OVERLAY DISTRICT
- * DUMPSTER ENCLOSURE IS TO BE EQUIPPED WITH A DRAIN THAT SHALL FLOW INTO AN OIL/WATER SEPARATOR AND DISCHARGE INTO THE STORM WATER LINE/INLET
- * IF OUTSIDE WASHING OF VEHICLES IS ALLOWED, THIS AREA WILL BE REQUIRED TO BE CONTAINED, HAVE A DRAIN TO FLOW THROUGH A SAND/OIL SEPARATOR BEFORE DISCHARDING TO THE SANITARY SEWER
- * BUILDING PERMIT WILL BE REQUIRED

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/16/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/16/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved
No Comments			

Dumpster can't be in easement

Proposed
Dumpster
Enclosure

Dumpster must drain to an
oil/water separator prior to
discharging into the storm
system

Proposed Enclosed
Car Detailing Area

Additional comments may
come at time of Site
Plan/Engineering.

1801 S Golias St



Proposed Auto Wash and Detailing Area

Proposed Customer Parking-ADA

Proposed Dumpster Enclosure

Proposed Auto Rental Parking

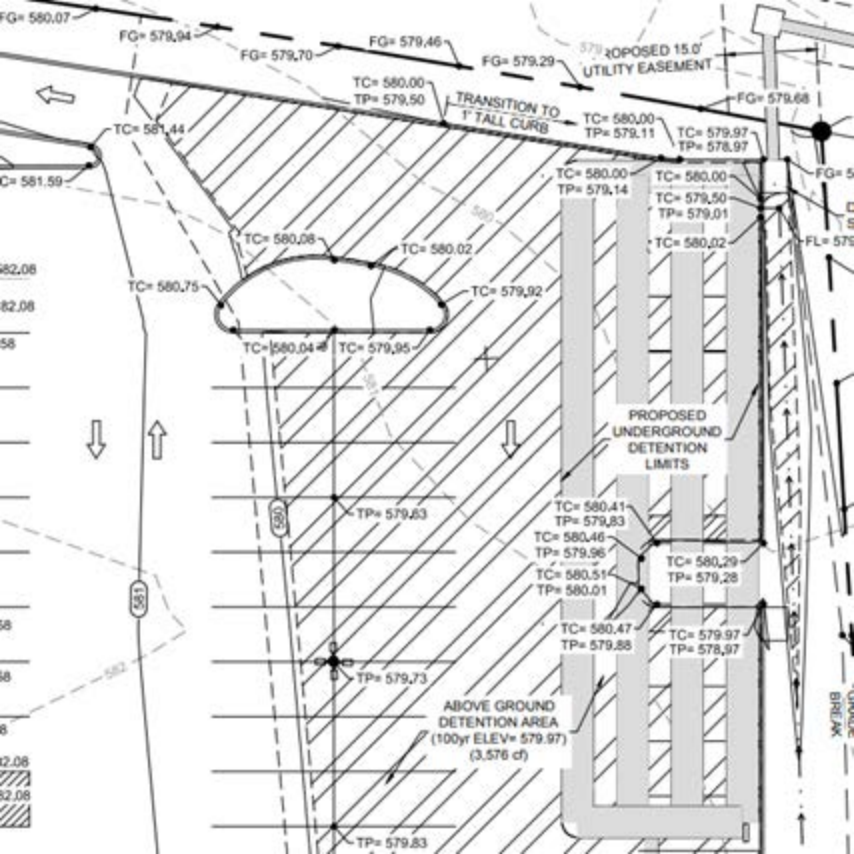
That location for the dumpster is also still in a drainage/detention easement and needs to be proposed in a different location. See next page for easements.

•Since they moved the dumpster area, they must have an oil/water separator and the remaining parking spaces must be 20'x9'.

Auto Rental

Auto Rental







DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1801 Goliad Street

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION Dairy Queen

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Zone C

CURRENT USE Dairy Queen

PROPOSED ZONING

PROPOSED USE Enterprise Rent A Car

ACREAGE 1.15

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Dairyrock, LLC

APPLICANT Enterprise Rent A Car

CONTACT PERSON Tracey Darroll

CONTACT PERSON Eric Heideloff

ADDRESS 300 SF 5th Avenue Suite 4100

ADDRESS 8200 John Carpenter Freeway

CITY, STATE & ZIP Boca Raton, FL 33432

CITY, STATE & ZIP Dallas, TX 75247

PHONE 954.999.5173

PHONE 330-351-6079

E-MAIL tdarroll@outbok.com

E-MAIL Eric.C.Heideloff@em.com

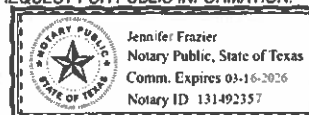
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TRACY DARROLL Rep for DAIRYROCK, LLC [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 200.00 + 15/acre. TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF September, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF September, 2024.

OWNER'S SIGNATURE



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES 03/16/2026



Signed by: Jennifer Frazier

Time: 2024-09-13 18:07:52 UTC

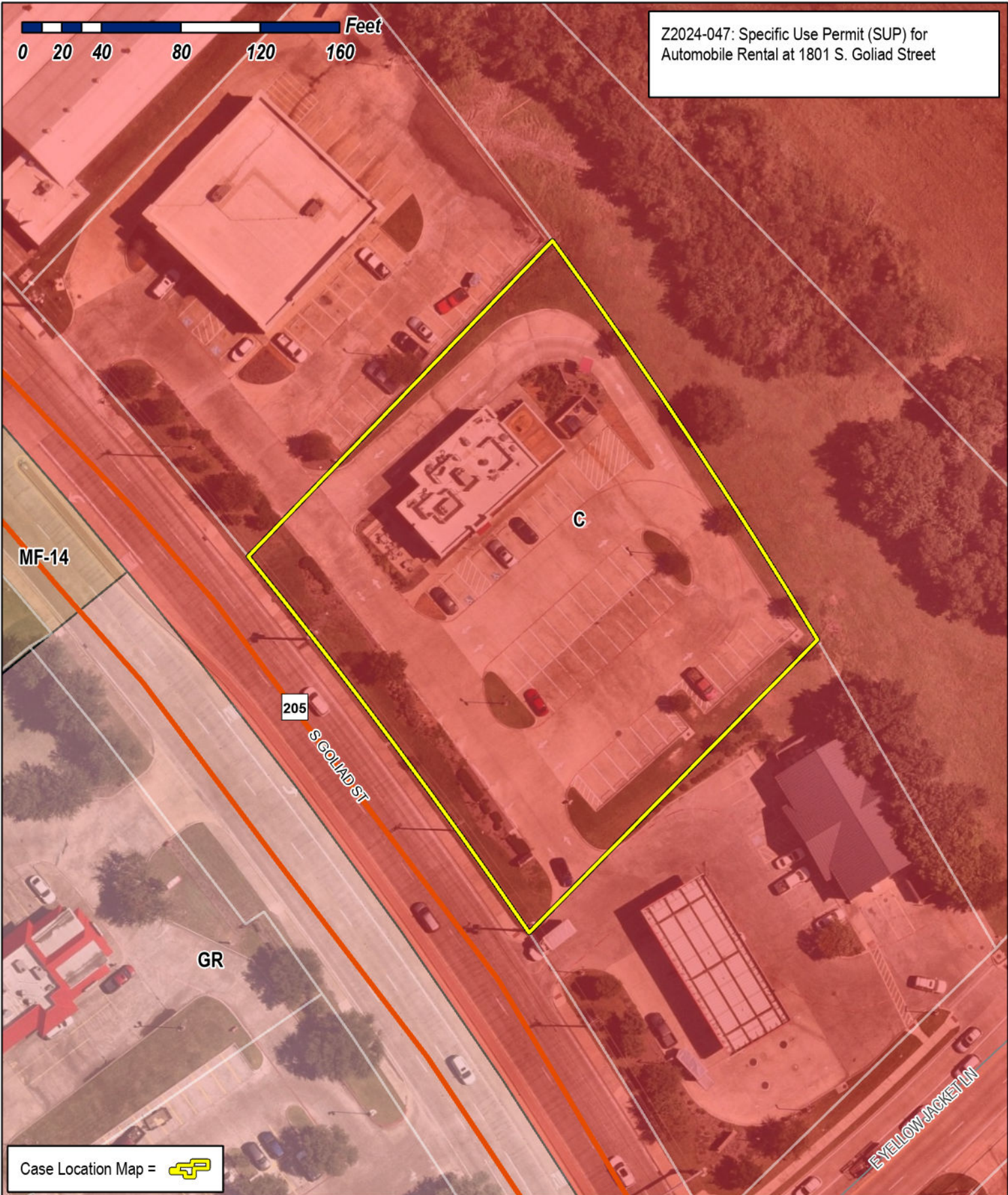
URL: <https://notarylive.com/tu/cdp/99CS4T>

Access ID: 99CS4T

Pin: 2732KU



Z2024-047: Specific Use Permit (SUP) for Automobile Rental at 1801 S. Goliad Street



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

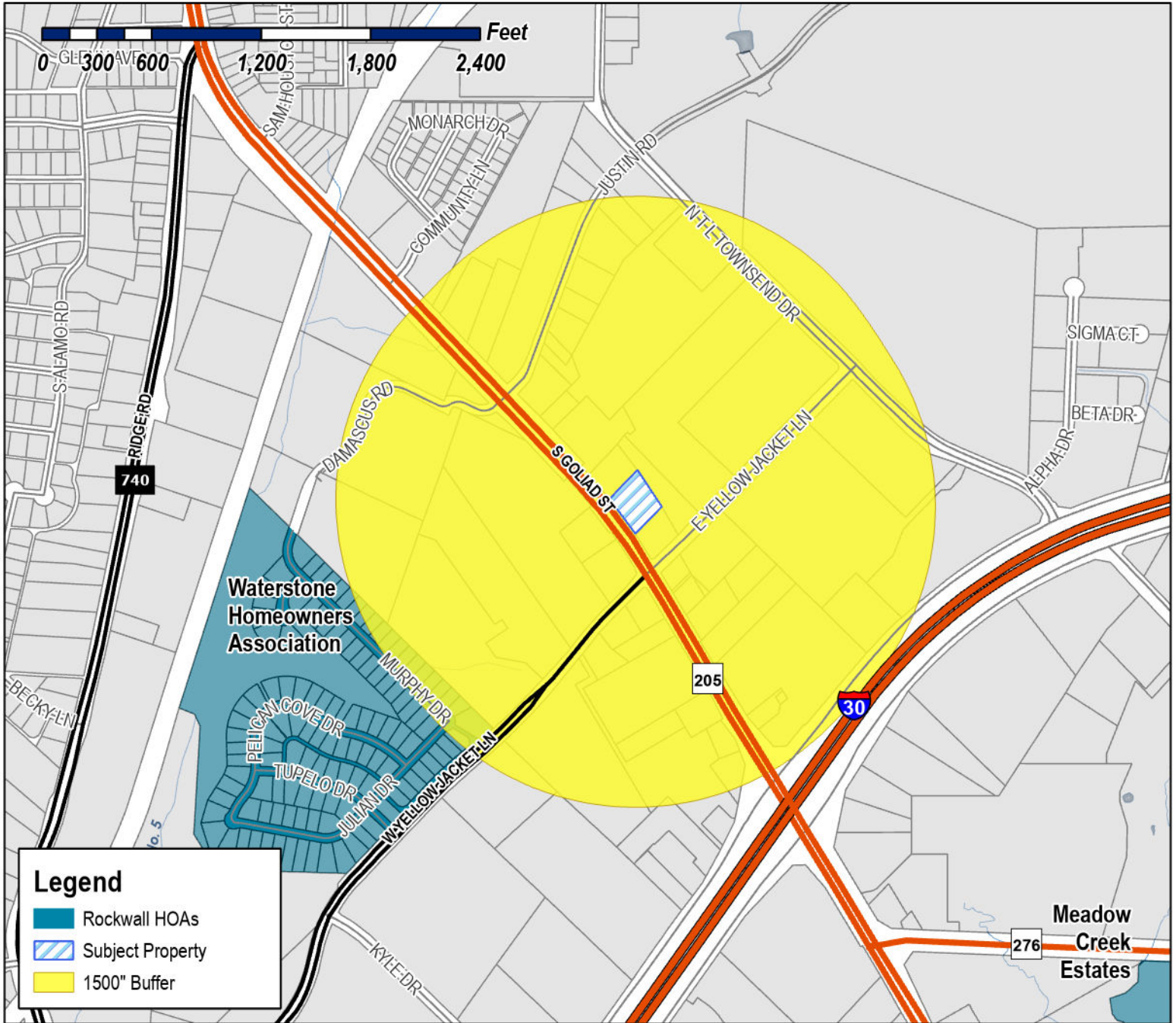




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2024-047
Case Name: SUP for Automobile Rental
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1801 S. Goliad Street

Date Saved: 9/16/2024
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Zavala, Melanie
Sent: Wednesday, September 18, 2024 10:29 AM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2024-047]
Attachments: Public Notice (P&Z) (09.16.2024).pdf; HOA Map (09.16.2024).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday, September 20, 2024*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 15, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 21, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-047: SUP for Automobile Rental

Hold a public hearing to discuss and consider a request by Eric Heideloff of Enterprise Rental Car for the approval of a Specific Use Permit (SUP) for Automobile Rental on a 1.1540-acre parcel of land identified as Lot 1, Block 1, HJG Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1801 S. Goliad Street, and take any action necessary.

Thank you,

Melanie Zavala

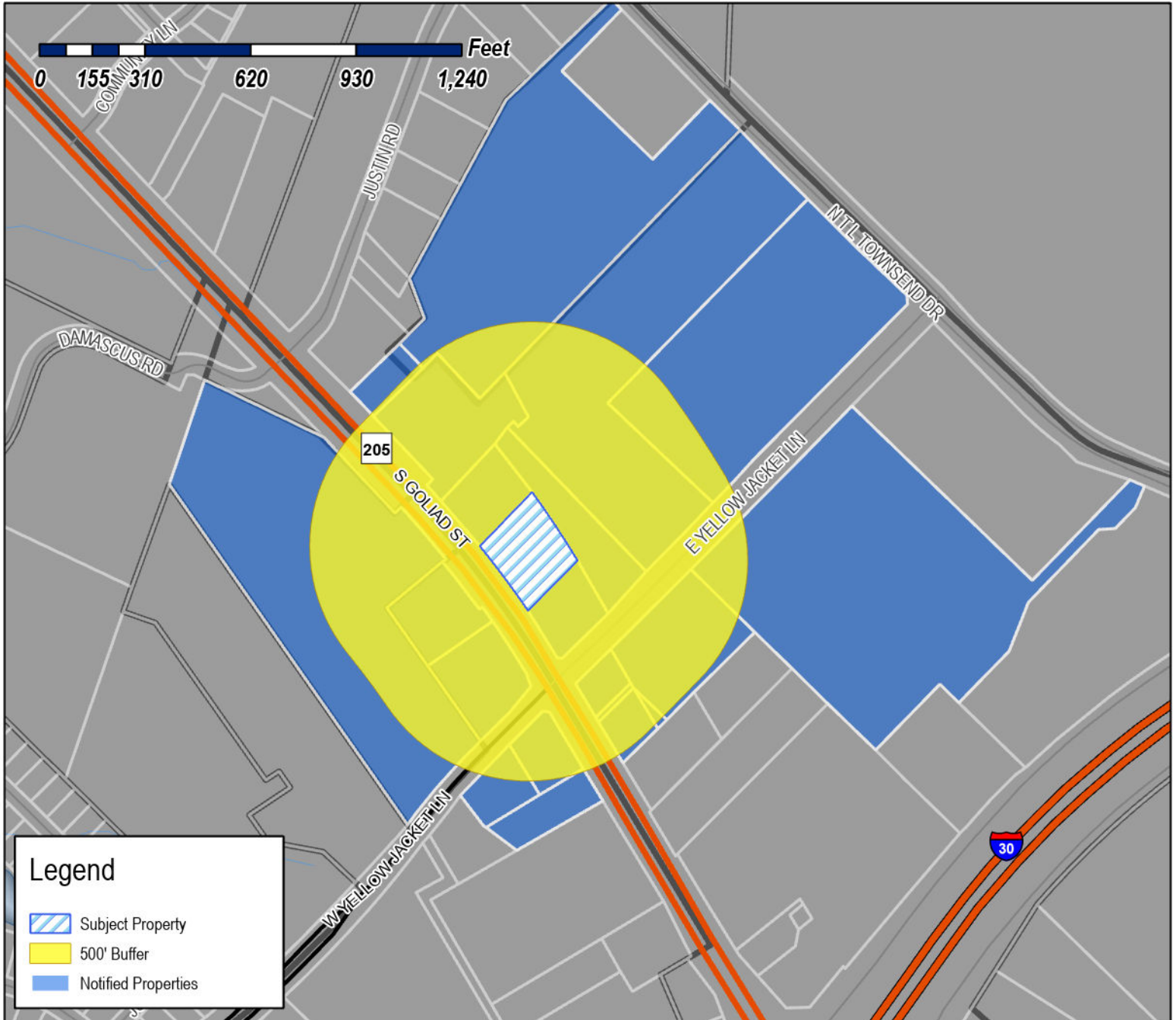
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



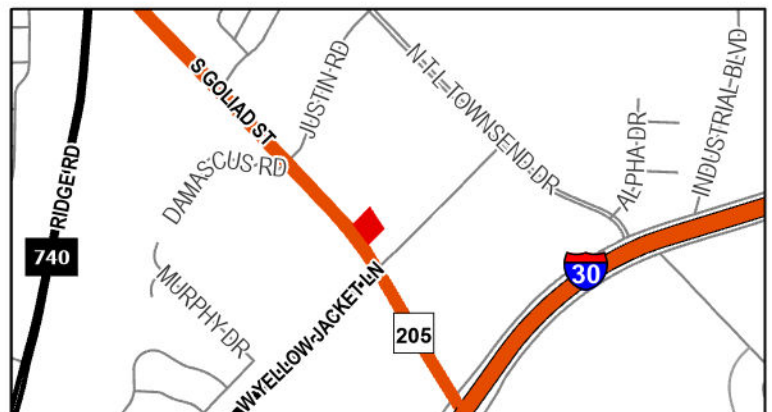
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-047
Case Name: SUP for Automobile Rental
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 1801 S. Goliad Street



Date Saved: 9/16/2024

For Questions on this Case Call: (972) 771-7745

RESIDENT
GOLIAD
ROCKWALL, TX 75087

RESIDENT
GOLIAD
ROCKWALL, TX 75087

RESIDENT
YELLOW JACKET LN
ROCKWALL, TX 75087

RESIDENT
YELLOW JACKET LN
ROCKWALL, TX 75087

ROCKWALL COUNTY
C/O CRIMINAL DIST ATT
1101 RIDGE RD STE 105
ROCKWALL, TX 75087

RESIDENT
1111 E YELLOWJACKET LN
ROCKWALL, TX 75087

RESIDENT
1121 YELLOW JACKET LN
ROCKWALL, TX 75087

MTK REAL ESTATE INVESTMENTS LLC
1131 RIDGE ROAD
ROCKWALL, TX 75087

RESIDENT
1196 N T L TOWNSEND DR
ROCKWALL, TX 75087

FIRST UNITED METHODIST CHURCH
FINANCE OFFICE
1200 E YELLOW JACKET LN
ROCKWALL, TX 75087

RESIDENT
1407 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1410 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1411 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1415 S GOLIAD ST
ROCKWALL, TX 75087

SMAJLI MARIO
1426 MURPHY DRIVE
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1801 S GOLIAD
ROCKWALL, TX 75087

LONE STAR CHICKEN LP
1810 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1815 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1901 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
1902 S GOLIAD
ROCKWALL, TX 75087

UHLIG JANET KAY &
1903 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
1920 S GOLIAD
ROCKWALL, TX 75087

RESIDENT
2002 S GOLIAD
ROCKWALL, TX 75087

LANDLOW LLC
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

ERNIES RENTAL HEADQUARTERS INC (ERHI) AND
2540 VILLAGE COMMON DRIVE
ERIE, PA 16506

DAIRYROCK LLC
300 SE 5TH AVENUE #4100
BOCA RATON, FL 33432

RETAIL BUILDERS INC
3000 NE 63RD ST
OKLAHOMA CITY, OK 73121

BRC CP PEBBLE PROPERTY LLC
4925 GREENVILLE AVE STE 860
DALLAS, TX 75206

LEGACY 316 BJJ HOLDINGS LLC
519 E INTERSTATE 30 #605
ROCKWALL, TX 75087

ALDERS AT ROCKWALL PROPERTY LLC
5925 FOREST LANE STE 502
DALLAS, TX 75230

COX MORRIS G
6902 ELLSWORTH AVENUE
DALLAS, TX 75214

YELLOW JACKET OB 1 LLC
800 EAGLE PASS
HEATH, TX 75032

RESIDENT
811 YELLOW JACKET
ROCKWALL, TX 75087

MIAN REAL ESTATE HOLDINGS LLC-FUND III
SERIES
8660 THOMAS CHARLES LANE
HICKORY HILLS, IL 60457

TEASDALE INVESTMENTS LLC
C/O RICHARD C GRANT
CULHANE MEADOWS PLLC 4805 S COLONY BLVD
THE COLONY, TX 75056

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-047: SUP for Automobile Rental

Hold a public hearing to discuss and consider a request by Eric Heideloff of Enterprise Rental Car for the approval of a Specific Use Permit (SUP) for Automobile Rental on a 1.1540-acre parcel of land identified as Lot 1, Block 1, HJG Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1801 S. Goliad Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-047: SUP for Automobile Rental

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Proposed
Auto
Wash
and
Detailing
Area

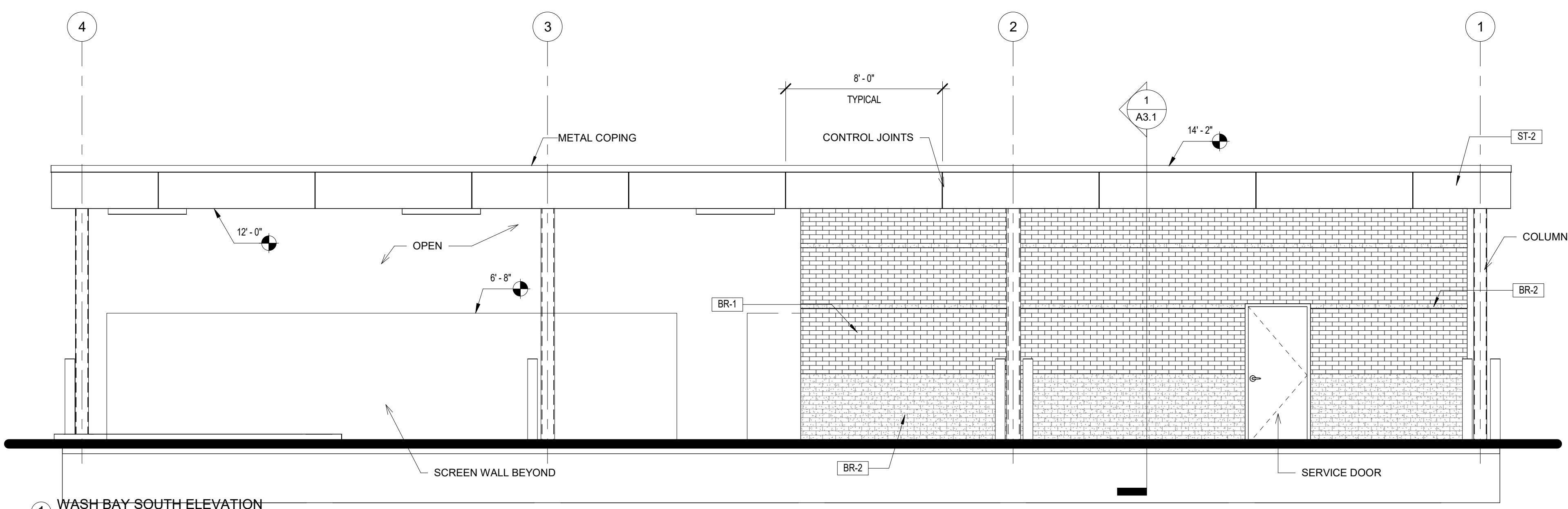
Proposed Customer Parking-ADA

Proposed
Dumpster
Enclosure

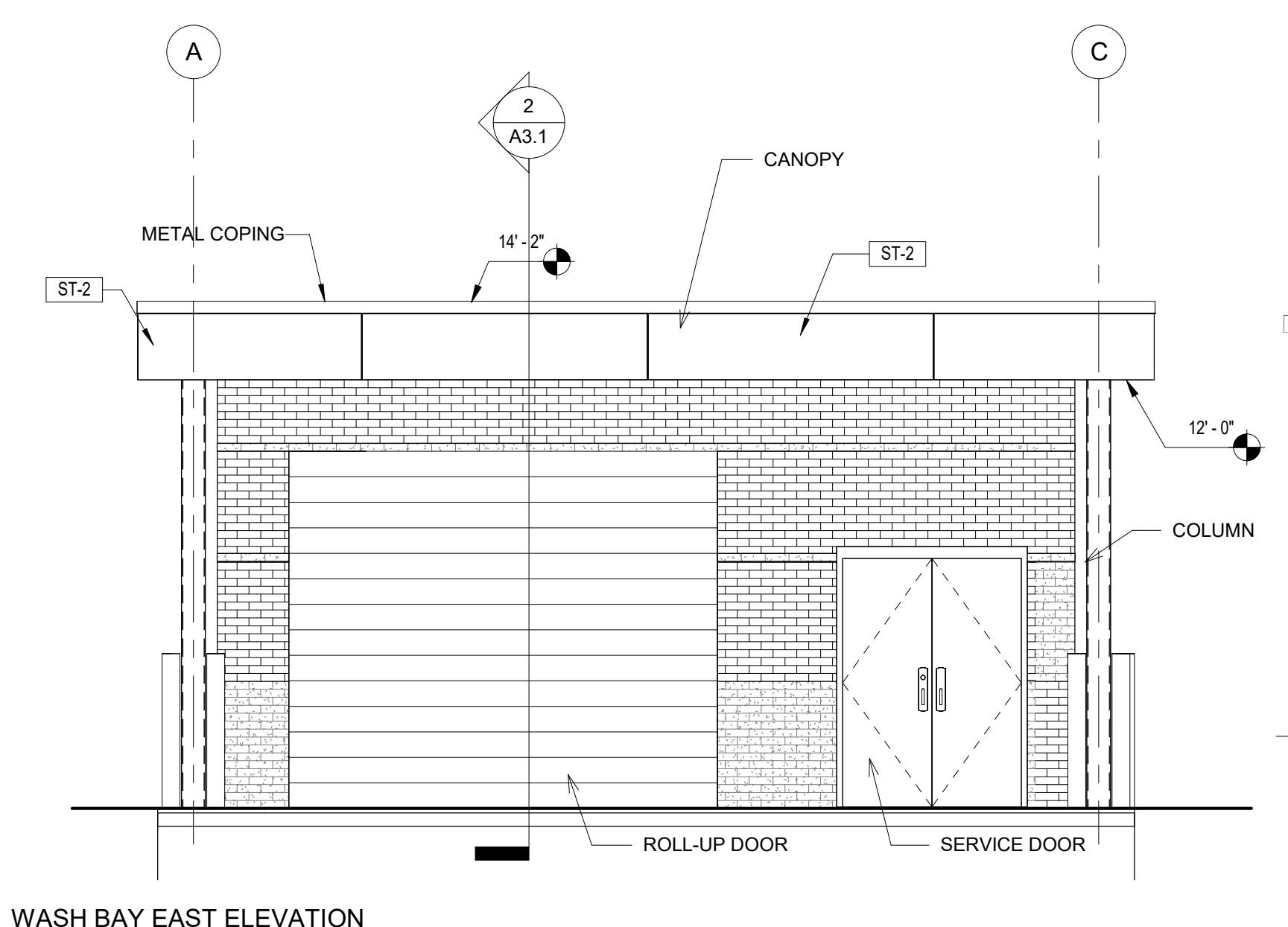
Proposed Auto
Rental
Parking

Auto Rental

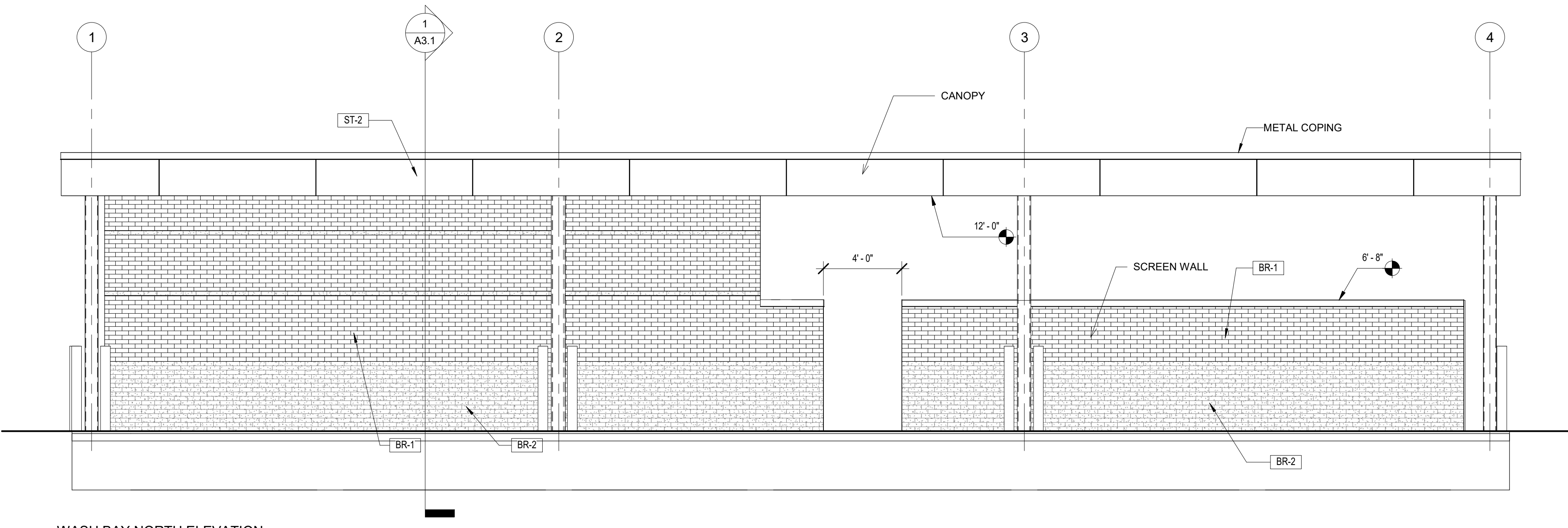
Auto Rental



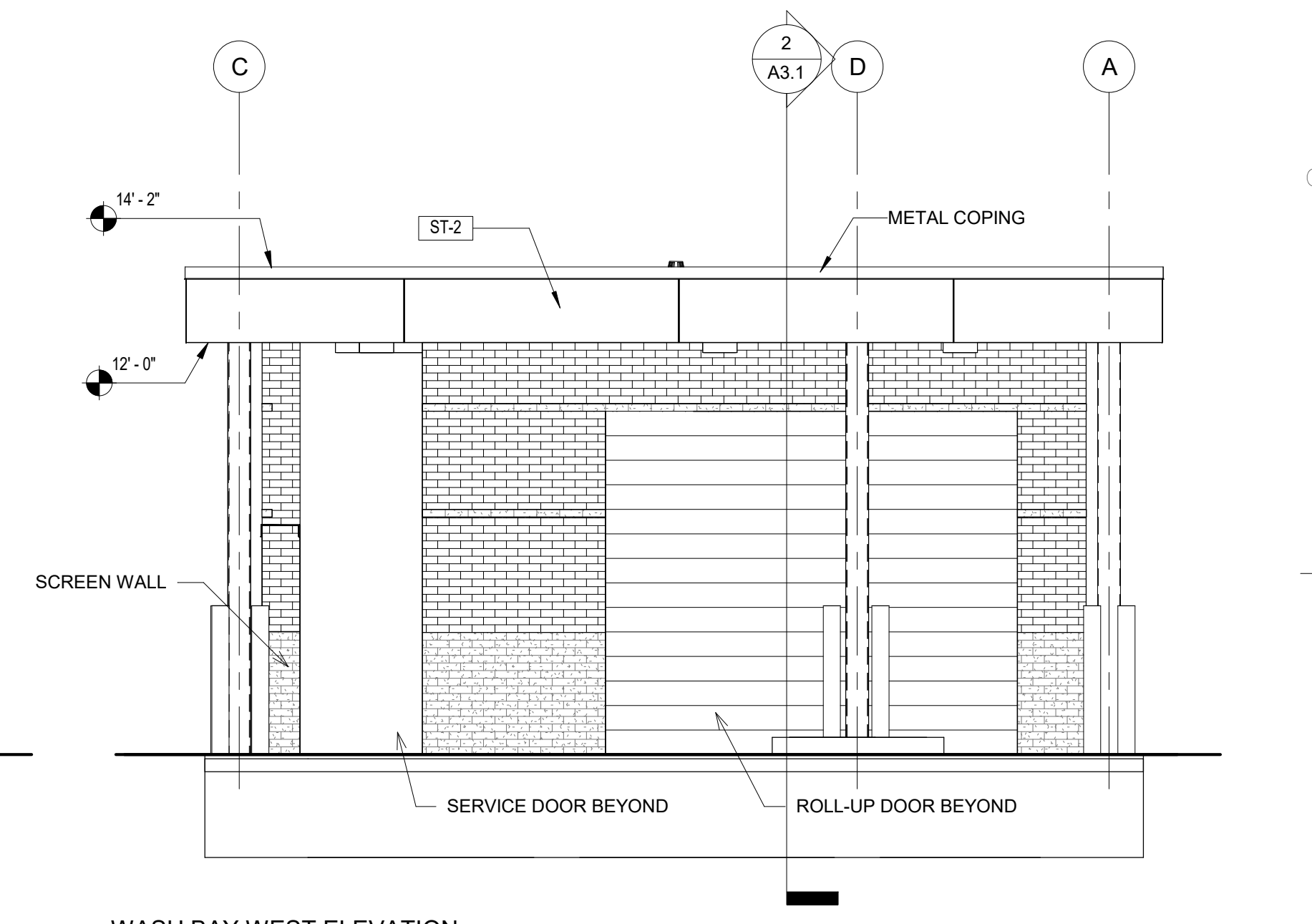
1 WASH BAY SOUTH ELEVATION
1/4" = 1'-0"



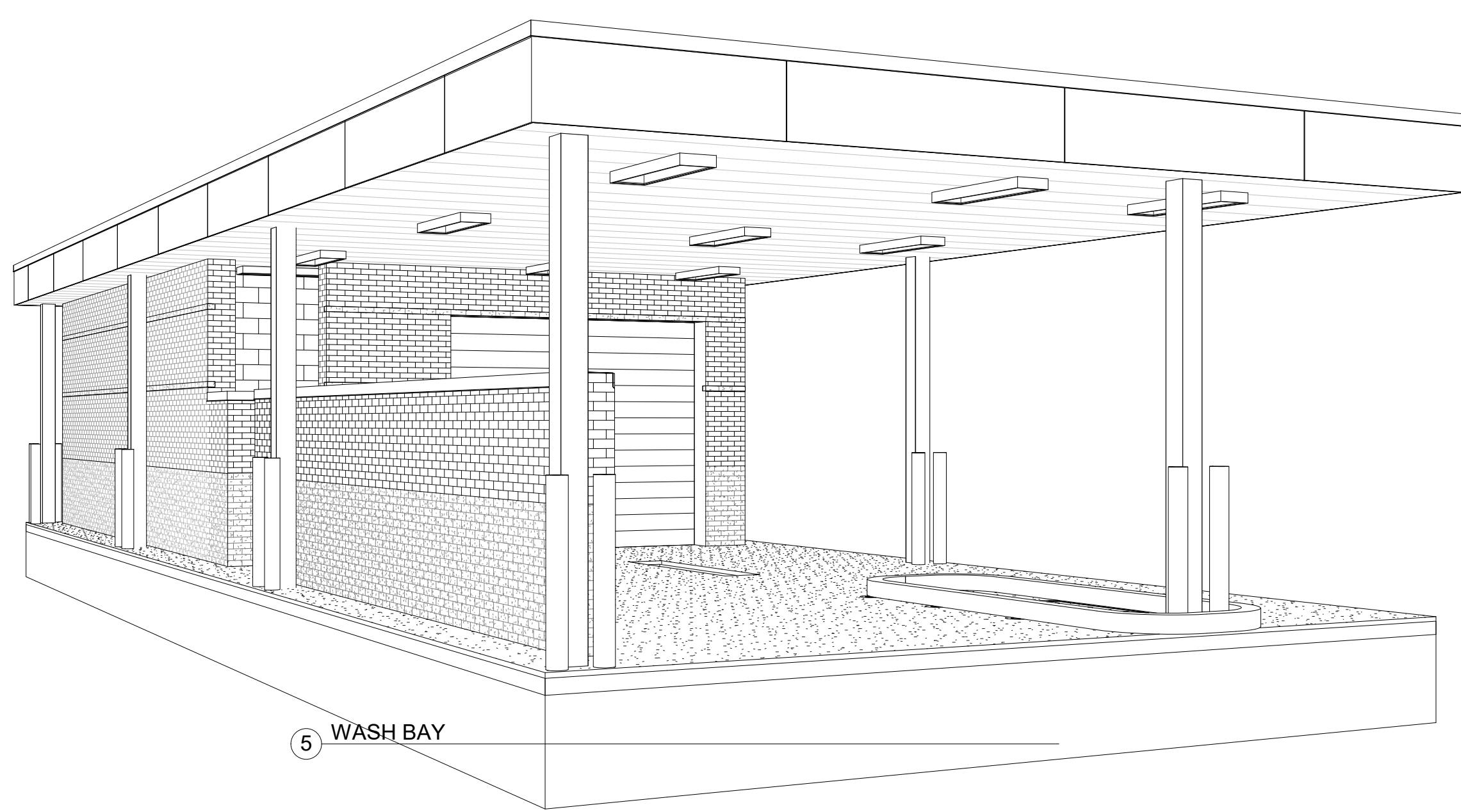
2 WASH BAY EAST ELEVATION
1/4" = 1'-0"



3 WASH BAY NORTH ELEVATION
1/4" = 1'-0"



4 WASH BAY WEST ELEVATION
1/4" = 1'-0"

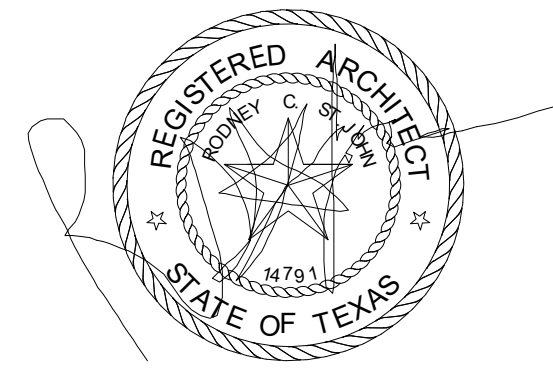


5 WASH BAY

STUCCO NOTE:
STUCCO SHALL BE APPLIED USING 3-STEP PROCESS OVER DIAMOND METAL MESH TO A 7/8 INCH THICKNESS OR BY OTHER PROCESS PRODUCING COMPARABLE STUCCO FINISH WITH EQUAL OR GREATER STRENGTH AND DURABILITY SPECIFICATION.

NOTE:
ROOF MOUNTED, WALL-MOUNTED OR DETACHED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OF THE RIGHT-OF-WAY.

EXTERIOR FINISH SCHEDULE	
Material: Mark	Material: Description
<varies>	<varies>
BR-1	EXTERIOR BRICK. COLOR : ACME BLEND 114 K/S PARK AVE, MORTAR: BLUFF AMERIMIX
BR-2	EXTERIOR ACCENT BRICK. COLOR: ACME BLEND 102 K/S MUSHROOM BROWN, MORTAR: BUFF AMERIMIX
ST-1	STONE VENEER: CORONADO COUNTRY CASTLE SUNSET BLEND
ST-2	STUCCO: SHERWIN WILLIAMS TC CAMEL
ST-3	STONE TRIM: COORDINATE W/ STONE SUPPLIER. COLOR TO MATCH ST-4
ST-4	EIFS TRIM. SHERWIN WILLIAMS SW 7008 ALABASTER
VT-1	



8/30/24

PRIZM ARCHITECTS
INTERNATIONAL LTD., INC.
ARCHITECTS DESIGNERS PLANNERS
380 DECKER DRIVE, STE. 170 IRVING, TX. 75062
(972) 714-0430, FAX (972) 714-0282

REVISIONS:

NO.	DESCRIPTION

ENTERPRISE RENT-A-CAR
HWY 77 @ CARDINAL LANE
WAXAHACHIE, TX

PROJECT NUMBER: 0.004.0224
ISSUED: 8/30/24
DRAWN BY: Author
CHECKED BY: Checker
FILENAME:

EXTERIOR ELEVATIONS
WASH BAY
A2.1



Rent-A-Car Division
8200 John W Carpenter Freeway
Dallas, TX 75247
214-688-8300
enterprise.com

Rockwall Planning and Zoning Committee -

The attached application is for a request for EAN Holdings, LLC (D/B/A Enterprise Rent-A-Car) to receive a specific use permit at 1801 Goliad Street in Rockwall, TX. This location is currently occupied by a Dairy Queen, and we are in agreement with the landlord that we will move into the building provided this specific use permit is granted.

Enterprise has outgrown our current location in Rockwall at 724 E Interstate 30. The parking and car wash situations are not sustainable for the growth and brand image we wish to maintain as a company. As you may be aware, we are currently washing cars on the back side of our building in a space the size of about two parking spots. Should we be granted this SUP, we would relocate our current location at 724 E Interstate 30 to the Dairy Queen.

Should this SUP be granted, we would build an enclosed automatic car wash with all proper draining and an OWS. This car wash would be located on the back side of the building where the dumpster is currently located (see yellow highlighted section on page 1 of the Drawing Examples attachment). We would then plan to relocate the dumpster on the back left corner of the property & build an enclosure for that dumpster (see purple highlighted section on page 1 of the Drawing Examples attachment & page 4 for the dumpster drawings). Enterprise would only remodel the interior of the building and plans to have the landscaping around the property refreshed. Finally, the current monument sign would be repurposed to display our Enterprise logo.

We have included potential drawings of the automatic car wash and dumpster in the Drawing Examples file that is attached. The drawings submitted with this application are potential drawings taken from another location we will be building in the DFW metroplex. Should the SUP be granted, professional drawings will be made available.

Thank you for your consideration and we look forward to hearing back.

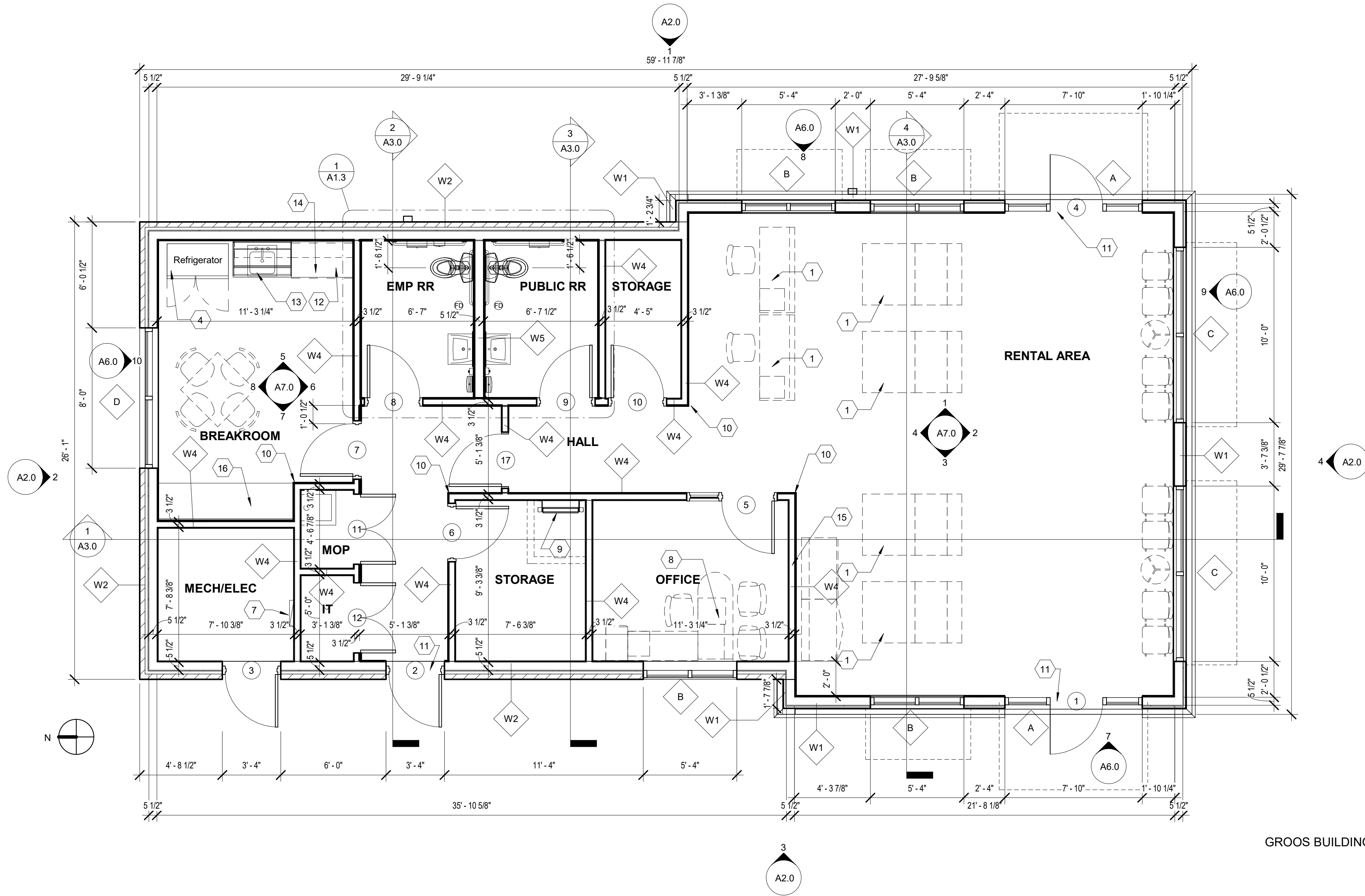
Ryan Todd

Regional Business Manager

EAN Holdings, LLC (d/b/a Enterprise Rent A Car)

FLOOR PLAN NOTES	
1	SERVICE COUNTER CASWORK BY OWNER.
4	REFRIGERATOR BY GC. VERIFY REQUIREMENTS WITH OWNER.
7	ELECTRICAL PANELS - SEE ELECTRICAL DRAWINGS.
8	OFFICE CASEWORK FURNISHED BY OWNER.
9	ROOF ACCESS LADDER
10	CORNER GUARDS FROM TOP OF BASE TO 48" AF.F. (ALIGN WITH TOP OF WALL PANELS)
11	PROVIDE ADA COMPLIANT THRESHOLD BY GC
12	GRANITE COBUNTERTOP BY GC. VERIFY COLOR WITH OWNER.
13	ADA COMPLIANT GRANITE COUNTERTOP @ SINK BY GC. VERIFY COLOR WITH OWNER.
14	BASE CABINETS BY GC.
15	PROVIDE OWNER OUTLET AT WALL FOR COUNTER/DESK. FIELD VERIFY LOCATION WITH OWNER.
16	23" DEEP COUNTERTOP BY GC.

- REFER TO STRUCTURAL DRAWINGS FOR FRAMING, LUMBER SIZE AND SPACING REQUIREMENTS AT ALL EXTERIOR WALLS. INFORMATION INDICATED ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE ARCHITECTURAL DRAWINGS.
- INTERIOR WOOD STUDS SHALL BE 2x4'S OR 2x6'S @ 16" o.c. AS DIMENSIONED ON FLOOR PLAN. INTERIOR STEEL STUDS SHALL BE 6", 20 GA. @ 16" o.c. AS DIMENSIONED ON FLOOR PLAN OR AS DETAILED.
- REFER TO WALL SECTIONS FOR ADDITIONAL CONSTRUCTION DETAILS.
- REFER EXTERIOR ELEVATIONS FOR REQUIRED EXTERIOR FINISHES
- REFER TO INTERIOR ELEVATIONS AND FINISH MATERIAL SCHEDULE FOR REQUIRED INTERIOR FINISHES.
- INTERIOR WALLS SHALL EXTEND A MINIMUM OF 6" ABOVE ADJACENT FINISHED CEILING. EXTEND GYPSUM BOARD OR SCHEDULED SHEATHING TO TOP OF WALL (6" ABOVE ADJACENT FINISHED CEILING). BRACE STUD WALLS TO STRUCTURE ABOVE FOR SOUND STABLE INSTALLATION. REFER TO STRUCTURAL DRAWINGS FOR REQUIRED BRACING DETAIL.
- PROVIDE 2x FIRE BLOCKING IN CONCEALED SPACES OF ALL STUD WALLS @ CEILING LEVEL AND @ 10' INTERVALS AND OTHERWISE REQUIRED BY CODE.
- REFER TO INTERIOR WALL SHEATHING KEY FOR INTERIOR SHEATHING REQUIREMENTS
- DIMENSIONS INDICATED ON THE FLOOR PLAN ARE FROM FACE OF STUD TO FACE OF STUD UNLESS SPECIFICALLY NOTED OTHERWISE.

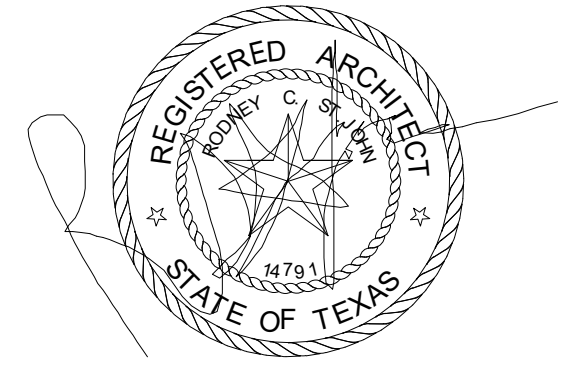


GROSS BUILDING AREA = 1,619 S.F.

1 FLOOR PLAN
1/4" = 1'-0"

OCCUPANT LOAD SCHEDULE					
Number	Name	Area	Occupancy	Load Factor	Occupant Load
14	PUBLIC RR	59 SF			
15	EMP RR	59 SF			
16	STORAGE	39 SF			
17	OFFICE	103 SF			
18	STORAGE	68 SF			
19	MOP	13 SF			
20	IT	15 SF			
21	BREAKROOM	169 SF			
22	MECH/ELEC	59 SF			
23	HALL	49 SF			
24	RENTAL AREA	689 SF			
		1321 SF			0

WALL SCHEDULE	
Type Mark	Description
W1	2X6 WOOD STUD 1/2" EXTERIOR SHEATHING, WRB (TYVEK OR EQUAL), W/ R-19 BATT INSULATION EXTERIOR FINISH: STUCCO SYSTEM: 3 STEP PROCESS OVER DIAMOND METAL LATH TO A 7/8" THICKNESS. STONE WAINSCOT. INTERIOR: 5/8" GYPSUM WALL BOARD.
W2	2X6 WOOD STUDS W/ 1/2" EXTERIOR SHEATHING, R-19 BATT INSULATION. EXTERIOR: BRICK VENEER: INTERIOR: 5/8" GYPSUM WALL BOARD
W3	2X6 WOOD STUDS W/ 1/2" EXTERIOR SHEATHING, WRB (TYVEK OR EQUAL), R-19 BATT INSULATION. EXTERIOR FINISH: STONE VENEER: INTERIOR: 5/8" GYPSUM WALL BOARD.
W4	2X4 WOOD STUD W/ 5/8" GYPSUM WALL BOARD EACH SIDE
W5	2X6 WOOD STUD W/ 5/8" GYPSUM WALL BOARD EACH SIDE
W8	8" CMU W/ INSULATED CELLS. EXTERIOR FINISH: BRICK VENEER. INTERIOR OF CMU SHALL BE PAINTED W/ WATER RESISTANT BARRIER.
W9	8" CMU W/ INSULATED CELLS. CMU SHALL BE PAINTED W/ WATER RESISTANT BARRIER.



8/30/24

PRIZM ARCHITECTS
INTERNATIONAL LTD., INC.

ARCHITECTS DESIGNERS PLANNERS
380 DECKER DRIVE, STE. 170 IRVING, TX. 75062
(972) 714-0430, FAX (972) 714-0282

REVISIONS:

NO.	DESCRIPTION

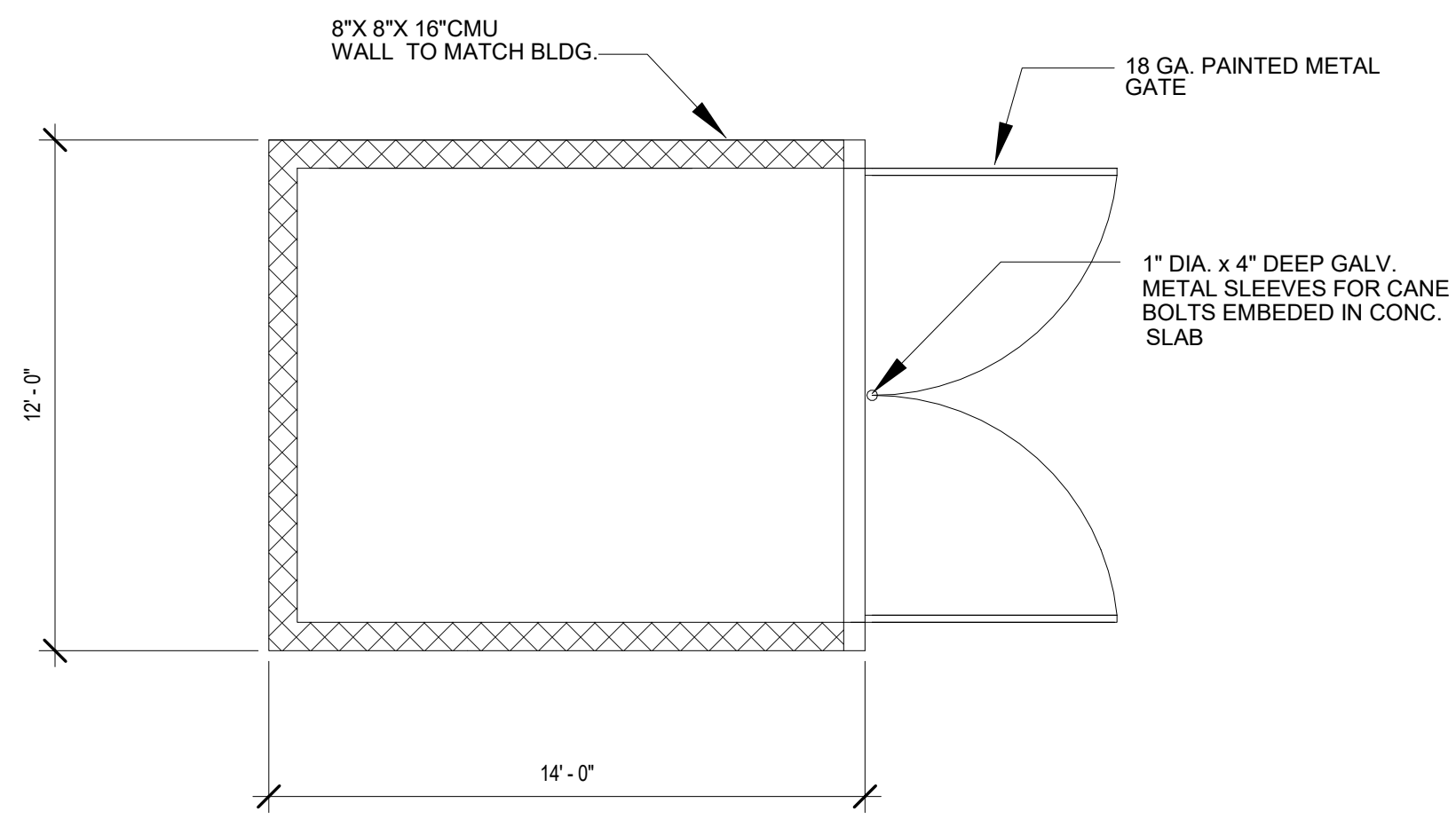
ENTERPRISE RENT-A-CAR

HWY 77 @ CARDINAL LANE
WAXAHACHIE, TX

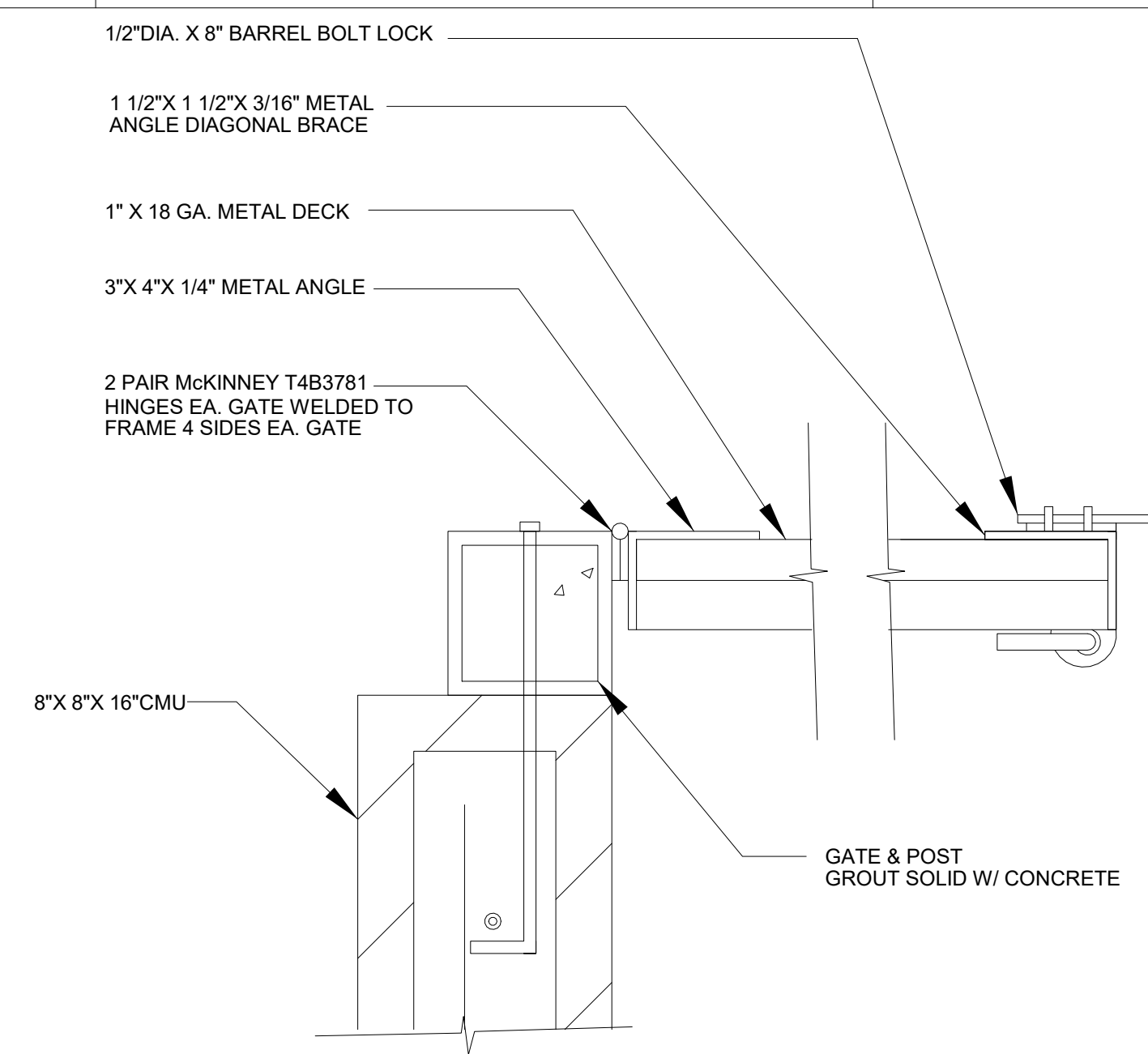
PROJECT NUMBER:	0.004.0224
ISSUED:	8/30/24
DRAWN BY:	Author
CHECKED BY:	Checker
FILENAME:	

FLOOR PLAN CAR RENTAL

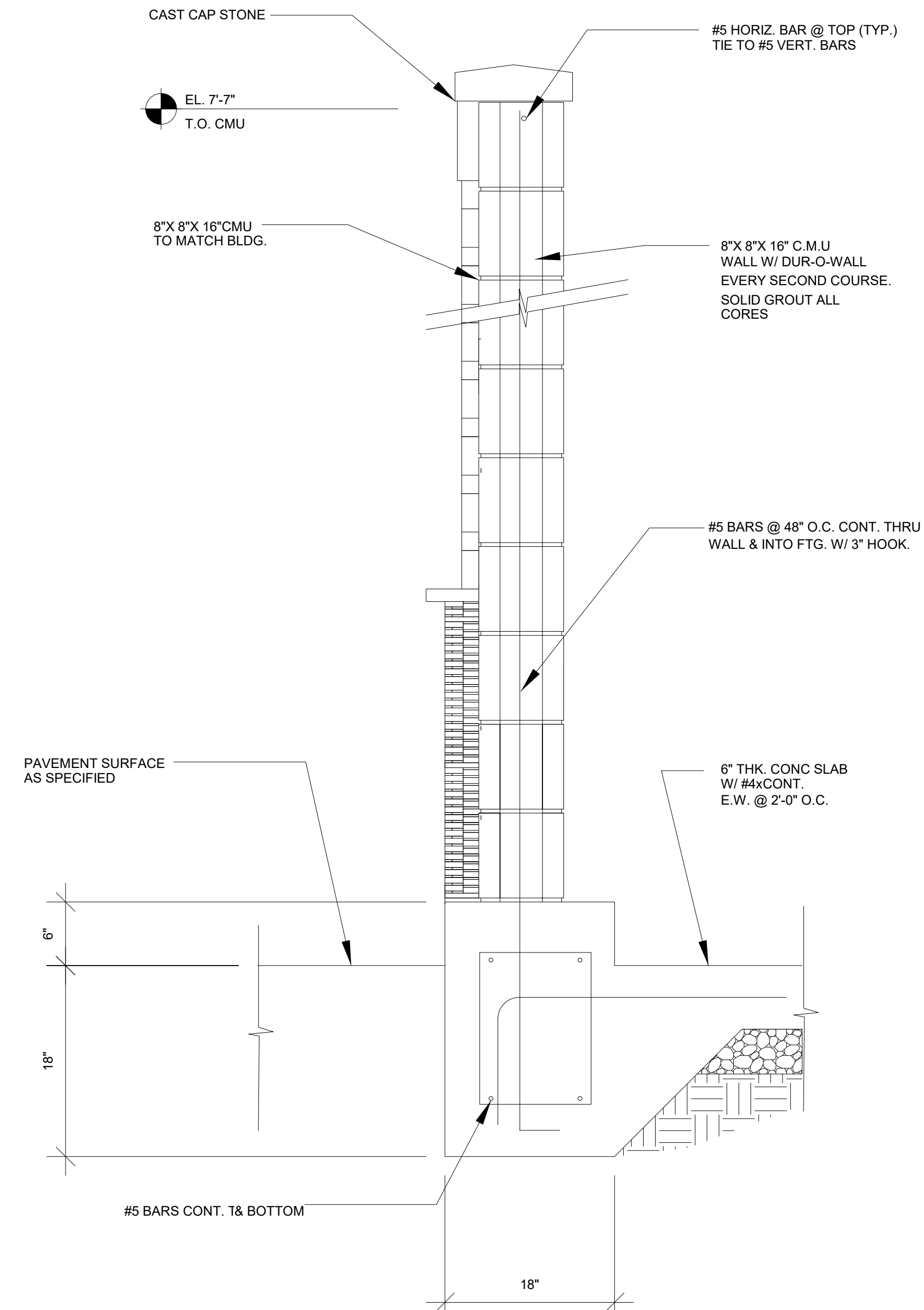
A1.0



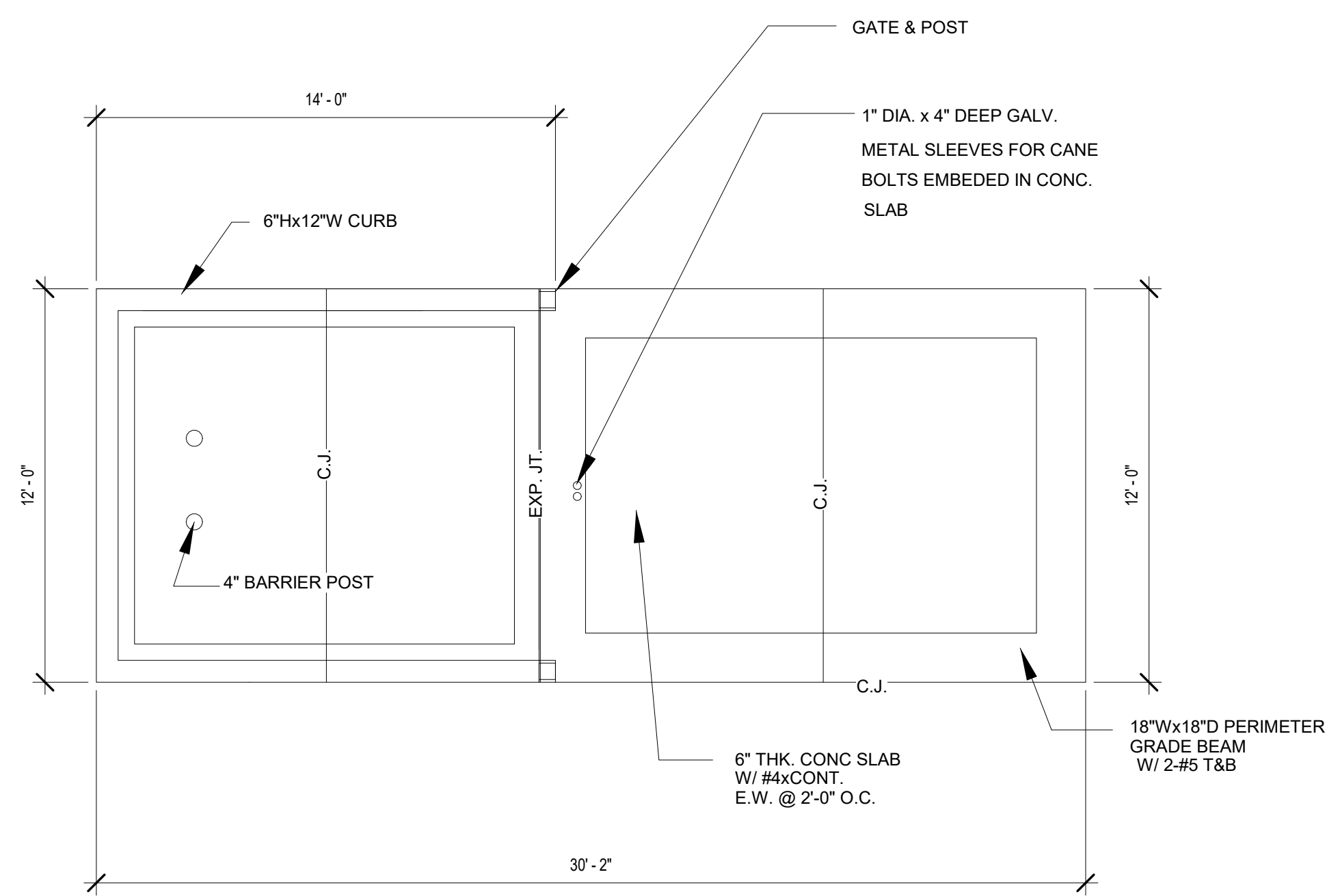
PLAN VIEW



JAMB DETAIL

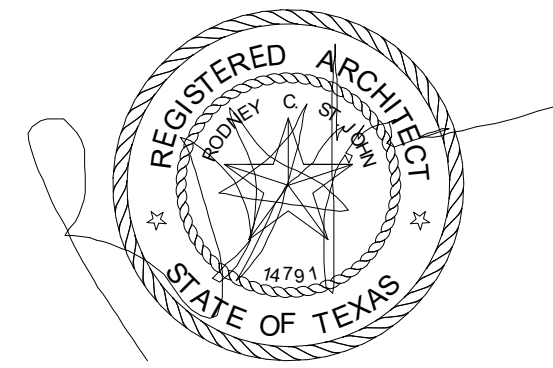


SECTION



FOUNDATION VIEW

1 DUMPSTER ENCLOSURE
1/4" = 1'-0"



8/30/24

PRIZM ARCHITECTS INTERNATIONAL LTD., INC.
ARCHITECTS DESIGNERS PLANNERS
380 DECKER DRIVE, STE. 170 IRVING, TX. 75062
(972) 714-0430, FAX (972) 714-0282

REVISIONS:

NO.	DESCRIPTION

ENTERPRISE RENT-A-CAR
HWY 77 @ CARDINAL LANE
WAXAHACHIE, TX

PROJECT NUMBER:	0.004.0224
ISSUED:	8/30/24
DRAWN BY:	Author
CHECKED BY:	Checker
FILENAME:	

TRASH ENCLOSURE

A10.0

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *AUTOMOTIVE RENTAL* ON A 1.1540-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1, HJG PLAZA ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Eric Heideloff of Enterprise Rental Car for the approval of a *Specific Use Permit (SUP)* for *Automobile Rental* on a 1.1540-acre parcel of land identified as Lot 1, Block 1, HJG Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1801 S. Goliad Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for an *Automobile Rental* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.01, *General Commercial District Standards*; Subsection 04.05, *Commercial (C) District*; Subsection 06.02, *General Overlay District Standards*; and, Subsection 06.09, *SH-205 Overlay District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --,

and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of *Automobile Rental* on the *Subject Property* and conformance to these conditions are required for continued operations:

- 1) The development of this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this SUP ordinance for the development of an *Enterprise Rent-A-Car*.
- 2) The development or redevelopment of the *subject property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architecture Review Board (ARB) and approval by the Planning and Zoning Commission through the site plan review process.
- 3) Increased landscaping shall be installed in the parking medians and landscape buffer adjacent to the vehicle storage areas.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF NOVEMBER, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

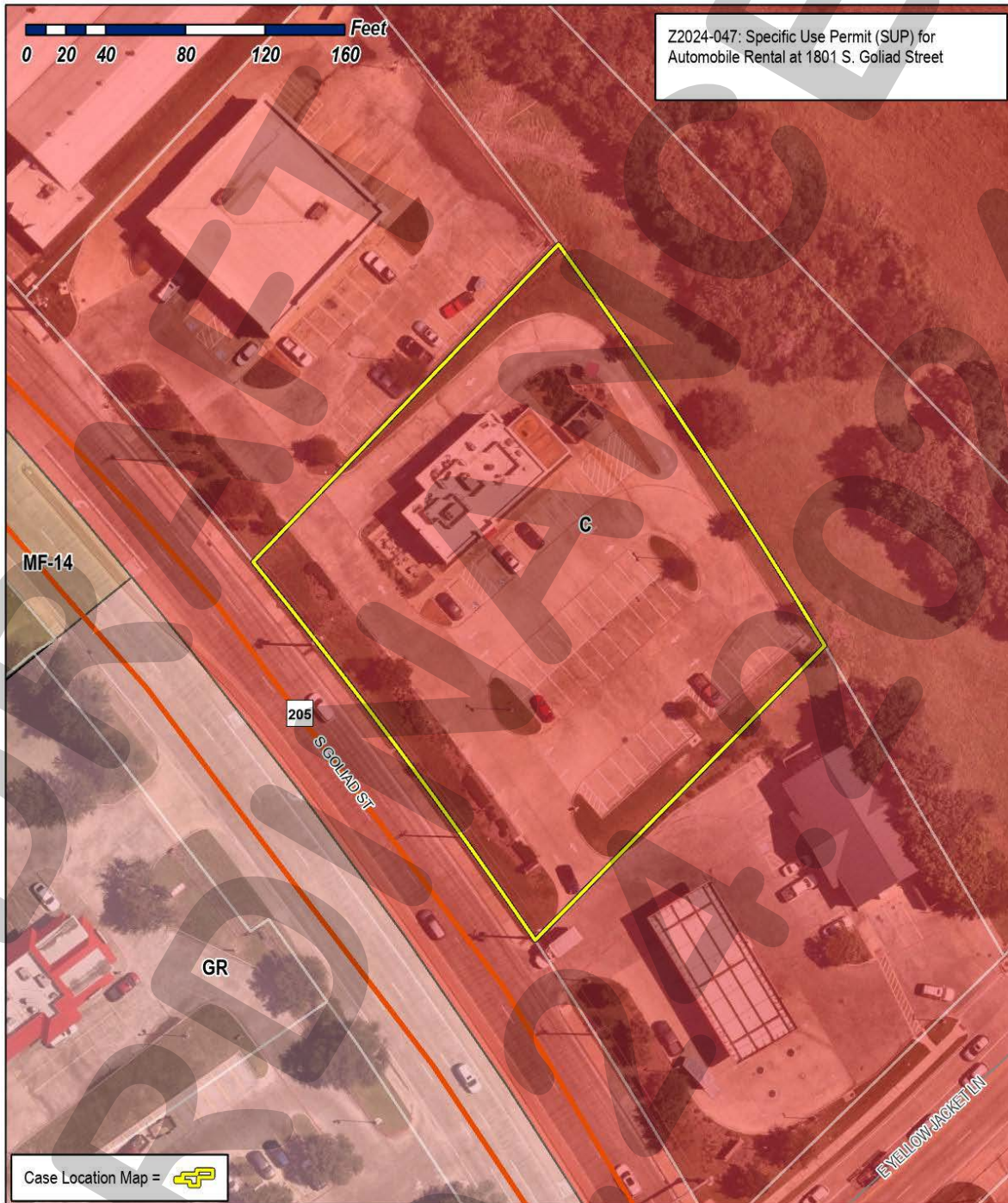
1st Reading: October 21, 2024

2nd Reading: November 4, 2024

Exhibit 'A'
Legal Description

Address: 1801 S. Goliad Street

Legal Description: Lot 1, Block 1, HJG Plaza Addition



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

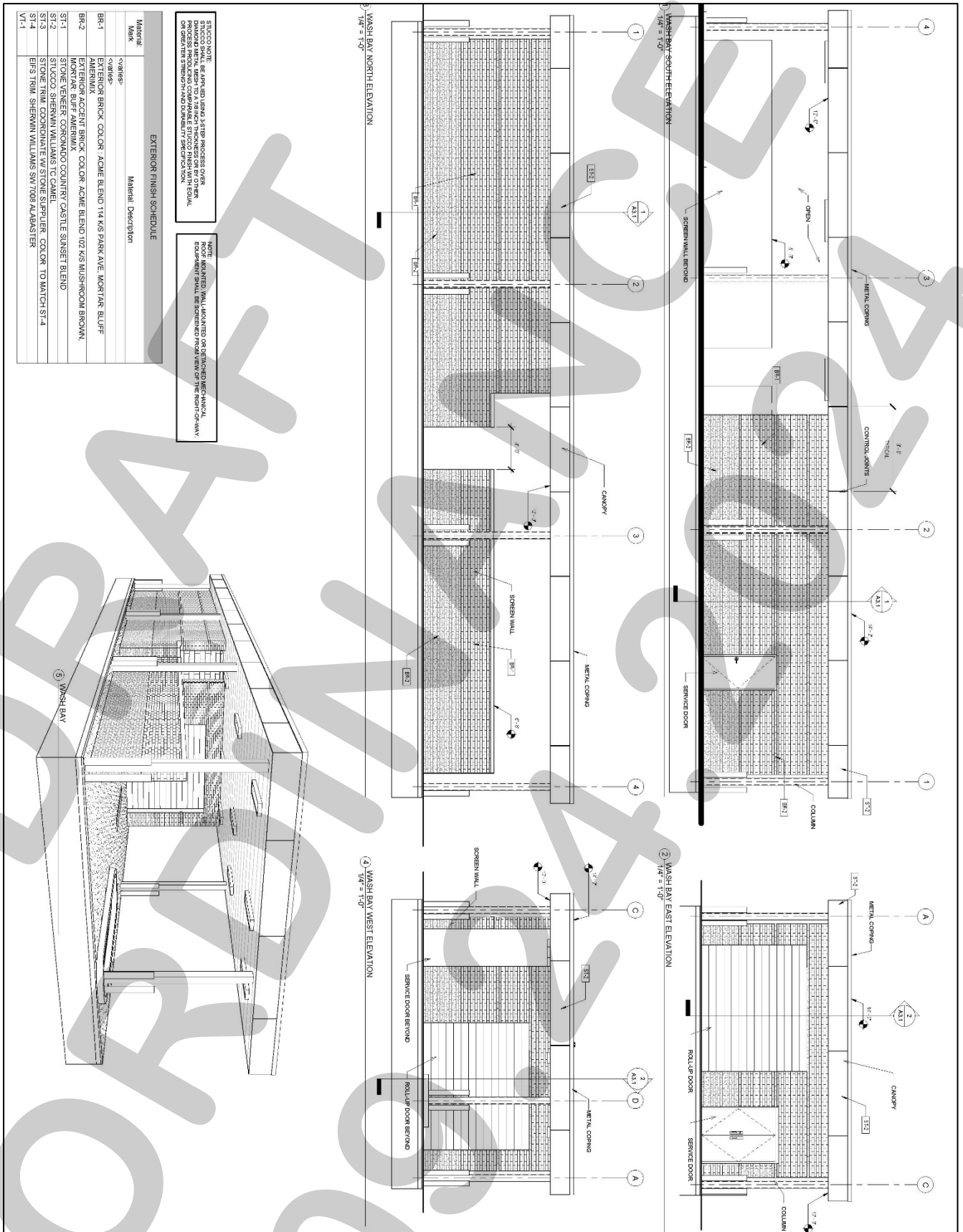
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Exhibit 'B'
Concept Plan



Exhibit 'C': Building Elevations



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/18/2024

PROJECT NUMBER: Z2024-048
PROJECT NAME: Zoning Change from AG to PD
SITE ADDRESS/LOCATIONS: FM 205

CASE CAPTION:

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	09/18/2024	Approved w/ Comments

09/18/2024: Z2024-048; Zoning Change (AG to PD) for the Lofland Tract
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 536.4297-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, and generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.

M.3 For reference, include the case number (Z2024-048) in the lower right-hand corner of all pages on future submittals.

I.4 Unified Development Code (UDC). Based on the submitted draft ordinance the proposed Planned Development District does not conform to the following requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's Standards of Design and Construction Manual:

(1) Alleyways. The Engineering Department's Standards of Design and Construction Manual stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the Standards of Design and Construction Manual]

(2) Garage Configuration. Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a J-Swing [or traditional swing] garage where the garage door is perpendicular to the street."

Staff Response: The proposed garage configurations do NOT conform to the Engineering Department's Standards of Design and Construction Manual and the Unified Development Code (UDC). This will require the discretionary approval of the City Council pending a recommendation from the Planning and Zoning Commission.

(3) Open Space. According to Subsection 02.02, Minimum Standards for Residential Planned Development Districts, of Article 10, Planned Development Regulations, of the Unified Development Code (UDC), "In a residential Planned Development (PD) Districts, all lots less than 12,000 SF shall be located within 800-feet of a neighborhood-oriented park or open space (i.e. public or private). All open space areas shall be landscaped and serve as a visual amenity and/or gathering place for socializing with neighbors."

Staff Response: Please provide an exhibit showing conformance to this requirement of the Unified Development Code (UDC).

I.5 Future Land Use Map. According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the South Central Residential District and the Southwest Residential District, and according to the Future Land Use Map contained within this document the subject property is designated for Low Density Residential and Commercial/Retail land uses. The proposed zoning request does GENERALLY conform to these designations; HOWEVER, there are areas on the concept plan that show revisions will need to be made to the Future Land Use Plan. This aspect of this request will be discretionary to the City Council pending a recommendation from the Planning and Zoning Commission.

I.6 South Central Residential District. The following are the pertinent District Strategies of the South Central Residential District and how the proposed concept plan conforms to these strategies:

(1) Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. These developments should look to incorporate Traditional Neighborhood Design (TND) design principles to create unique developments from the more traditional suburban design prevalent in the northern districts. These developments should include a mix of larger to mid-sized lots.

Staff Response: The submitted PD Standards include language that could incorporate Traditional Neighborhood Design (TND) principles; however, the ordinance does not require this. This is an important aspect of the District Strategies and was implemented in the adjacent development (i.e. the Somerset Park Subdivision). In addition, the proposed 62' x 125' and 72' x 125' lots -- which are the predominate lot types at 78.05% of all lots in Phases 1, 2, & 3 (i.e. the areas in the South Central Residential District) -- are not considered to be a mix of "larger to mid-sized lots". Based on this the proposed concept plan is not in conformance with this District Strategy.

(2) Commercial Land Uses. Commercial in the northern areas of this district are intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures. Commercial areas along SH-205 can include supportive and larger commercial developments. Larger commercial developments and cluster development is anticipated at the intersection of S. Goliad Street [SH-205] and SH-276 and S. Goliad Street [SH-205] and John King Boulevard. All commercial development should use berms, landscaping and large buffers to transition to residential land uses.

Staff Response: The concept plan provided by the applicant does show changes to how the Commercial/Retail areas are laid out in the Future Land Use Map; however, the changes appear to be nominal in nature.

(3) John King Boulevard Trail Plan. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'A' of this Comprehensive Plan.

Staff Response: The District Strategies Map for the South Central Residential District shows that a Rest Stop/Trailblazer Pylon element is designated for the southeast corner of the future intersection of Mercers Colony Avenue and John King Boulevard. The Layout Plan show that two (2) Trail Stops/Rest Stops will be provided. Based on the location and elevations for the Trail Heads and the size and location of the proposed trails, the applicant's request is in conformance with this District Strategy.

I.7 Southwest Residential District. The following are the pertinent District Strategies of the Southwest Residential District and how the proposed concept plan conforms to these strategies:

(1) Suburban Residential. This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

Staff Response: In this case, the Oaks of Buffalo Way Subdivision is composed of larger lots that are a minimum of 1½-acres in size. The proposed transition provided by the applicant shows a comparable 1½-acre lot product adjacent to the Oaks of Buffalo Way, followed by a one (1) acre lot product, followed by a ¾-acre lot product. In addition, 43.94%

of Phases 4, 5, & 6 have lot sizes 82' x 125' or larger. This number is decreased by the area directly adjacent to the Lake Rockwall Estates Subdivision (i.e. Phase 5). If this Phase is excluded from the calculation 81.01% of the lots would be 82' x 125' or larger. Based on this, the applicant's request is in conformance with this District Strategy.

I.8 Master Thoroughfare Plan. The proposed plan does appear to conform to the Master Thoroughfare Plan (MTP) contained in the OURHometown Vision 2040 Comprehensive Plan; however, the applicant is request to change Lofland Circle to a R2U (i.e. a residential, two [2] lane, undivided roadway) and add an additional Minor Collector directly not of this roadway. This change does not change the connectivity desired in this area by the Master Thoroughfare Plan (MTP), and based on this the plan is considered to be in conformance; however, this change is considered to be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commssion.

I.9 Residential Design Guidelines. The OURHometown Vision 2040 Comprehensive Plan stipulates various goals and design guidelines for residential developments. The following aspects of the applicant's proposal either do not conform to or could better conform to the stated goals of the City's Comprehensive Plan, and could be revised -- per staff's recommendations below -- to bring the project closer to conformance with these goals:

(1) CH. 1; Section 2.02; Goal #2 | Policy #1 (Page 1-2). Where residential uses are proposed through a Planned Development District that abuts an existing residential development, the proposed lots should be the same or a compatible size as the existing lots or be buffered by open space, trails, sidewalks, natural screening, or a roadway.

Staff's Response: The lots in the Oaks of Buffalo Way Subdivision are approximately 1½-acres in size. The proposed lots adjacent to the Oaks of Buffalo Way Subdivision will be 1½-acre and be separated by the existing Lofland Circle. Based on this, the plan appears to conform to this goal.

(2) CH. 1; Section 2.02; Goal #2 | Policy #3 (Page 1-2). Existing development patterns and surrounding conditions (e.g. lot size, architectural style, public improvements, etc.) should be considered in conjunction with this Comprehensive Plan to determine the appropriate zoning designation for a property.

Staff's Response: The proposed concept plan appears to generally conform to the existing development patterns north of John King Boulevard and adjacent to the Lake Rockwall Estates Subdivision; however, better requirements for Traditional Neighborhood Design (TND) housing product could be incorporated north of John King Boulevard to match the style of the homes established in the Somerset Park Subdivision. Otherwise, the applicant's plan appears to conform to this goal of the Comprehensive Plan.

(3) CH. 1; Section 2.02; Goal #2 | Policy #4 (Page 1-2). At a minimum, new residential development should be equal to or of a higher quality than the existing surrounding residential development.

Staff's Response: The development should use similar architectural styles (i.e. Traditional Neighborhood Design principles, gingerbread or farmhouse architectural styles/material mixes, etc.) as the adjacent Somerset Park Subdivision to create a consistent development theme throughout the area north of John King Boulevard.

(4) CH. 8; Section 2.03; Goal #1 | Policy #2 (Page 8-3). To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff's Response: Homes adjacent to open spaces should face onto the open space -- instead of being oriented so that the side or rear yard faces the open space --, and be accessible by a single-loaded street. Currently, the plan could do a better job of facing homes onto open spaces as opposed to siding the homes towards these open spaces; however, the applicant has changed the plan since the last submittal to add more lots that conform to this goal.

(5) CH. 8; Section 2.03; Goal #1 | Policy #5 (Page 8-3). Design neighborhoods utilizing the Housing Tree Model ... A method of laying out single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision.

Staff's Response: The larger 100' x 150' lots should be located adjacent to John King Boulevard, SH-205, and FM-549.

(6) CH. 8; Section 2.03; Goal #3 | Policy #3 (Page 8-4). In cases where flat front entry garages (i.e. even with the front façade of the primary structure) are requested as part of a development no greater than 20.00% should be incorporated into the development. In addition, flat front entry garages should have a minimum of a 25-foot front yard building setback to allow vehicles to be parked in the driveway without overhanging public right-of-way. This type of garage may not be appropriate for all developments and should be generally discouraged.

Staff's Response: In this case, the applicant has built in a five (5) foot recess for front entry garages; however, this does not conform to the requirements of the Engineering Standards of Design and Construction, Unified Development Code (UDC) or Comprehensive Plan. While the applicant has limited the number of forward-facing garages to 20.00% it may only be appropriate to incorporate this type of product in the areas north of John King Boulevard, as this is similar as to what was permitted in the Somerset Park Subdivision. To lessen the impact of this request, staff has included language in the PD ordinance that would incorporate a 25-foot front yard building line for all forward-facing garages. This is consistent with the Comprehensive Plan.

M.10 Please review the attached draft ordinance prior to the September 24, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by October 1, 2024. Please carefully read through this document as staff has incorporated changes from what was originally submitted.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 1, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 15, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.12 The projected City Council meeting dates for this case will be October 21, 2024 (1st Reading) and November 4, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved w/ Comments

09/17/2024: 1. Revised site plan, engineering plan, and replat required for Peachtree subdivision to connect to proposed subdivision.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- Tree mitigation will be required when removing existing trees on the property.
- Additional comments may be provided at time of Site Plan.
- Utility easements may not cross through residential properties. Must be in a HOA maintained lot.
- Gas Line/Easement crosses site - Letter of Permission to cross/build over.
- Need approval from NRCS/SCS for any construction in their easement

Streets/Paving:

- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
- City (and TXDOT) driveway spacing requirements must be met. Driveway/street spacing requirements must be met along John King Blvd, future and ex. SH 205, and all streets/driveways.
- A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required running from Mercers Colony Avenue to the proposed P6D at John King Blvd. On-street parking lanes and a minimum 5' sidewalk will be required on both sides of the roadway.
- A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required running from Stableglen Drive to the future Stableglen Drive for RISD High School. On-street parking lanes and a minimum 5' sidewalk will be required on both sides of the roadway.
- A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW that traverses east to west from John King/SH 205 to the proposed 65' ROW collector roadway. A minimum 5' sidewalk will be required on both sides of the roadways if building the full width.
- Must construct all roadways on the current Master Thoroughfare Plan

- A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
- Any medians must be curbed, and streets draining away from medians.
- Future John King Extension (south of SH 205) is a 65' ROW with a 45' b-b street section

Water and Wastewater Items:

- Must loop min 8" water line on site.
- Must install min. 8" and 12" sewer mains per City master plans. Dedicate easements.
- Must install 12" water mains per City master plans. Dedicate easements.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have 8" sewer line minimum through the property.
- An Infrastructural Study will be required. Review fees apply.
- Infrastructure called out to be required by study must be installed.
- City is in the design of extending sanitary sewer from south property line to the corner of John King and Goliad.
- Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
- Depending on infrastructure study, certain number of lots may be built without elevated water storage tank being built and functioning.
- Property is divided by two separate water pressure plains. May not interconnect plains.
- Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20'.
- Sewer Pro-rata will be assessed per acre which must be paid prior to construction.
- Provide corridor for City of Heath 24-inch water transmission line that run north-south along Lofland Circle. No fencing, structures, trees, etc over line and easement. Will need to get with City of Heath on required separation distances and easement size they require.
- Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.

Drainage/Floodplain/Lakes:

- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
- Detention must be above the 100yr floodplain elevation where adjacent.
- Detention will be out of floodplain.
- Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
- Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
- No vertical walls are allowed in detention easements.
- Must show and meet erosion hazard setback for all creeks/streams.
- Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.
- Flood plain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot)
- Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20'.
- Lot to Lot drainage is not allowed.

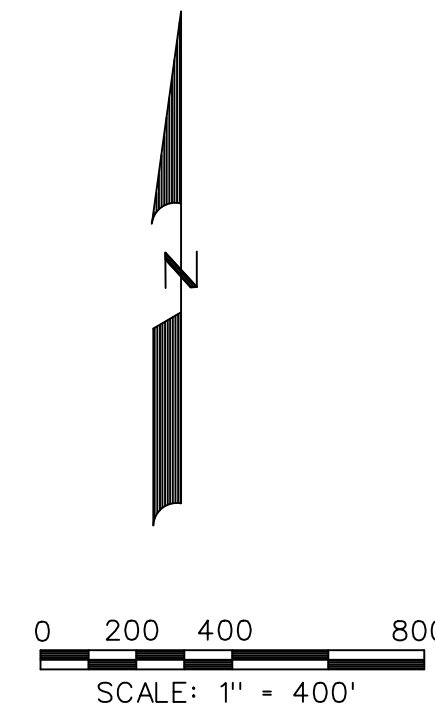
Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Ryan Miller	09/18/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Approved w/ Comments

09/17/2024: Phase 5 will require two separate and approved fire apparatus access roads or be provided with residential fire sprinkler protection in each home in accordance with the 2021 IFC D107.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/16/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/16/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved
No Comments			



LEGEND

TYPICAL LOT SIZES

- TYPE 'A' - 1.5 AC. - 12 LOTS
- TYPE 'B' - 1.0 AC - 13 LOTS
- TYPE 'C' - 0.75 AC. - 18 LOTS
- TYPE 'D' - 100' X 150' - 66 LOTS
- TYPE 'E' - 82' X 125' - 160 LOTS
- TYPE 'F' - 72' X 125' - 329 LOTS
- TYPE 'G' - 62' X 125' - 297 LOTS
- OPEN SPACE - 136.80 Ac.
- AMENITY CENTER - 6.73 Ac.
- CITY PARK - 33.00 Ac.
- COMMERCIAL - 41.0 Ac.

CONCEPT PLAN ACREAGE

GROSS ACRES - 536.42
 COMMERCIAL ACREAGE - 28.65
 COMMERCIAL FLOODPLAIN - 12.35
 RESIDENTIAL ACREAGE - 427.92
 RESIDENTIAL FLOODPLAIN - 67.50

DENSITY CALCULATIONS

TOTAL RESIDENTIAL LOTS - 895
 DENSITY ON GROSS - 1.66
 GROSS RESIDENTIAL DENSITY - 2.09

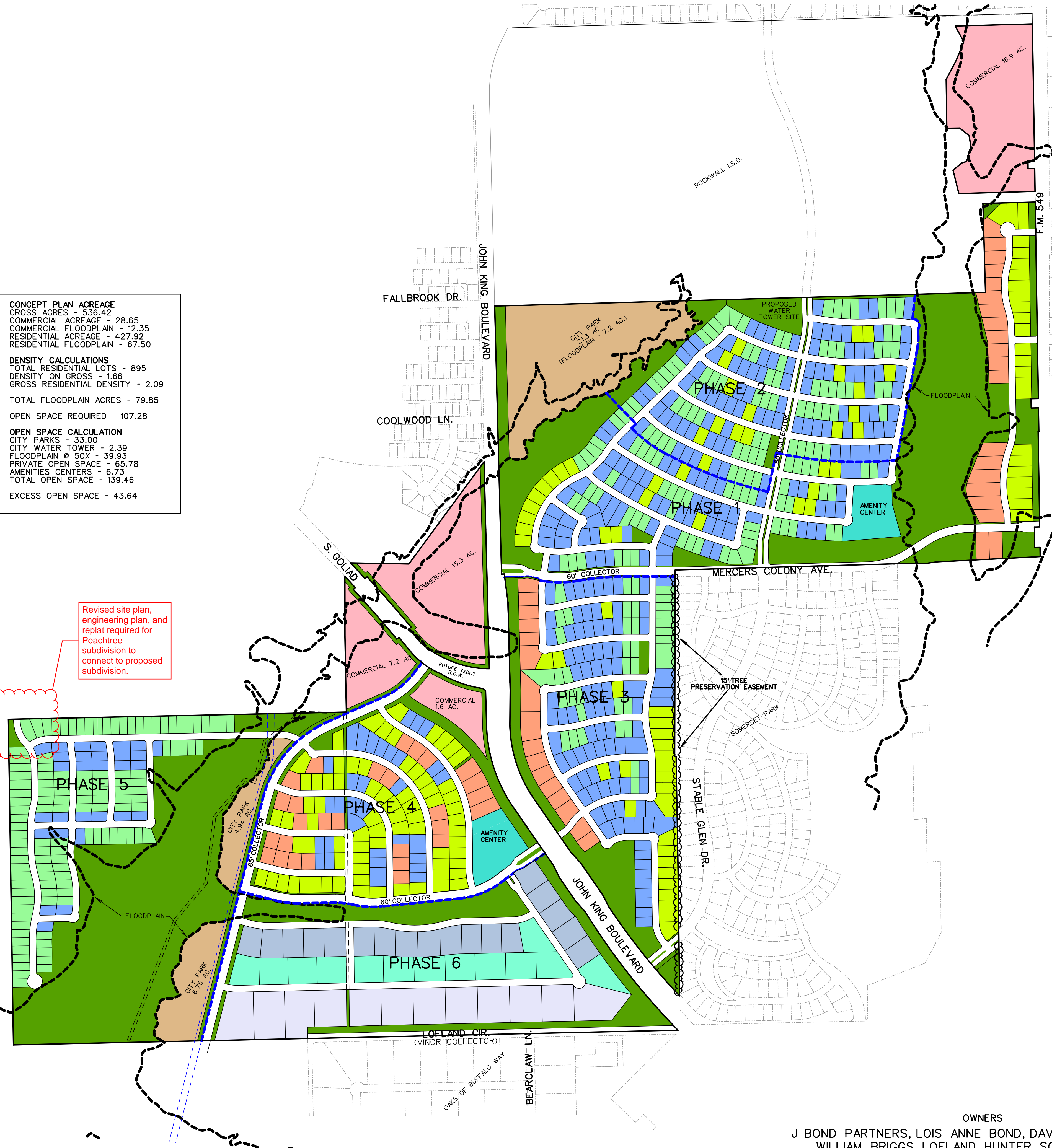
TOTAL FLOODPLAIN ACRES - 79.85
 OPEN SPACE REQUIRED - 107.28

OPEN SPACE CALCULATION

CITY PARKS - 33.00
 CITY WATER TOWER - 2.39
 FLOODPLAIN @ 50% - 39.93
 PRIVATE OPEN SPACE - 65.78
 AMENITIES CENTERS - 6.73
 TOTAL OPEN SPACE - 139.46

EXCESS OPEN SPACE - 43.64

Revised site plan, engineering plan, and replat required for Peachtree subdivision to connect to proposed subdivision.



- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
 - Required 10' utility easement along all street frontages.
 - All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
 - The property must be platted.
 - Tree mitigation will be required when removing existing trees on the property.
 - Additional comments may be provided at time of Site Plan.
 - Utility easements may not cross through residential properties. Must be in a HOA maintained lot.
 - Gas Line/Easement crosses site - Letter of Permission to cross/build over.
 - Need approval from NRCS/SCS for any construction in their easement

- Streets/Paving:**
- All Residential Streets to be concrete, 50' ROW, 29' back-to-back paving minimum with 5' sidewalk on each side. Streets must be curb and gutter style. No asphalt or rock streets.
 - No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
 - All streets to be minimum 1-ft above the 100 YR floodplain WSEL.
 - City (and TXDOT) driveway spacing requirements must be met. Driveway/street spacing requirements must be met along John King Blvd, future and ex. SH 205, and all streets/driveways.
 - A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required running from Mercers Colony Avenue to the proposed P6D at John King Blvd. On-street parking lanes and a minimum 5' sidewalk will be required on both sides of the roadway.
 - A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW will be required running from Stableglen Drive to the future Stableglen Drive for RISD High School. On-street parking lanes and a minimum 5' sidewalk will be required on both sides of the roadway.
 - A Minor Collector, 2 lane, Undivided Roadway (MC) with a 60' ROW that traverses east to west from John King/SH 205 to the proposed 65' ROW collector roadway. A minimum 5' sidewalk will be required on both sides of the roadways if building the full width.
 - Must construct all roadways on the current Master Thoroughfare Plan
 - A TIA will be required. Please refer to the 2023 Standards of Design and Construction Manual (Subsection 2.21.06) for the TIA Preparation and Review Requirements. review fees apply.
 - Any medians must be curbed, and streets draining away from medians.
 - Future John King Extension (south of SH 205) is a 65' ROW with a 45' b-b street section

- Water and Wastewater Items:**
- Must loop min 8" water line on site.
 - Must install min. 8" and 12" sewer mains per City master plans. Dedicate easements.
 - Must install 12" water mains per City master plans. Dedicate easements.
 - Only one "use" of a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Must have 8" sewer line minimum through the property.
 - An Infrastructural Study will be required. Review fees apply.
 - Infrastructure called out to be required by study must be installed.
 - City is in the design of extending sanitary sewer from south property line to the corner of John King and Goliad.
 - Must follow and construct per the City's master water and sanitary sewer plans, or requirements per infrastructure study, whichever is most stringent.
 - Depending on infrastructure study, certain number of lots may be built without elevated water storage tank being built and functioning.
 - Property is divided by two separate water pressure plains. May not interconnect plains.
 - Utilities may not cross through a property. Must be within own HOA lot within an easement. Minimum 20'.
 - Sewer Pro-rata will be assessed per acre which must be paid prior to construction.
 - Provide corridor for City of Heath 24-inch water transmission line that run north-south along Lofland Circle. No fencing, structures, trees, etc over line and easement. Will need to get with City of Heath on required separation distances and easement size they require.
 - Provide water main stubs and wastewater stubs to all adjacent properties for future/existing development connection points.

- Drainage/Floodplain/Lakes:**
- Detention is required. Drainage areas larger than 20 acres will need a detention study using unit hydrograph method. Review fees apply.
 - Detention must be above the 100yr floodplain elevation where adjacent.
 - Detention will be out of floodplain.
 - Must have a wetlands/WOTUS determination for all lakes/ponds and streams/creeks on site.
 - Must have a flood study for all changes and crossing of the floodplain. Review fees apply.
 - No vertical walls are allowed in detention easements.
 - Must show and meet erosion hazard setback for all creeks/streams.
 - Drainage easement/erosion hazard setback easement shall be in its own separate lot owned by the HOA.
 - Flood plain must be in a drainage easement and the erosion hazard setback must be in a lot of it's own (HOA/Open Space lot)
 - Drainage system may not cross through a property. Must be within own HOA lot within an easement. Minimum 20'.
 - Lot to Lot drainage is not allowed.

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

** CALCULATED AT (TOT RES LOTS)/ (TOTAL ACRES-GROSS COMMERCIAL ACRES)

CONCEPT PLAN
 OF
JUNIPER
 SITUATED IN THE
 W.H. BAIRD SURVEY, ABSTRACT NO. 25
 A. JOHNSON SURVEY, ABSTRACT NO. 123
 J.R. JOHNSON SURVEY, ABSTRACT NO. 128

IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200

OWNERS
**J BOND PARTNERS, LOIS ANNE BOND, DAVID LOFLAND BOND,
 WILLIAM BRIGGS LOFLAND, HUNTER SCOTT LOFLAND,
 GILLIAN GRANT LOFLAND SHERER & EVELYN RUTH LOFLAND**
 1 CARMARTHEN COURT
 DALLAS, TEXAS 75225

SEPTEMBER 2024 SCALE 1" = 400'

CASE NO. XXXX



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE

PLANNING & ZONING CASE NO. **22021-048**

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *[Signature]*

CITY ENGINEER: *[Signature]*

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A ~~\$1,000.00~~ FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **FM205, TX**

SUBDIVISION **W.H. Baird Survey, Ab. No. 25; A. Johnson Survey, Ab No. 123; J.R. Johnson Survey, Ab. No. 128** BLOCK

GENERAL LOCATION **At Intersection of Goliad & S. John King Blvd.**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Agricultural**

CURRENT USE **Agricultural**

PROPOSED ZONING **Planned Development District**

PROPOSED USE **Single Family, Commercial**

ACREAGE **536.42**

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **William Lofland**

APPLICANT **Michael Joyce Properties**

CONTACT PERSON

CONTACT PERSON **Ryan Joyce**

ADDRESS **105 E. Kaufman Street**

ADDRESS **767 Justin Road**

CITY, STATE & ZIP **Rockwall, TX 75087**

CITY, STATE & ZIP **Rockwall, TX 75087**

PHONE

PHONE **512-965-6280**

E-MAIL

E-MAIL **ryan@michaeljoyceproperties.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Lofland [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 8246.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11 DAY OF September, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

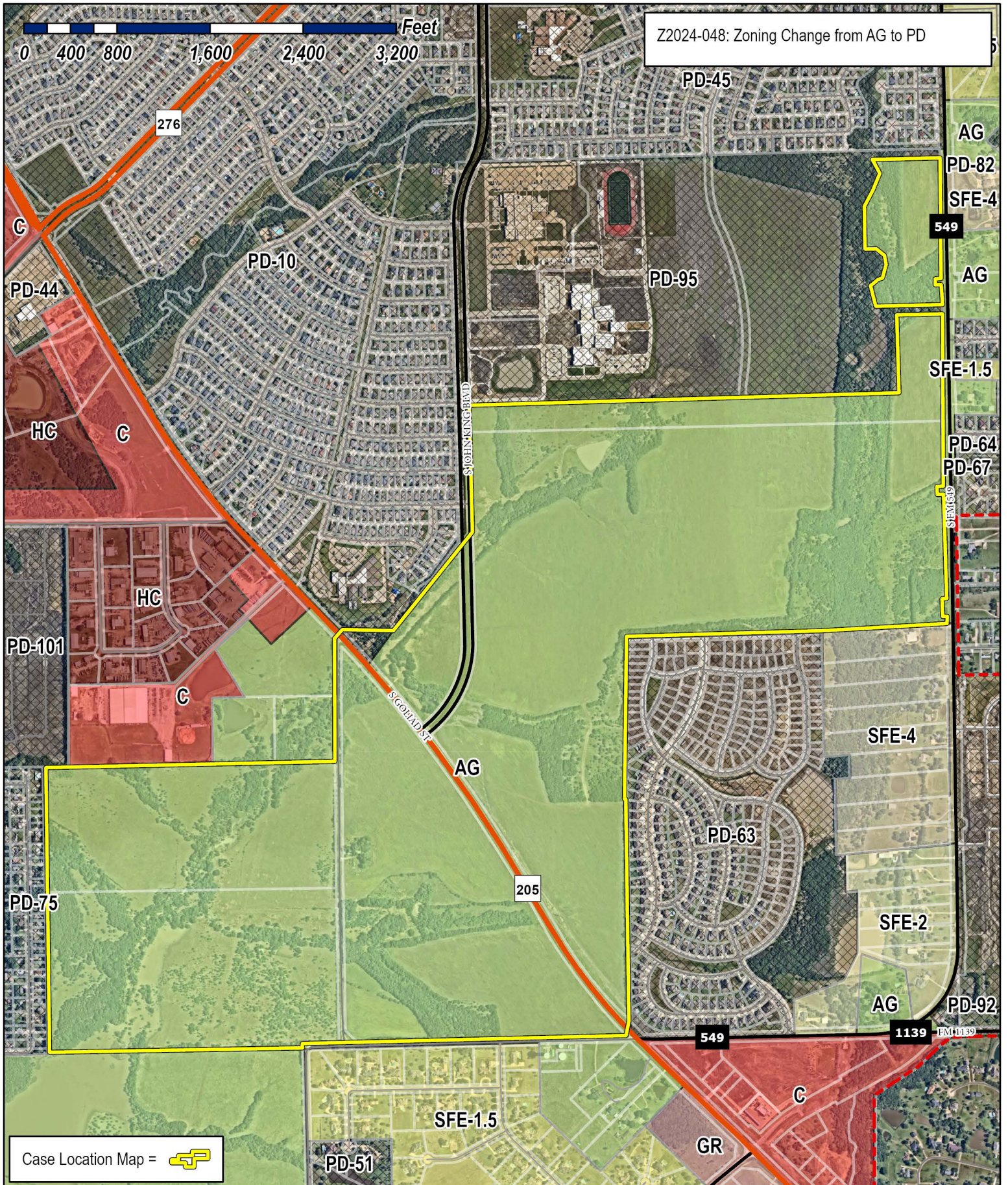
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF September, 2021

OWNER'S SIGNATURE *[Signature]*


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS *[Signature]*



3/8/2025



Z2024-048: Zoning Change from AG to PD

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

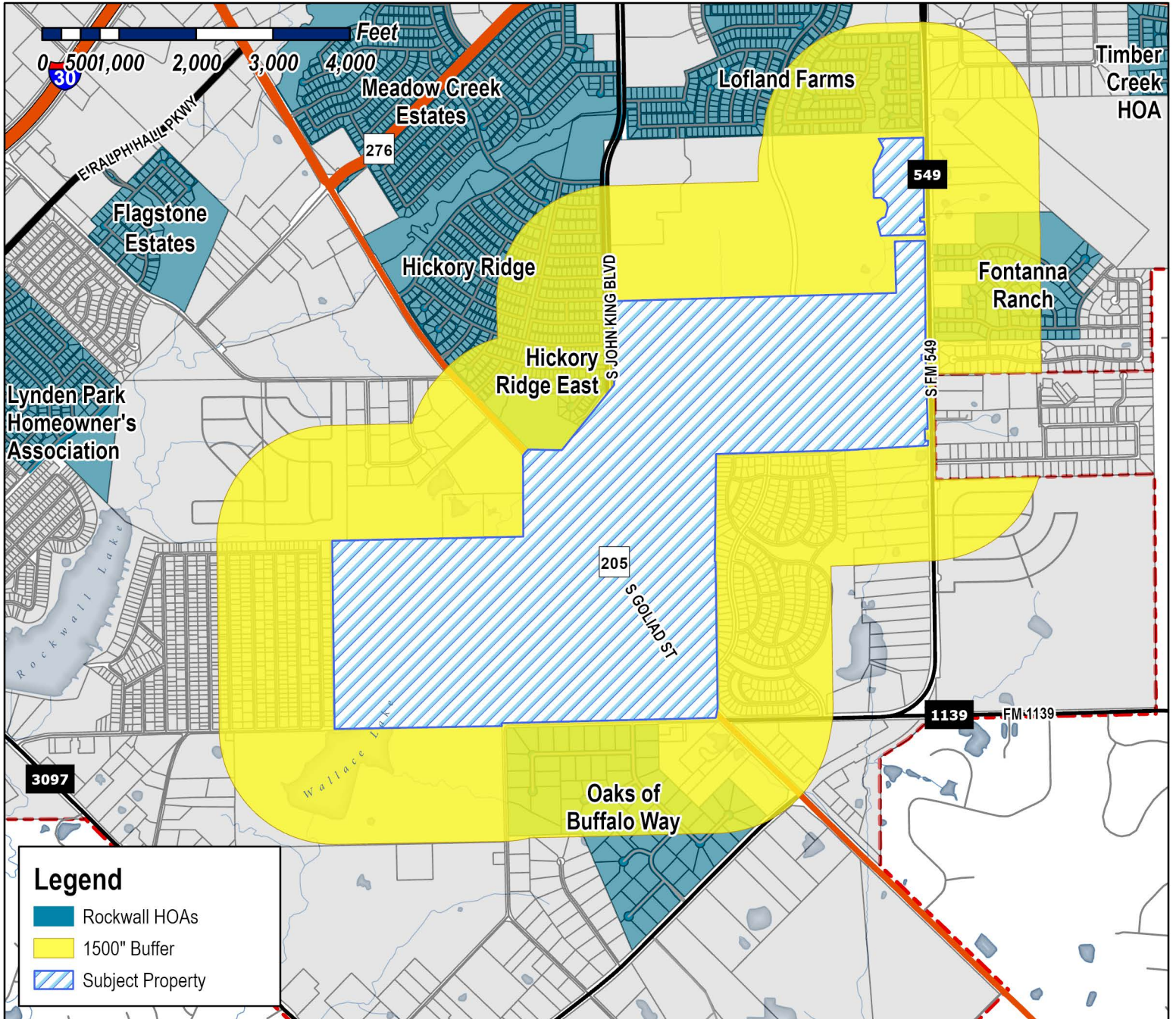




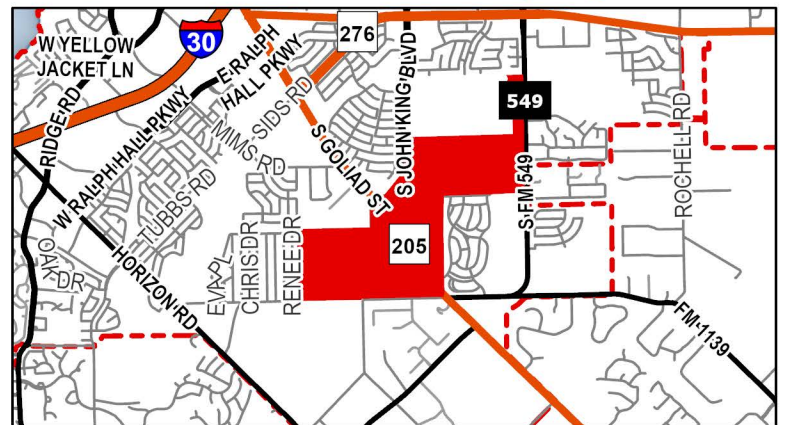
City of Rockwall

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385 S. Goliad Street
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Case Number: Z2024-048
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: FM 205



Date Saved: 9/13/2024
 For Questions on this Case Call (972) 771-7745

From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)
Subject: Neighborhood Notification Program [Z2024-048]
Date: Wednesday, September 18, 2024 10:51:47 AM
Attachments: [Public Notice \(P&Z\) \(09.16.2024\).pdf](#)
[HOA Map \(09.13.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, September 20, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, October 15, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, October 21, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2024-048: Zoning change from AG to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a [Zoning Change](#) from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 536.4297-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Melanie Zavala

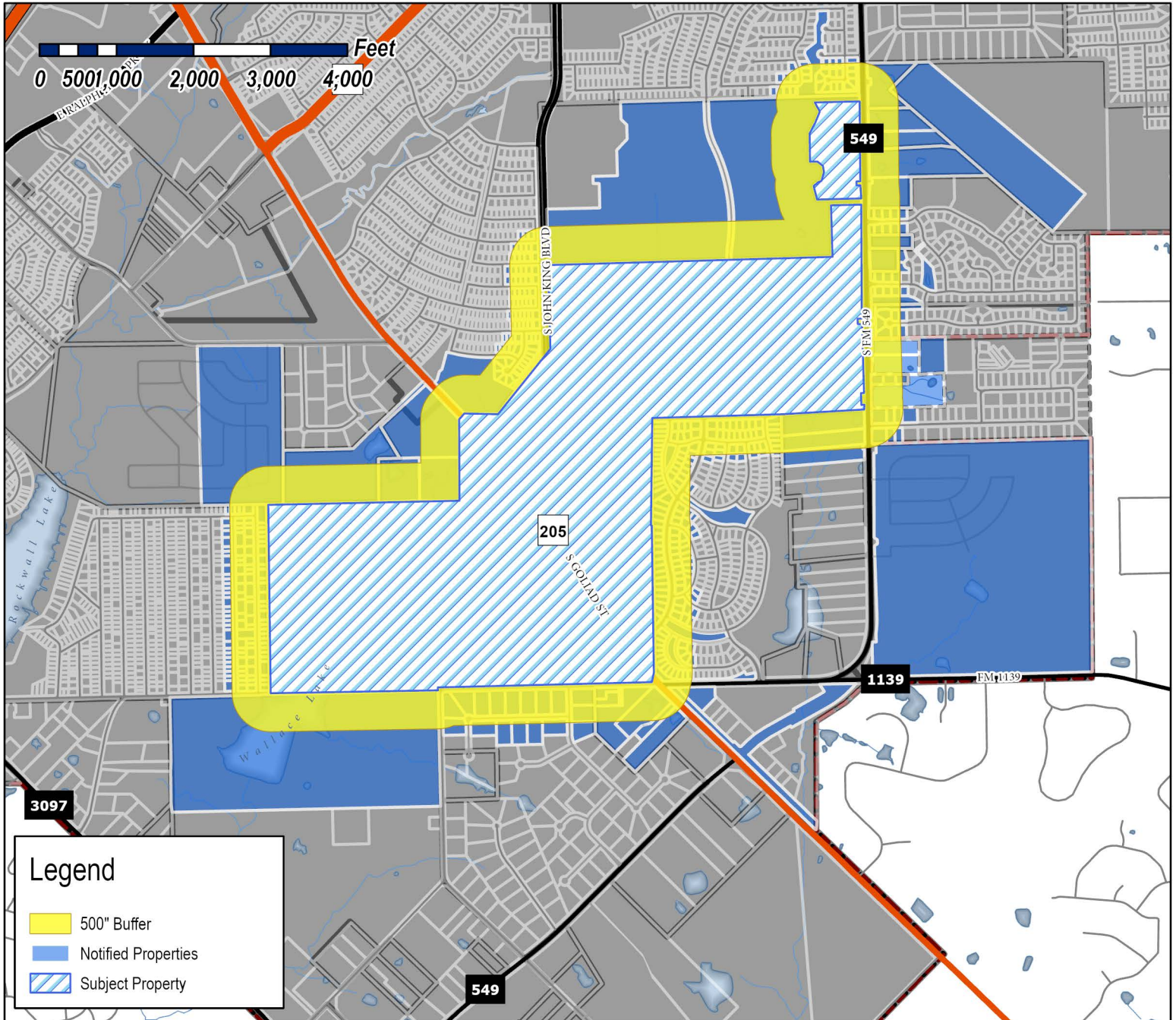
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
[Planning & Zoning Rockwall](#)
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

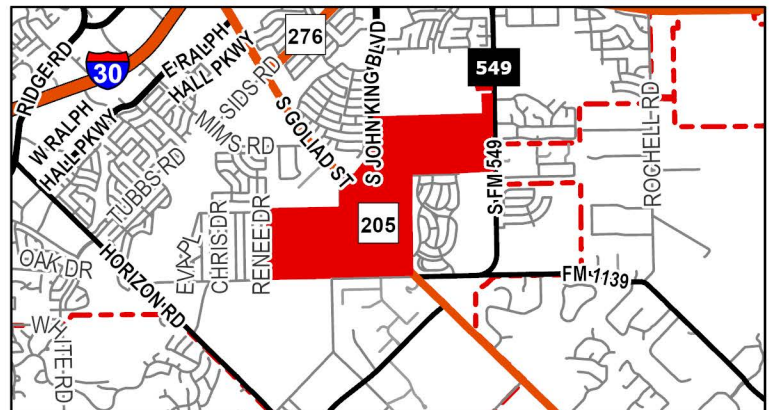
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Legend

- 500" Buffer
- Notified Properties
- Subject Property

Case Number: Z2024-048
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: FM 205



Date Saved: 9/13/2024
 For Questions on this Case Call: (972) 771-7745

SANCHEZ ARNULFO & ORALIA
398 NICOLE DR
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
414 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
400 RENEE RD
ROCKWALL, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

OCCUPANT
395 RENEE DR
ROCKWALL, TX 75032

PANTZAY MARVIN A FLORES AND
SULEIMA Y MONTERROSO
111 NICOLE DRIVE
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
118 RENEE DR
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX
20 CALLE DEL SOL
SAN JUAN, PR 901

OCCUPANT
115 RENEE DR
ROCKWALL, TX 75032

VASQUEZ FRANCISCO
125 NICOLE DR
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
130 RENEE DR
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX
20 CALLE DEL SOL
SAN JUAN, PR 901

OCCUPANT
127 RENEE DR
ROCKWALL, TX 75032

IBARRA MATEO CASTRO
140 NICOLE DR
ROCKWALL, TX 75032

JUNFA USA, LLC
910 MELISSA LN
GARLAND, TX 75040

OCCUPANT
137 NICOLE DR
ROCKWALL, TX 75032

CONTRERAS JOSE A
142 RENEE DR
ROCKWALL, TX 75032

THOMPSON WILLIAM R ETUX
20 CALLE DEL SOL
SAN JUAN, PR 901

OCCUPANT
139 RENEE DR
ROCKWALL, TX 75032

RUIZ SONIA
2009 WORCESTER LN
GARLAND, TX 75040

OCCUPANT
149 NICOLE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
233 RENEE DR
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS
288 NICOLE DRIVE
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L
265 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
285 RENEE DR
ROCKWALL, TX 75032

GUERRERO ALVARO AND
MARGARITA CASTILLO
400 RENEE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO
398 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
208 NICOLE DR
ROCKWALL, TX 75032

LEDEZMA J SOCORRO AGUILAR
201 RENEE DRIVE
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
485 RENEE DR
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
498 EVANS RD
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL
GELLY DELROSARIO
186 NICOLE DR
ROCKWALL, TX 75032

HERNANDEZ FELICITAS
183 NICOLE DR
ROCKWALL, TX 75032

MEDRANO CESAR AND ANDREA MARTINEZ
181 RENEE DR
ROCKWALL, TX 75032

NGUYEN ANNA
812 BLUFFCREEK LN APT 208
ARLINGTON, TX 76006

OCCUPANT
421 NICOLE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO AND ORALIA VARGAS
395 NICOLE DR
ROCKWALL, TX 75087

MCLOUD JOY ANN
375 NICOLE DR
ROCKWALL, TX 75032

CONTRERAS JOSE LUIS AND
JUANA DIAZ
1750 E FM 550
ROCKWALL, TX 75032

OCCUPANT
353 NICOLE DR
ROCKWALL, TX 75032

ESTRADA NOHEMA
705 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
283 NICOLE DR
ROCKWALL, TX 75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX 75032

CARMONA JOSE
194 RENEE DRIVE
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN
241 TROUT ST
ROCKWALL, TX 75032

OCCUPANT
250 RENEE DR
ROCKWALL, TX 75032

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

OCCUPANT
496 NICOLE DR
ROCKWALL, TX 75032

RUIZ SONIA
2009 WORCESTER LN
GARLAND, TX 75040

OCCUPANT
159 NICOLE DR
ROCKWALL, TX 75032

VASQUEZ JESUS AND ROSA
162 RENEE DR
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R
186 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
176 NICOLE DR
ROCKWALL, TX 75032

VASQUEZ JESUS
167 RENEE DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

VALDEZ EUSEBIO
505 EVANS DR
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL
GELLY DELROSARIO
186 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
196 NICOLE DR
ROCKWALL, TX 75032

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

OCCUPANT
508 RENEE DR
ROCKWALL, TX 75032

GUTIERREZ EFREN
1385 LOCHSPRING DR
ROCKWALL, TX 75032

OCCUPANT
433 RENEE DR
ROCKWALL, TX 75032

TORRES LUIS & TERESA HERNANDEZ
344 COUNTY LINE RD
ROCKWALL, TX 75032

OCCUPANT
363 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

OCCUPANT
191 RENEE DR
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS
288 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
302 NICOLE DR
ROCKWALL, TX 75032

CONTRERAS NORMA
360 NICOLE DR
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA
230 RENEE DR
ROCKWALL, TX 75032

LEDEZMA J SOCORRO AGUILAR
201 RENEE DRIVE
ROCKWALL, TX 75032

OCCUPANT
211 RENEE DR
ROCKWALL, TX 75032

RIVERA DORIS MABEL
288 RENEE DR
ROCKWALL, TX 75032

YANEZ ALONSO TORRES
473 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
358 RENEE DR
ROCKWALL, TX 75032

OLIVARES JAIME B & MARTINA G
1209 QUAIL DR
GARLAND, TX 75040

OCCUPANT
386 RENEE DR
ROCKWALL, TX 75032

VERA MIGUEL & GUADALUPE
452 RENEE DR
ROCKWALL, TX 75032

CASTILLO JOSE &
LUZ DELGAEDO
383 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
408 NICOLE DR
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA
230 RENEE DR
ROCKWALL, TX 75032

TREJO CECILLIO
221 RENEE DR
ROCKWALL, TX 75032

SANCHEZ PABLO
248 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
250 NICOLE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
245 RENEE DR
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS
288 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
274 NICOLE DR
ROCKWALL, TX 75032

DEBRA JEAN CRUZ TRUST
DEBRA JEAN CRUZ - TRUSTEE
262 RENEE DR
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L
265 RENEE DR
ROCKWALL, TX 75032

CONTRERAS NORMA
360 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
372 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
482 NICOLE DR
ROCKWALL, TX 75032

FLORES ALEJANDRO
1070 N BEN PAYNE RD
ROCKWALL, TX 75087

OCCUPANT
466 RENEE DR
ROCKWALL, TX 75032

MAYHALL DANNEJ J
473 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
463 RENEE DR
ROCKWALL, TX 75032

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
807 N JOSEPHINE ST
ROYSE CITY, TX 75189

OCCUPANT
452 EVANS RD
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

OCCUPANT
464 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
486 EVANS RD
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

XU ZICAI
4509 PORTRAIT LANE
PLANO, TX 75024

OCCUPANT
471 NICOLE DR
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R
186 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
164 NICOLE DR
ROCKWALL, TX 75032

CERVANTES-OSORNIO HECTOR AND
ERIKA J MOLINA-OLVERA
548 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
526 NICOLE DR
ROCKWALL, TX 75032

DRCE TRUST
4219 ASHMONT CT
DALLAS, TX 75287

OCCUPANT
441 NICOLE DR
ROCKWALL, TX 75032

LOPEZ SILVIA
430 RENEE DR
ROCKWALL, TX 75032

DRCE TRUST
4219 ASHMONT CT
DALLAS, TX 75287

OCCUPANT
431 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
470 NICOLE DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
503 RENEE DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

OCCUPANT
535 NICOLE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

OCCUPANT
520 RENEE DR
ROCKWALL, TX 75032

SHEPHERD PLACE HOMES INC
10527 CHURCH RD # 201
DALLAS, TX 75238

OCCUPANT
116 NICOLE DR
ROCKWALL, TX 75032

MARTINEZ RONALD W GOMEZ AND PAOLA I
CASTILLO
424 NICOLE DR
ROCKWALL, TX 75032

COLUNGA BERNABE ESTATE
MARINA COLUNGA INDEPENDENT EXECUTOR
448 NICOLE DR
ROCKWALL, TX 75032

DIAZ-ALMARAZ CARLOS OMAR
514 NICOLE DR
ROCKWALL, TX 75032

SRP SUB LLC
1717 MAIN ST SUITE 2000
DALLAS, TX 75201

OCCUPANT
3112 LIMESTONE HILL LN
ROCKWALL, TX 75032

THOMPSON LISA
3078 DEER RIDGE DR
ROCKWALL, TX 75032

MONTEZON CECILE & DENNIS
3081 COOLWOOD LANE
ROCKWALL, TX 75032

BEDDER MANAGEMENT AUSTIN LLC
9901 BRODIE LANE SUITE 160-172
AUSTIN, TX 78748

OCCUPANT
3089 COOLWOOD LN
ROCKWALL, TX 75032

MANKUS STEPHEN & SUSAN
7401 RODEO DR
DENTON, TX 76208

OCCUPANT
3097 COOLWOOD LN
ROCKWALL, TX 75032

OCHOA RENE
3107 COOLWOOD LANE
ROCKWALL, TX 75032

ROJAS AMITAY HUERTA AND SORANGEL PEREZ
PARADA
3132 COOLWOOD LN
ROCKWALL, TX 75032

VARGAS JOSE A
3124 COOLWOOD LN
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

OCCUPANT
3116 COOLWOOD LN
ROCKWALL, TX 75032

SLATTER SARAH KIMBERLY
3100 COOLWOOD LN
ROCKWALL, TX 75032

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

OCCUPANT
3092 COOLWOOD LN
ROCKWALL, TX 75032

ROCK RANDALL L
1704 ASBURY DR
WYLIE, TX 75098

OCCUPANT
2741 MASSEY LN
ROCKWALL, TX 75032

STANDIFER JEREMY B & KATHRYN
2771 MASSEY LN
ROCKWALL, TX 75032

BASWELL KEVIN T & SUZANN J
1715 S FM 549
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

WANG EILEEN HONGLIAN &
HAWKINS HAOHAI YAO
5887 KILLARNEY CIR
SAN JOSE, CA 95138

OCCUPANT
2861 DEUTZ CT
ROCKWALL, TX 75032

PAXTON CLAUDIA
2750 MASSEY LN
ROCKWALL, TX 75032

AMH 2014-3 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

OCCUPANT
3071 FALLBROOK DR
ROCKWALL, TX 75032

COVINGTON TEVIN TYLER
3469 POST OAK DRIVE
ROCKWALL, TX 75032

OROZCO ARMANDO
3465 POST OAK DR
ROCKWALL, TX 75032

RISTER JOHN & CHRISTINE
4815 BEAR CLAW LANE
ROCKWALL, TX 75032

SHAH MURTAZA M AND MARIA E
4755 BEAR CLAW LANE
ROCKWALL, TX 75032

CURTIS CHRISTOPHER LEE AND
BERT G CURTIS & PAMELA S CURTIS
4735 BEAR CLAW LANE
ROCKWALL, TX 75032

ZAZAKIS LAURA J AND JOHN
3014 WIMBERLEY LANE
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

POUNDS PAMELA AND PAUL B
3010 FONTANNA BLVD
ROCKWALL, TX 75032

LOESCH RICHARD C & LISA
3012 FONTANNA BOULEVARD
ROCKWALL, TX 75032

RAYSON BRIAN CHRISTOPHER & MISTY MICHELE
3014 FONTANA BOULEVARD
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

ANDERSON ERICKA RENEE
3442 POST OAK DR
ROCKWALL, TX 75032

CANO LORENZO E & BRENDA L
3055 FALLBROOK DR
ROCKWALL, TX 75032

PROGRESS RESIDENTIAL BORROWER 4 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

OCCUPANT
3129 COOLWOOD LN
ROCKWALL, TX 75032

ROBINSON JEREMY A
10012 TISBURY DR
FRISCO, TX 75035

OCCUPANT
3137 COOLWOOD LN
ROCKWALL, TX 75032

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 PRESTON PARK BLVD STE 101
PLANO, TX 75093

VILLA CORNELIO & ESTHER
3062 FALLBROOK DR
ROCKWALL, TX 75032

MADRID AYDEE E
3070 FALLBROOK DR
ROCKWALL, TX 75032

LAU VIVIAN SO FAN AND
RUSSELL THETU LY
131 W SANTA ANITA TERRACE
ARCADIA, CA 91007

OCCUPANT
3078 FALLBROOK DR
ROCKWALL, TX 75032

REIDLINGER CALEB R & SARA D
3090 FALLBROOK DR
ROCKWALL, TX 75032

HENSON RICHARD W & SHARON ES
PO BOX 1091
ROCKWALL, TX 75087

OCCUPANT
2424 FM549
ROCKWALL, TX 75032

STRANG DANIEL EDWARD AND SUSANNE LEIGH
3158 LUCHENBACK TRL
ROCKWALL, TX 75032

SIMMONS COLTON D AND DANIELLE
3016 FONTANNA DR
ROCKWALL, TX 75032

SAGNIBENE JOE AND LISA
3162 LUCKENBACH TRAIL
ROCKWALL, TX 75032

THOMPSON WILLIAM AND KATHY
3013 WIMBERLEY LN
ROCKWALL, TX 75087

DUNN DAVID IRVIN II
2841 HAYMAKER DR
ROCKWALL, TX 75032

WONG IU YAM IRENE
36-38 GLENWOOD AVE
PITTSFIELD, MA 0

OCCUPANT
2851 HAYMAKER DR
ROCKWALL, TX 75032

WARREN MICHAEL & RENEE
2861 HAYMAKER DR
ROCKWALL, TX 75032

TURNER CALEB MAURICE
3015 FONTANNA BLVD
ROCKWALL, TX 75032

THEKEN JAMES JR AND JACQUELINE
3013 FONTANA BLVD
ROCKWALL, TX 75032

CHISHOLM JILL MARIE
3011 FONTANA BLVD
ROCKWALL, TX 75032

VITAR RODOLFO AND IRMA
3009 FONTANA BOULEVARD
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

OCCUPANT
3875 SELBORNE DR
ROCKWALL, TX 75032

WOOLDRIDGE KATHERINE W
2150 GLEANER DR
ROCKWALL, TX 75032

MEJIA SERGIO
2140 GLEANER DR
ROCKWALL, TX 75032

DOWNUM CHRIS D & JULIE W
2130 GLEANER DR
ROCKWALL, TX 75032

NICKERSON TERENCE & DOROTHIA
3061 DUSTY RIDGE DR
ROCKWALL, TX 75032

GARCIA ROBERT & GLENDA
2760 MASSEY LN
ROCKWALL, TX 75032

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

OCCUPANT
2751 MASSEY LN
ROCKWALL, TX 75032

LAFLEUR SIEGEN
2761 MASSEY LANE
ROCKWALL, TX 75032

MUENKS RUSSELL JOHN
2771 MCCORMICK CT
ROCKWALL, TX 75032

SULLIVAN BRANDI KATHERINE
2770 MASSEY LN
ROCKWALL, TX 75032

ML VENTURES, LLC
7908 BOULDER RIVER TRAIL
MCKINNEY, TX 75070

OCCUPANT
2850 DEUTZ CT
ROCKWALL, TX 75032

DUNAWAY LORI J
2860 DEUTZ COURT
ROCKWALL, TX 75032

SERCY WILLIAM CHARLES AND
NORMAN WAYNE SERCY AND MARSHA MARIE
SERCY
2851 DEUTZ CT
ROCKWALL, TX 75032

FOWLER KATELIN
2871 DEUTZ COURT
ROCKWALL, TX 75032

DUNK DAWNETTA M VAN
2140 NEW HOLLAND DR
ROCKWALL, TX 75032

CAVETT DEBRA
2130 NEW HOLLAND DR
ROCKWALL, TX 75032

WHITTERN STEVEN B & JERALYN LOUISE
2841 DEUTZ CT
ROCKWALL, TX 75032

GAINOUS LESLIE III AND
ERICA ESCOBAR
2110 NEW HOLLAND DRIVE
ROCKWALL, TX 75032

RETTMAN KRISTIE
2830 DEUTZ COURT
ROCKWALL, TX 75032

CULBERTSON JACK NEAL
3046 DUSTY RIDGE DR
ROCKWALL, TX 75032

COLE LAURA & OMODAMWEN
3090 DUSTY RIDGE DR
ROCKWALL, TX 75032

GARNER AMY
3105 MISTY RIDGE LN
ROCKWALL, TX 75032

FKH SFR PROPCO B-HLD, LP
C/O FIRST KEY HOMES LLC
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

OCCUPANT
3108 MISTY RIDGE LN
ROCKWALL, TX 75032

SFR JV-2 2023-1 BORROWER LLC
15771 RED HILL AVE STE 100
TUSTIN, CA 92780

OCCUPANT
3116 MISTY RIDGE LN
ROCKWALL, TX 75032

MAH JEFFERY
305 BLANCO CIR
SOUTHLAKE, TX 76092

OCCUPANT
3124 MISTY RIDGE LN
ROCKWALL, TX 75032

JDS & BHK PROPERTY MANAGEMENT FIRM LP
105 CLIPPER COURT
ROCKWALL, TX 75032

OCCUPANT
3092 MISTY RIDGE LN
ROCKWALL, TX 75032

CHOKHAWALA AMAR AND SIMABEN V SHAH
3102 LIMESTONE HILL LN
ROCKWALL, TX 75032

ROMERO ANA L AND MARIO ROMERO CEDANO
3067 DUSTY RIDGE DRIVE
ROCKWALL, TX 75032

POWERS JUSTIN D
PO BOX 850
ROCKWALL, TX 75087

OCCUPANT
3079 DUSTY RIDGE DR
ROCKWALL, TX 75032

STEWART RUDOLPH & BETTY
3073 DUSTY RIDGE DR
ROCKWALL, TX 75032

SNYDER STACY & CHARLES
2840 DEUTZ CT
ROCKWALL, TX 75032

INGRAM JAMES KENDELL
1957 S FM 549
ROCKWALL, TX 75032

RODRIGUEZ EVANGELINA PARRA & KRYSTAL
MARIE RODRIGUEZ
2601 PATRICIA LN
GARLAND, TX 75041

OCCUPANT
1791 FM549
ROCKWALL, TX 75032

WALKER JANICE L
1777 FM 549
ROCKWALL, TX 75032

INGRAM JAMES KENDELL
1957 S FM 549
ROCKWALL, TX 75032

OCCUPANT
1925 FM549
ROCKWALL, TX 75032

TERMINI EUGENE D & BONNIE
1851 S FM 549
ROCKWALL, TX 75032

DICHARD CHRIS E
1903 FM 549
ROCKWALL, TX 75032

SHOMETTE WILLIAM TODD AND KERRI PARSONS
3012 WIMBERLEY LN
ROCKWALL, TX 75032

GODWIN JULIE AND BOBBY
3112 SAN MARCOS
ROCKWALL, TX 75032

OCCUPANT
2120 NEW HOLLAND DR
ROCKWALL, TX 75032

LOFLAND FARMS OWNERS ASSOC.
C/O SPECTRUM ASSOCIATION MANAGEMENT
17319 SAN PEDRO SUITE 318
SAN ANTONIO, TX 78232

GILMORE TODD AND TIFFANY
2831 DUETZ CT
ROCKWALL, TX 75032

MENDOZA MIGUEL
3410 POST OAK DR
ROCKWALL, TX 75032

SWAIT TIFFANY
3402 POST OAK DR
ROCKWALL, TX 75032

CITY OF ROCKWALL
, 0

FOX PATRICK AND MEGAN
3119 COOLWOOD LANE
ROCKWALL, TX 75032

BURNS A STACEY
3070 DEER RUDGE DR
ROCKWALL, TX 75032

ZENDEJAS JUAN & YOLANDA AYALA
3087 DUSTY RIDGE DR
ROCKWALL, TX 75032

WARNELL DONALD L AND MARIA D
3009 WIMBERLEY LN
ROCKWALL, TX 75032

PARKER LYNN TERRY
3015 WIMBERLEY LN
ROCKWALL, TX 75032

PEARSON GREGORY AND VICKI
1920 BROKEN LANCE LANE
ROCKWALL, TX 75032

DELK GREGORY S AND SANDRA G
2020 BROKEN LANCE LN
ROCKWALL, TX 75032

CURTIS PAMELA
2040 BROKEN LANCE LN
ROCKWALL, TX 75032

DAWA DAWA AND
TENZIN LHAMO
3011 WIMBERLEY LANE
ROCKWALL, TX 75032

BATSON NICHOLAS AND JESSIE
3010 WIMBERLEY LANE
ROCKWALL, TX 75032

ROCKWALL I S D
3025 LIMESTONE HILL LN
ROCKWALL, TX 75032

CITY OF ROCKWALL
, 0

PALMA MAYRA A & YOVANI D
3087 FALLBROOK DR
ROCKWALL, TX 75032

BAYOUD JENNIFER
940 COTTON DEPOT LN APT 440
FT WORTH, TX 76102

OCCUPANT
3079 FALLBROOK DR
ROCKWALL, TX 75032

TAN JUDY AND
LAM KHANG DUY
914 FALCON TRAIL
MURPHY, TX 75094

OCCUPANT
3054 FALLBROOK DR
ROCKWALL, TX 75032

CARRANZA LUCY
3087 DEER RIDGE DR
ROCKWALL, TX 75032

WESSON LAURIE K
3079 DEER RIDGE DR
ROCKWALL, TX 75032

FORT PHILLIP D & TYRA W
3071 DEER RIDGE DR
ROCKWALL, TX 75032

CRESPIN DEBRA
3063 DEER RIDGE DR.
ROCKWALL, TX 75032

TOWNSEND NINA
3084 MISTY RIDGE LN
ROCKWALL, TX 75032

CARRANZA GILBERTO E
3078 DUSTY RIDGE DR
ROCKWALL, TX 75032

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

OCCUPANT
3450 POST OAK DR
ROCKWALL, TX 75032

USCMF SN TEXAS A LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

OCCUPANT
3047 FALLBROOK DR

HP TEXAS I LLC
120 SOUTH REIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

OCCUPANT
3418 POST OAK DR
ROCKWALL, TX 75032

MCWHORTER RODNEY & VICKIE
3062 DEER RIDGE DR
ROCKWALL, TX 75032

RODRIGUEZ BRIAN
8 BROOKWAY CT
MANSFIELD, TX 76063

OCCUPANT
3078 LIMESTONE HILL LN
ROCKWALL, TX 75032

CEVALLOS JASON & MARY
3086 LIMESTONE HILL LN
ROCKWALL, TX 75032

DENNIS AMY L
3094 LIMESTONE HILL LN
ROCKWALL, TX 75032

BADER MARKUS AND KIMBERLY
1940 BROKEN LANCE LN
ROCKWALL, TX 75032

PODLESKI GREGG T & MARIANNE
1950 BROKEN LANCE LN
ROCKWALL, TX 75032

WILKINSON RICHARD S
1970 BROKEN LANCE LANE
ROCKWALL, TX 75032

TSIC ASSOCIATES HOLDINGS TRUST
350 MEADOW GATE RD
MEADOW VISTA, CA 95722

OCCUPANT
1990 BROKEN LANCE LN
ROCKWALL, TX 75032

TATE ERIN ELIZABETH
3063 FALLBROOK DR
ROCKWALL, TX 75032

LEWIS REX STEPHEN
3473 POST OAK DR
ROCKWALL, TX 75032

TERRELL JUSTIN C & DESIREE N
3476 POST OAK DRIVE
ROCKWALL, TX 75032

MILLAN TRESSO & LEODEGARIA
3472 POST OAK DR
ROCKWALL, TX 75032

BAKER ALEXANDER AND
ARTEMIS LI
2045 BROKEN LANCE LN
ROCKWALL, TX 75032

HOOVER WILLIAM A AND TAMMY
2025 BROKEN LANCE LANE
ROCKWALL, TX 75032

MOORE JAMES S AND KATRINA D
2005 BROKEN LANCE LANE
ROCKWALL, TX 75032

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 PRESTON PARK BLVD STE 101
PLANO, TX 75093

KILPATRICK KERRY LYNN & JENNY LYNN
3125 MISTY RIDGE LN
ROCKWALL, TX 75032

CALDERON DAVID & MARIBEL
3117 MISTY RIDGE LANE
ROCKWALL, TX 75032

KRANTZ BRIAN K & KATHERINE A
3434 POST OAK DRIVE
ROCKWALL, TX 75032

WOODWARD CHERIE J
3426 POST OAK DR
ROCKWALL, TX 75032

REGGIA DANIELLE R
3100 MISTY RIDGE LN
ROCKWALL, TX 75032

TUGGLE JERRY R & KATHRYN M
3070 DUSTY RIDGE DRIVE
ROCKWALL, TX 75032

W2 CATTLE INVESTMENTS LLC
C/O RANDY PARDUE
508 TWILIGHT TRAIL SUITE 99
RICHARDSON, TX 75080

OCCUPANT
3062 DUSTY RIDGE DR
ROCKWALL, TX 75032

KANAK INVESTMENTS LLC
2321 FIELDCREST DR
ROCKWALL, TX 75032

OCCUPANT
3054 DUSTY RIDGE DR
ROCKWALL, TX 75032

TOUOBOUN CHRISTOPHER
1648 TROW BRIDGE
ROCKWALL, TX 75032

OCCUPANT
3055 DEER RIDGE DR
ROCKWALL, TX 75032

HICKORY RIDGE EAST HOMEOWNERS ASSOC
1800 PRESTON PARK BLVD STE 101
PLANO, TX 75093

SCHUETTE JASON & BARBARA
1925 BROKEN LANCE LN
ROCKWALL, TX 75032

BRUCE LIVING TRUST
757 AVALON DR
HEATH, TX 75032

OCCUPANT
2065 BROKEN LANCE LN
ROCKWALL, TX 75032

TIPPETT TERRANCE & EMILY
2060 BROKEN LANCE LANE
ROCKWALL, TX 75032

DRENTH HOWARD D AND TERESSA
2080 BROKEN LANE
ROCKWALL, TX 75032

ESPARZA ABEL AND MONICA CARMONA
336 NICOLE DR
ROCKWALL, TX 75032

ESTATE OF WILLIAM K & BEATRICE BURNS
319 RENEE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
2847 TANGLEGLEN DR
ROCKWALL, TX 75032

OCCUPANT
337 RENEE DR
ROCKWALL, TX 75032

IBARRA MATEO CASTRO
140 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
152 NICOLE DR
ROCKWALL, TX 75032

SOSA LORENA
293 NICOLE DR
ROCKWALL, TX 75032

ESPARZA MARCO
312 RENEE
ROCKWALL, TX 75032

CONTRERAS JOSE LUIS AND
JUANA DIAZ
1750 E FM 550
ROCKWALL, TX 75032

OCCUPANT
330 RENEE DR
ROCKWALL, TX 75032

SH DEV KLUTTS ROCKWALL LLC
2400 DALLAS PARKWAY SUITE 460
PLANO, TX 75093

BENITES ROSA
322 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
312 NICOLE DR
ROCKWALL, TX 75032

BENITES ROSA
322 NICOLE DR
ROCKWALL, TX 75032

CHINN DERRICK O
PO BOX 35011
LOS ANGELES, CA 90035

OCCUPANT
3468 POST OAK DR
ROCKWALL, TX 75032

BEAVERS SHIRLEY
3460 POST OAK DR
ROCKWALL, TX 75032

RUSHING MASON & JACLYN A
3111 MISTY RIDGE LANE
ROCKWALL, TX 75032

JARMAN EMMA
3091 MISTY RIDGE LN
ROCKWALL, TX 75032

ARISTA ISAAC & WILMA KAY
3083 MISTY RIDGE LN
ROCKWALL, TX 75032

RICCELLI JEANINE MARIE
3099 MISTY RIDGE LN
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

IBARRA GABRIELA AND
EDUARDO OSORNIO
171 CRAWFORD LN
ROYSE CITY, TX 75189

OCCUPANT
291 RENEE DR
ROCKWALL, TX 75032

ESPARZA MARCO A
312 RENEE DR
ROCKWALL, TX 75032

OCCUPANT
383 RENEE DR
ROCKWALL, TX 75032

WHEELER JANIS & KEVIN M
451 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
515 RENEE DR
ROCKWALL, TX 75032

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

ROCKWALL INDEPENDENT SCHOOL DISTRICT
1050 WILLIAMS ST
ROCKWALL, TX 75087

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON
3808 LOFLAND CIR
ROCKWALL, TX 75032

DEAN ANN W
106 STANDING OAK DR
GEORGETOWN, TX 78633

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

MILLER FAMILY INVESTMENT LP
17430 CAMPBELL RD STE 230
DALLAS, TX 75252

SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

LOFLAND N L EST
1 CARMARTHEN CT
DALLAS, TX 75225

FORREST FRANK & KELLI LAFON
3808 LOFLAND CIR
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
2922 S GOLIAD ST
ROCKWALL, TX 75032

SANCHEZ ARNULFO
398 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
222 NICOLE DR
ROCKWALL, TX 75032

MCINTIRE JUANITA
373 RENEE DR
ROCKWALL, TX 75032

MENDEZ ALAN ERNESTO ROJAS AND YAZMIN
ACOSTA MEJIA
303 RENEE DR
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS
ASSOCIATION INC
C/O ASSURED MANAGEMENT
2500 LEGACY DR SUITE 220
FRISCO, TX 75034

BLOOMFIELD HOMES LP
1050 E. STATE HWY 114 EAST SUITE 210
SOUTHLAKE, TX 76092

ROSS SCOTT TRAVIS AND MEGAN
2517 LOUDON ST WEST
ROCKWALL, TX 75032

DENSON PATRICIA ANN
2521 LOUDON ST WEST
ROCKWALL, TX 75032

JOSHI MAYURESH S AND
BINITA SINHA
2513 LOUDON ST WEST
ROCKWALL, TX 75032

GATEWOOD PAULA AND WADE
2509 LOUDON ST W
ROCKWALL, TX 75032

SIGNO FAMILY LIVING TRUST
GENARO A SIGNO AND JULITA R SIGNO-
TRUSTEES
2505 LOUDON STREET WEST
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

OCCUPANT
4509 SYLVAN PARK DR
ROCKWALL, TX 75032

DE LOS SANTOS CARLOS AND MARGOT
2501 LOUDON ST WEST
ROCKWALL, TX 75032

HUGHES BRYAN
2423 LOUDON ST WEST
ROCKWALL, TX 75032

MARTINEZ ALEXANDRA ISABEL PRIETO AND
ANGEL JAVIER SANCHEZ ROJAS
2419 LOUDON ST WEST
ROCKWALL, TX 75032

GARZA SIMONE M & HEATH
2518 LOUDON ST E
ROCKWALL, TX 75032

JOHNSTON RODNEY DURRAL JR AND KIMBERLY
D
2504 LOUDON ST EAST
ROCKWALL, TX 75032

BOLDEN QUINTEN TIBERIUS AND
ALEXANDER NICHOLAS KUJAK
2417 LOUDON ST WEST
ROCKWALL, TX 75032

ACKERMAN DANYELL AND ALAN
2418 LOUDON STREET EAST
ROCKWALL, TX 75032

NAMIE NOMIE M III AND GINA MARIE
2413 LOUDON ST WEST
ROCKWALL, TX 75032

BOCK FAMILY TRUST OF 2003
JOSEPH C AND SHIZUKO BOCK-TRUSTEES
2601 LONG COMMON SOUTH
ROCKWALL, TX 75032

SWAIN STEPHEN & CAROL J
2406 LOUDON ST E
ROCKWALL, TX 75032

GIL ANNA AND JULIAN
2409 LOUDON STREET WEST
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

WILLIAMS DAVIS CRAIG AND JENNIFER IRENE
2405 LOUDON ST WEST
ROCKWALL, TX 75032

DIGGS DAVID WILEY
2401 LOUDON ST WEST
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

TAYLOR SHELLY A
2518 LONG COMMON NORTH
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

FURLONG FAMILY TRUST
2502 LONG COMMON NORTH
ROCKWALL, TX 75032

MURRAY BRADY & JENNIFER
4310 STABLE GLEN DRIVE
ROCKWALL, TX 75032

ROBERTS KYLE & KATELIN
4314 SELBORNE DR
ROCKWALL, TX 75032

MILLIGAN BYRON PEYTON AND MELANIE BAILEY
4317 STABLEGLEN DR
ROCKWALL, TX 75032

VIDICAN FLORIN
4306 STABLEGLEN DRIVE
ROCKWALL, TX 75032

PETERSEN JOEL AND LEIGHANN MARIE
4309 STABLEGLEN DRIVE
ROCKWALL, TX 75032

LIRA MARCELINO JOSE &
ROZENEIDE S SOUSA LINS
4318 SELBORNE DR
ROCKWALL, TX 75032

HERNANDEZ RAUL RALPH
4302 STABLEGLEN DRIVE
ROCKWALL, TX 75032

TRAVIS MARK SUMMIT AND KAITLYN MAE
4301 STABLEGLEN DRIVE
ROCKWALL, TX 75032

OCONELL PETER JAMES AND MICHELLE ANN
4214 QUINCY ST
ROCKWALL, TX 75032

BROWN KAREN D
4215 STABLEGLEN DRIVE
ROCKWALL, TX 75032

MELI JILL MARIE
4210 QUINCY ST
ROCKWALL, TX 75032

ROBINSON JOSEPH BROOKS
4210 STABLEGLEN DRIVE
ROCKWALL, TX 75032

BURKHALTER JEFFREY MICHAEL AND LINDSEY
ANN
4209 STABLEGLEN DR
ROCKWALL, TX 75032

SHEPHERD JEFFREY W AND PAMELA A
4206 STABLE GLEN DRIVE
ROCKWALL, TX 75032

PATTERSON KENNETH EARL AND CYNTHIA A
4205 STABLEGLEN DR
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

IRWIN MATTHEW LEE AND MYLIN NICOLE
4202 STABLEGLEN DRIVE
ROCKWALL, TX 75032

ROSOFF AMY LYNN
4111 QUINCY STREET
ROCKWALL, TX 75032

HIGDON RICKIE LEE AND ASUNCION MARINA
4113 STABLEGLEN DR
ROCKWALL, TX 75032

DIVITTORIO ZEB ROBERT AND KELSEY LYNN
4110 STABLEGLEN DR
ROCKWALL, TX 75032

SIMS RUSSELL ROBERT AND CALLIE MICHELLE
4105 QUINCY STREET
ROCKWALL, TX 75032

CAMP DARROL B AND TASHIA F
4109 STABLEGLEN DR
ROCKWALL, TX 75032

PARSON JESSICA L AND CHRISTOPHER P
4106 STABLEGLEN DR
ROCKWALL, TX 75032

COOK BROOKE AND MATTHEW
4105 STABLEGLEN DRIVE
ROCKWALL, TX 75032

UNDERWOOD MARK AND MICHELLE
4101 QUINCY STREET
ROCKWALL, TX 75032

HUNG MINH LAM AND BIHN TAN QUACH
4102 STABLEGLEN DR
ROCKWALL, TX 75032

HENSON DAVID ROSS AND DEBORAH PROWSE
4101 STABLEGLEN DRIVE
ROCKWALL, TX 75032

TROST COOPER RANDALL & JENNIFER
4027 QUINCY ST
ROCKWALL, TX 75032

BURNS TONYA KAY AND AUBREY LEE
4014 STABLEGLEN DR
ROCKWALL, TX 75032

HALL HUNTER AND KELSEY
4013 STABLEGLEN DRIVE
ROCKWALL, TX 75032

GUARDIOLA SOCORRO AND
JESSICA GUAZZONE
4023 QUINCY ST
ROCKWALL, TX 75032

TOPALOVIC NIKOLA AND KAYLEE NAN
4010 STABLEGLEN DRIVE
ROCKWALL, TX 75032

SEUMANUTAFU JOHN AND CHRISTINE
4009 STABLEGLEN DRIVE
ROCKWALL, TX 75032

WESLEY ERIC CHARLES & TERRI LASHON
4019 QUINCY STREET
ROCKWALL, TX 75032

HUNTER BRIAN JEFFREY AND JENNIFER LYNN
4006 STABLEGLEN DR
ROCKWALL, TX 75032

ARCHIBALD KAREN AND MATTHEW
4003 STABLEGLEN DRIVE
ROCKWALL, TX 75032

SOMERSET PARK COMMUNITY ASSOCIATION
INC
C/O CMA
1800 PRESTON PARK BLVD SUITE 240
PLANO, TX 75093

RAMSBOTTOM DAVID BRADLEY AND DAWN
4018 QUINCY STREET
ROCKWALL, TX 75032

BECOMING ONE MINISTRY & COUNSELING
CENTER
4002 STABLEGLEN DRIVE
ROCKWALL, TX 75032

ARMSTRONG HOYT AND MIMI TU ANH
4001 STABLEGLEN DR
ROCKWALL, TX 75032

JANDREW DUSTY R AND JUSTIN C
4014 QUINCY STREET
ROCKWALL, TX 75032

MICHAEL BOBIE AND SUSAN L BOBIE LIVING
TRUST
MICHAEL BOBIE AND SUSAN L BOBIE- TRUSTEES
3917 STABLEGLEN DRIVE
ROCKWALL, TX 75032

BETTEVY RYAN A & KIMBERLY
4010 QUINCY STREET
ROCKWALL, TX 75032

GILMORE CARA D
3910 STABLEGLEN DR
ROCKWALL, TX 75032

GALLOWAY BRENT JR & JACQUELINE
3913 STABLEGLEN DRIVE
ROCKWALL, TX 75032

LONG PAIGE MICHELE AND RYAN KEATHLEY
4017 OLMSTED DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL OWNER
3906 STABLEGLEN DR
ROCKWALL, TX 75032

DUKE ROCHELLE
4013 OLMSTED DRIVE
ROCKWALL, TX 75032

MOORE STEPHANIE RAAN AND RODNEY WAYNE
3909 STABLEGLEN DRIVE
ROCKWALL, TX 75032

OSMUN DAVID CHARLES AND MARISHA
3902 STABLEGLEN DR
ROCKWALL, TX 75032

TORRES MARCUS ANTHONY AND AMANDA E
3905 STABLEGLEN AVE
ROCKWALL, TX 75032

ROLDAN EMILY ELIZABETH AND IVAN
3901 STABLEGLEN DR
ROCKWALL, TX 75032

ILKENHANS JAMES CURTIS
3813 OLMSTED DRIVE
ROCKWALL, TX 75032

HUMPHREY JAY AND KIMMIE
4768 S STATE HWY 205
ROCKWALL, TX 75032

RCH WATER SUPPLY CORPORATION
PO BOX 2034
ROCKWALL, TX 75087

IMBURGIA JOHN & GRACE
211 ELVIS PRESLEY LN
ROCKWALL, TX 75032

IMBURGIA JOHN & GRACE
211 ELVIS PRESLEY LN
ROCKWALL, TX 75032

CASSAR JEFFREY AND JENNIFER
193 ELVIS PRESLEY LN
ROCKWALL, TX 75032

RCH WATER SUPPLY CORPORATION
PO BOX 2034
ROCKWALL, TX 75087

RCH WATER SUPPLY CORP
PO BOX 2034
ROCKWALL, TX 75087

CRENSHAW JANET AND GERALD S
3005 SAN MARCOS DR
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS'
ASSOCIATION INC
6750 HILLCREST PLAZA DRIVE SUITE 326
DALLAS, TX 75230

JONES KRISTINE KAYE AND
JOSE ENRIQUE FRESQUEZ
3010 SAN MARCOS DRIVE
ROCKWALL, TX 75032

RILEY CHRISTINE
3014 SAN MARCOS DRIVE
ROCKWALL, TX 75032

HERNANDEZ ARMANDO AND DARLA DEANETTE
3009 SAN MARCOS DRIVE
ROCKWALL, TX 75032

COWARD ERICA AND RICHARD
3013 SAN MARCOS DRIVE
ROCKWALL, TX 75032

FRANKLIN J BACHMAN TRUST
CYNTHIA KAY BACHMAN TRUSTEE
3001 SAN MARCOS DR
ROCKWALL, TX 75032

SCHOEN DAVID L AND MARY F
3006 SAN MARCOS DRIVE
ROCKWALL, TX 75032

FONTANNA RANCH HOMEOWNERS'
ASSOCIATION INC
6750 HILLCREST PLAZA DRIVE SUITE 326
DALLAS, TX 75230

HAYES, LAGWENDA
3108 COOLWOOD LN
ROCKWALL, TX 75032

HAYES KRISTOPHER
3108 COOLWOOD LN
ROCKWALL, TX 75032

LOFLAND FARMS OWNERS ASSOC.
C/O SPECTRUM ASSOCIATION MANAGEMENT
17319 SAN PEDRO SUITE 318
SAN ANTONIO, TX 78232

WING-PAL LLC
1227 WOODLAWN AVE
DALLAS, TX 75208

OCCUPANT
2390 S FM549
ROCKWALL, TX 75032

WING-PAL LLC
1227 WOODLAWN AVE
DALLAS, TX 75208

OCCUPANT
2380 FM549
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

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DALLAS, TX 75219

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3500 MAPLE AVENUE #1165
DALLAS, TX 75219

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

THE STATE OF TEXAS, BY AND THROUGH THE
TEXAS TRANSPORTATION COMMISSION
125 E 11TH STREET
AUSTIN, TX 78701

ROCKWALL INDEPENDENT SCHOOL DISTRICT
<Null>
1050 WILLIAMS ST <Null>
ROCKWALL, TX 75087

OCCUPANT
2301 S JOHN KING BLVD
ROCKWALL, TX 75032

ROCKWALL 205 INVESTORS LLC (1075652)
<Null>
1 CANDLELITE TRAIL <Null>
HEATH, TX 75032

TEXAS RE INVESTMENTS LLC 401K PLAN
6315 GRAND PROMINENCE CT <Null>
KATY, TX 77494

OCCUPANT
207 NICOLE DR
ROCKWALL, TX 75032

TEXAS RE INVESTMENTS LLC 401K PLAN
6315 GRAND PROMINENCE CT
KATY, TX 77494

OCCUPANT
195 NICOLE DR
ROCKWALL, TX 75032

FRENTRESS ABIGAIL LEIGH
327 NICOLE DR <Null>
ROCKWALL, TX 75032

CASTANON RAMON & ESMERALDA ALMANZA
382 NICOLE DR <Null>
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-048: Zoning Change from AG to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Loffland for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) and General Retail (GR) District land uses on a 544.89-acre tract of land identified as Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 Overlay (SH-205) and SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east and west side of S. Goliad Street [SH-205] at the corner of the intersection of John King Boulevard and S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 15, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 21, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 21, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-048: Zoning Change from AG to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.



767 Justin Rd
Rockwall, TX 75087

September 13, 2024

Mr. Ryan Miller
Director of Planning and Zoning
City of Rockwall
385 S Goliad Street
Rockwall, TX 75087

RE: Zoning Application, Lofland Tract,

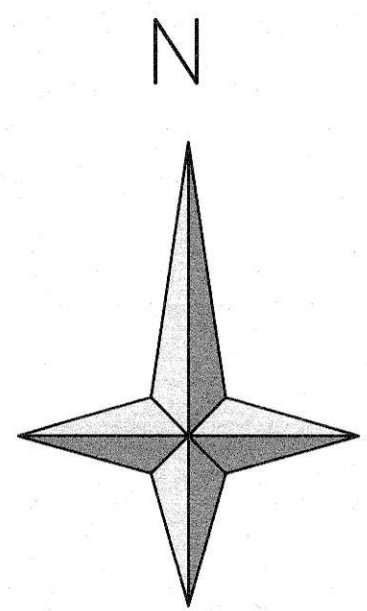
Dear Mr. Miller,

Michael Joyce Properties is submitting the attached Zoning Application, Concept Plan and Design Standards for consideration for a change in Zoning for the tracts as shown in the Concept Plan and Survey. We would like to request a change in Zoning from Agricultural District to a Planned Development District with the attached design standards.

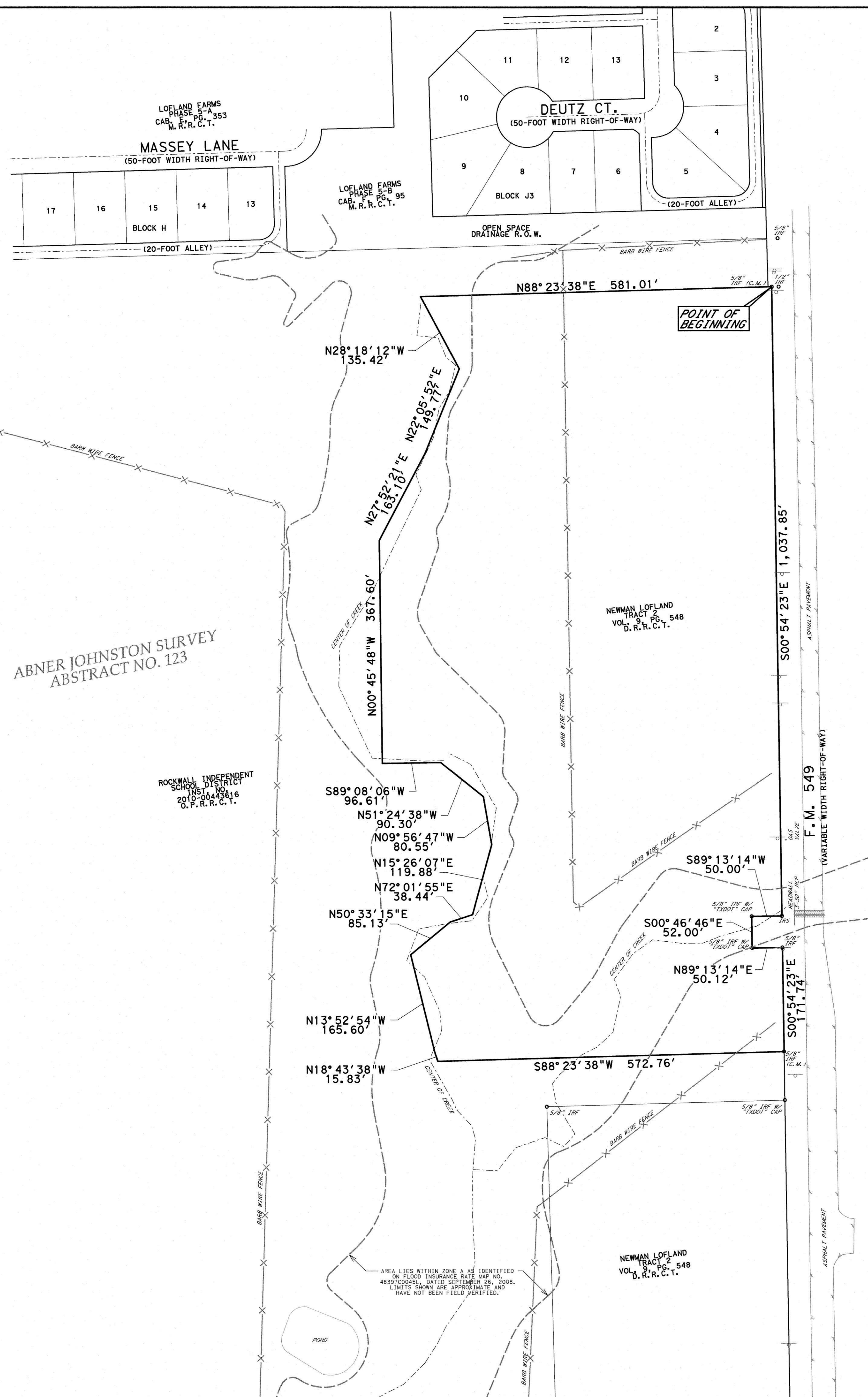
We thank you for your consideration and look forward to working with the City of Rockwall, the Planning and Zoning Commission and the City Council on the approval of this request.

Sincerely,

Ryan Joyce
President, Michael Joyce Properties



Scale: 1"=100'



ABNER JOHNSTON SURVEY
ABSTRACT NO. 123

ROCKWALL INDEPENDENT
SCHOOL DISTRICT
INST. NO. 2010-00443616
O.P.R.C.T.

AREA LIES WITHIN ZONE 4 AS IDENTIFIED
ON FLOOD INSURANCE RATE MAP NO.
48397C0245L, DATED SEPTEMBER 26, 2008.
LIMITS SHOWN WERE APPROXIMATE AND
HAVE NOT BEEN FIELD VERIFIED.

NEWMAN LOFLAND
TRACT 2
VOL. 9, PG. 548
D. R. R. C. T.

Notes:

- 1. Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
2. 1/2" iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
3. Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, GF No. 2343713-ATDA, effective date December 18, 2023. Schedule B Items are as follows:
10 e. Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 254 - does not affect
10 f. City of Rockwall Waterline Easement, recorded in Inst. No. 2022000003059 - does not affect
10 g. State of Texas Easement, recorded in Instrument No. 20220000019991 - does not affect
10 h. Easement recorded in Volume 51, Page 363 - may affect, cannot be located by description
10 i. Easement to State of Texas, recorded in Volume 45, Page 599 - does not affect
10 j. Lone Star Gas Company Easement, recorded in Volume 76, Page 502 - does not affect
10 k. Soil Conservation District Easement, recorded in Instrument No. 20230000007528 - does not affect
10 l. TXU Gas Company Easement, recorded in Volume 2248, Page 193 - does not affect
10 m. Easement recorded in Volume 51, Page 99 - may affect, cannot be located by description
10 n. Texas Power & Light Company easement, recorded in Volume 51, Page 222 - may affect, cannot be located by description
10 o. Texas Power & Light Company easement, recorded in Volume 52, Page 325 - may affect, cannot be located by description
10 p. Texas Power & Light Company easement, recorded in Volume 53, Page 296 - may affect, cannot be located by description

LEGEND

- POWER POLE
GUY ANCHOR
OVERHEAD ELECTRIC
FENCELINE
(C.M.) CONTROLLING MONUMENT
IRF IRON ROD FOUND
IPF IRON PIPE FOUND
IRS 1/2 INCH IRON ROD SET W/ RED "PJB SURVEYING" CAP
SSMH SANITARY SEWER MANHOLE
CMP CORRUGATED METAL PIPE
FH FIRE HYDRANT
I IRRIGATION CONTROL VALVE
V WATER VALVE
M WATER METER
S SIGN
TELEPHONE PEDESTAL
TELEPHONE BOX
TRANS. TRANSFORMER
D.R.R.C.T. DEED RECORDS OF ROCKWALL COUNTY, TEXAS
O.P.R.C.T. OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
M.R.C.T. MAP RECORDS OF ROCKWALL COUNTY, TEXAS

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod (controlling monument) found at the northwest corner of a tract of land described in a right-of-way deed to the State of Texas (FM 549) (variable width right-of-way), as described in Document No. 2020000017688, of the Official Public Records of Rockwall County, Texas (O.P.R.C.T.), being in an interior south line of a called 173.00 acre tract of land described in a deed to the Rockwall Independent School District, as recorded in Instrument No. 2010-00443616 O.P.R.C.T.;

- THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,037.85 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;
THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;
THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;
THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 50.12 feet to a 5/8-inch iron rod found;
THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74 feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00 acre tract;
THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76 feet to a point in a creek;
THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00 acre tract and generally along said creek, a distance of 15.83 feet;
THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 85.13 feet;
THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 38.44 feet;
THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 119.88 feet;
THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88 feet;
THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55 feet;
THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30 feet;
THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61 feet;
THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60 feet;
THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60 feet;
THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10 feet;
THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77 feet;
THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42 feet;
THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01 feet to the POINT OF BEGINNING and containing 16.8895 acres of land.

CERTIFICATION

I do hereby certify to J. Bond Partners, Ltd., William B. Lofland, David L. Bond, Lois Anne Bond, Hunter Scott Lofland, Gillian Grant Lofland Sherer, and Evelyn Ruth Lofland; Quatico Developments (U.S.), Inc.; Independence Title and Title Resources Guaranty Company that this survey was prepared from an on the ground survey under my supervision on February 12, 2024.

Patrick J. Baldasaro
Registered Professional Land Surveyor 5504



BOUNDARY SURVEY
OF A
16.8895 ACRE TRACT
OUT OF THE
ABNER JOHNSTON SURVEY, ABST. NO. 123
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
PJB SURVEYING, LLC
TBPELS NO. 10194303
200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-649-6669

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod (controlling monument) found at the northwest corner of a tract of land described in a right-of-way deed to the State of Texas (FM 549) (variable width right-of-way), as described in Document No. 2020000017688, of the Official Public Records of Rockwall County, Texas (O.P.R.C.C.T.), being in an interior south line of a called 173.00 acre tract of land described in a deed to the Rockwall Independent School District, as recorded in Instrument No, 2010-00443616 O.P.R.R.C.T.;

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,037.85 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 50.00 feet to a 5/8-inch iron rod with cap stamped "TXDOT SURVEY MARKER RIGHT OF WAY MONUMENT" found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 50.12 feet to a 5/8-inch iron rod found;

THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74 feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00 acre tract;

THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76 feet to a point in a creek;

THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00 acre tract and generally along said creek, a distance of 15.83 feet;

THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 165.60 feet;

THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 85.13 feet;

THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 38.44 feet;

THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88 feet;

THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55 feet;

THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30 feet;

THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61 feet;

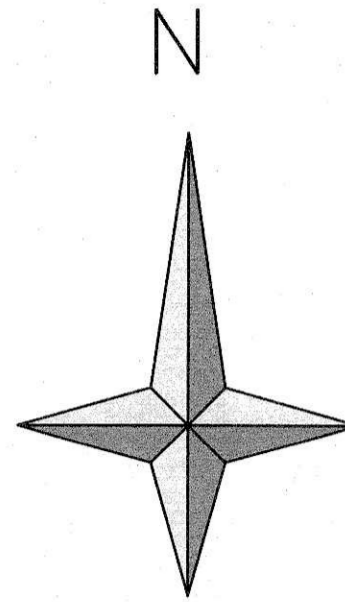
THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60 feet;

THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10 feet;

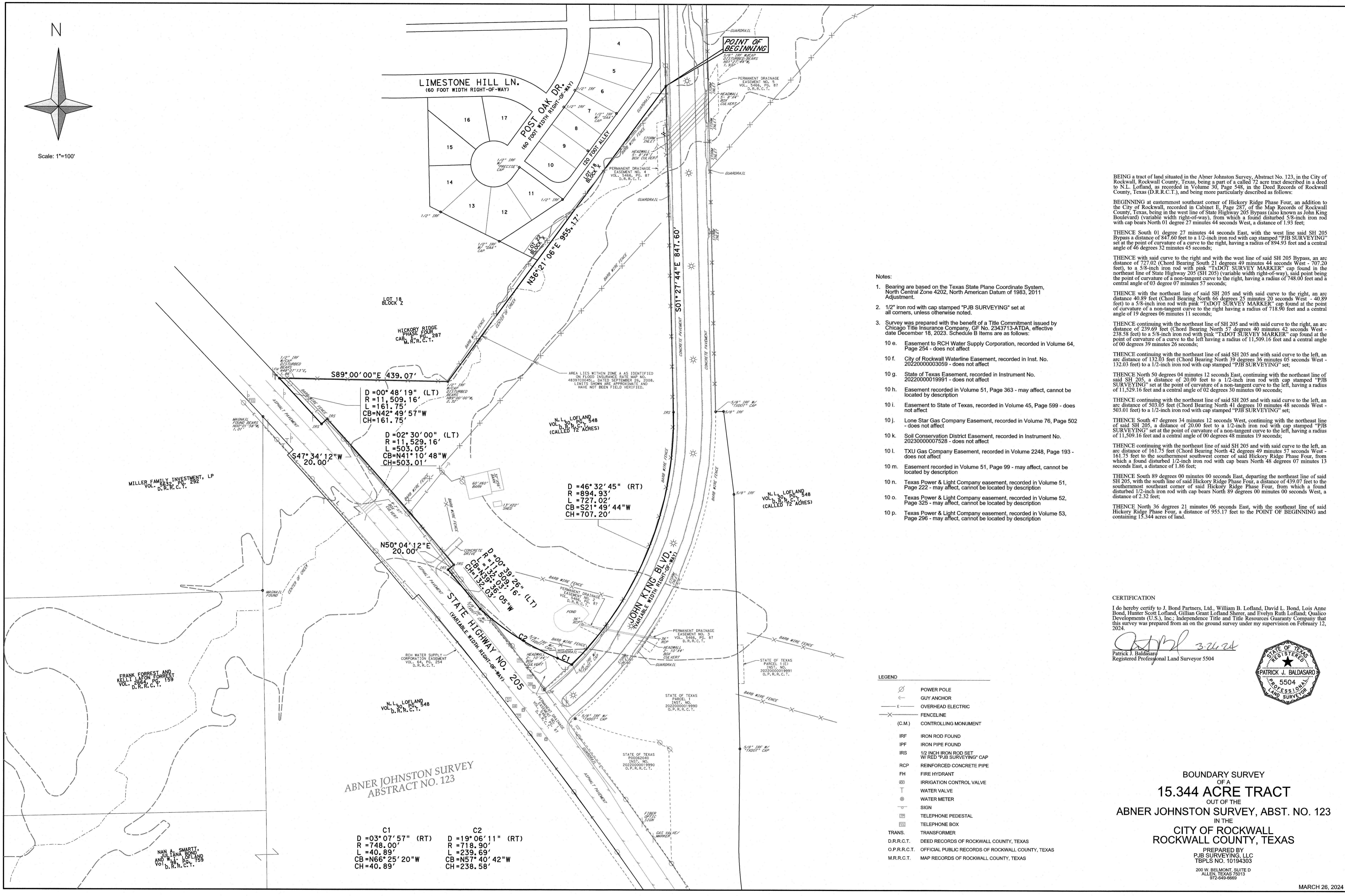
THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77 feet;

THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42 feet;

THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01 feet to the POINT OF BEGINNING and containing 16.8895 acres of land.



Scale: 1"=100'



BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and being more particularly described as follows:

BEGINNING at easternmost southeast corner of Hickory Ridge Phase Four, an addition to the City of Rockwall, recorded in Cabinet E, Page 287, of the Map Records of Rockwall County, Texas, being in the west line of State Highway 205 Bypass (also known as John King Boulevard) (variable width right-of-way), from which a found disturbed 5/8-inch iron rod with cap bears North 01 degree 27 minutes 44 seconds West, a distance of 1.93 feet;

THENCE South 01 degree 27 minutes 44 seconds East, with the west line said SH 205 Bypass a distance of 847.60 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a curve to the right, having a radius of 894.93 feet and a central angle of 46 degrees 32 minutes 45 seconds;

THENCE with said curve to the right and with the west line of said SH 205 Bypass, an arc distance of 727.02 (Chord Bearing South 21 degrees 49 minutes 44 seconds West - 707.20 feet), to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a non-tangent curve to the right, having a radius of 748.00 feet and a central angle of 03 degree 07 minutes 57 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 40.89 feet (Chord Bearing North 66 degrees 25 minutes 20 seconds West - 40.89 feet) to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a non-tangent curve to the right having a radius of 718.90 feet and a central angle of 19 degrees 06 minutes 11 seconds;

THENCE continuing with the northeast line of SH 205 and with said curve to the right, an arc distance of 239.69 feet (Chord Bearing North 57 degrees 40 minutes 42 seconds West - 238.58 feet) to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having a radius of 11,509.16 feet and a central angle of 00 degrees 39 minutes 26 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 132.03 feet (Chord Bearing North 39 degrees 36 minutes 05 seconds West - 132.03 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a non-tangent curve to the left, having a radius of 11,529.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 503.05 feet (Chord Bearing North 41 degrees 10 minutes 48 seconds West - 503.01 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a non-tangent curve to the left, having a radius of 11,509.16 feet and a central angle of 00 degrees 48 minutes 19 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 161.75 feet (Chord Bearing North 42 degrees 49 minutes 57 seconds West - 161.75 feet) to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 48 degrees 07 minutes 13 seconds East, a distance of 1.86 feet;

THENCE South 89 degrees 00 minutes 00 seconds East, departing the northeast line of said SH 205, with the south line of said Hickory Ridge Phase Four, a distance of 439.07 feet to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 89 degrees 00 minutes 00 seconds West, a distance of 2.32 feet;

THENCE North 36 degrees 21 minutes 06 seconds East, with the southeast line of said Hickory Ridge Phase Four, a distance of 955.17 feet to the POINT OF BEGINNING and containing 15.344 acres of land.

Notes:

- Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
- 1/2" iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
- Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, GF No. 2343713-ATDA, effective date December 18, 2023. Schedule B items are as follows:
 - Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 254 - does not affect
 - City of Rockwall Waterline Easement, recorded in Inst. No. 2022000003059 - does not affect
 - State of Texas Easement, recorded in Instrument No. 20220000019991 - does not affect
 - Easement recorded in Volume 51, Page 363 - may affect, cannot be located by description
 - Easement to State of Texas, recorded in Volume 45, Page 599 - does not affect
 - Lone Star Gas Company Easement, recorded in Volume 76, Page 502 - does not affect
 - Soil Conservation District Easement, recorded in Instrument No. 2023000007528 - does not affect
 - TXU Gas Company Easement, recorded in Volume 2248, Page 193 - does not affect
 - Easement recorded in Volume 51, Page 99 - may affect, cannot be located by description
 - Texas Power & Light Company easement, recorded in Volume 51, Page 222 - may affect, cannot be located by description
 - Texas Power & Light Company easement, recorded in Volume 52, Page 325 - may affect, cannot be located by description
 - Texas Power & Light Company easement, recorded in Volume 53, Page 296 - may affect, cannot be located by description

CERTIFICATION

I do hereby certify to J. Bond Partners, Ltd., William B. Lofland, David L. Bond, Lois Anne Bond, Hunter Scott Lofland, Gillian Grant Lofland Sheer, and Evelyn Ruth Lofland; Qualico Developments (U.S.), Inc.; Independence Title and Title Resources Guaranty Company that this survey was prepared from on the ground survey under my supervision on February 12, 2024.

Patrick J. Baldasaro
Patrick J. Baldasaro
Registered Professional Land Surveyor 5504



LEGEND

- POWER POLE
- GUY ANCHOR
- OVERHEAD ELECTRIC
- FENCELINE
- CONTROLLING MONUMENT
- IRF IRON ROD FOUND
- IPF IRON PIPE FOUND
- IRS 1/2 INCH IRON ROD SET
- WIRED "PJB SURVEYING" CAP
- RCP REINFORCED CONCRETE PIPE
- FH FIRE HYDRANT
- ICV IRRIGATION CONTROL VALVE
- T WATER VALVE
- M WATER METER
- S SIGN
- TP TELEPHONE PEDESTAL
- TB TELEPHONE BOX
- TRANS. TRANSFORMER
- D.R.R.C.T. DEED RECORDS OF ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
- M.R.R.C.T. MAP RECORDS OF ROCKWALL COUNTY, TEXAS

BOUNDARY SURVEY
OF A
15.344 ACRE TRACT
OUT OF THE
ABNER JOHNSTON SURVEY, ABST. NO. 123
IN THE
**CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS**

PREPARED BY
PJB SURVEYING, LLC
TBPLS NO. 10194303

200 W. BELMONT, SUITE D
ALLEN, TEXAS 75013
972-649-8669

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and being more particularly described as follows:

BEGINNING at easternmost southeast corner of Hickory Ridge Phase Four, an addition to the City of Rockwall, recorded in Cabinet E, Page 287, of the Map Records of Rockwall County, Texas, being in the west line of State Highway 205 Bypass (also known as John King Boulevard) (variable width right-of-way), from which a found disturbed 5/8-inch iron rod with cap bears North 01 degree 27 minutes 44 seconds West, a distance of 1.93 feet;

THENCE South 01 degree 27 minutes 44 seconds East, with the west line said SH 205 Bypass a distance of 847.60 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a curve to the right, having a radius of 894.93 feet and a central angle of 46 degrees 32 minutes 45 seconds;

THENCE with said curve to the right and with the west line of said SH 205 Bypass, an arc distance of 727.02 (Chord Bearing South 21 degrees 49 minutes 44 seconds West - 707.20 feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being the point of curvature of a non-tangent curve to the right, having a radius of 748.00 feet and a central angle of 03 degree 07 minutes 57 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance 40.89 feet (Chord Bearing North 66 degrees 25 minutes 20 seconds West - 40.89 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a non-tangent curve to the right having a radius of 718.90 feet and a central angle of 19 degrees 06 minutes 11 seconds;

THENCE continuing with the northeast line of SH 205 and with said curve to the right, an arc distance of 239.69 feet (Chord Bearing North 57 degrees 40 minutes 42 seconds West - 238.58 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having a radius of 11,509.16 feet and a central angle of 00 degrees 39 minutes 26 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 132.03 feet (Chord Bearing North 39 degrees 36 minutes 05 seconds West - 132.03 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of curvature of a non-tangent curve to the left, having a radius of 11,529.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 503.05 feet (Chord Bearing North 41 degrees 10 minutes 48 seconds West - 503.01 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

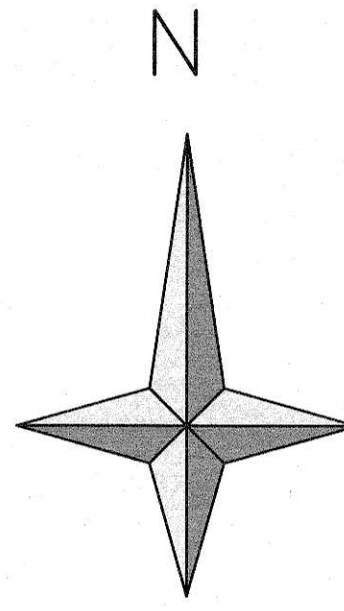
THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the northeast line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point

of curvature of a non-tangent curve to the left, having a radius of 11,509.16 feet and a central angle of 00 degrees 48 minutes 19 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 161.75 feet (Chord Bearing North 42 degrees 49 minutes 57 seconds West - 161.75 feet to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 48 degrees 07 minutes 13 seconds East, a distance of 1.86 feet;

THENCE South 89 degrees 00 minutes 00 seconds East, departing the northeast line of said SH 205, with the south line of said Hickory Ridge Phase Four, a distance of 439.07 feet to the southernmost southeast corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 89 degrees 00 minutes 00 seconds West, a distance of 2.32 feet;

THENCE North 36 degrees 21 minutes 06 seconds East, with the southeast line of said Hickory Ridge Phase Four, a distance of 955.17 feet to the POINT OF BEGINNING and containing 15.344 acres of land.



Scale: 1"=200'

VICMAR I, LTD.
VOL. 2015, PG. 200
D.R.R.C.T.

LAYZA & LUNA REAL ESTATE, LLC
INST. NO. 2022000001115
O.P.R.R.C.T.

MILLER FAMILY INVESTMENT, LP
VOL. 3632, PG. 292
D.R.R.C.T.

FRANK FORREST AND
KELLI LAFON FORREST
VOL. 2448, PG. 59
D.R.R.C.T.

N.L. LOFLAND
VOL. 30, PG. 48
D.R.R.C.T.

NAN A. SMART,
JULIANA BOND
AND W. L. BOND
VOL. 88, PG. 759
D.R.R.C.T.

ROCKWALL LAKE
DEVELOPMENT
NO. 79
CAB. NO. 2015, PG. 79
M.R.R.C.T.

JOHN R. JOHNSON SURVEY
ABSTRACT NO. 128

WILLIAM W. FORD SURVEY
ABSTRACT NO. 80

ABNER JOHNSON SURVEY
ABSTRACT NO. 123

LOFLAND CIR
(FORMERLY ROCKWALL
-CHILLSOLM HIGHWAY)

LOFLAND CIR. (FORMERLY ROCKWALL HIGHWAY)

BROKEN LANCE LANE (60-FOOT WIDTH RIGHT-OF-WAY)

WALLACE LANE

BEAR CLAW LN

D = 12° 47' 29" (LT)
R = 5,105.59'
L = 1,139.83'
CB = S38° 03' 31" E
CH = 1,137.46'

D = 05° 50' 02" (RT)
R = 11,409.16'
L = 1,161.69'
CB = S37° 00' 47" E
CH = 1,161.19'

D = 19° 30' 41" (LT)
R = 1,152.00'
L = 392.30'
CB = S24° 51' 03" E
CH = 390.41'

D = 02° 30' 00" (RT)
R = 11,389.16'
L = 496.95'
CB = S41° 10' 48" E
CH = 496.91'

D = 00° 35' 02" (RT)
R = 11,409.16'
L = 116.29'
CB = S42° 43' 19" E
CH = 116.29'

- LEGEND
- ⊗ POWER POLE
 - ⊙ GUY ANCHOR
 - OVERHEAD ELECTRIC
 - FENCELINE
 - (C.M.) CONTROLLING MONUMENT
 - IRF IRON ROD FOUND
 - IPF IRON PIPE FOUND
 - IRS 1/2" IRON ROD SET
 - W RED "PJB SURVEYING" CAP
 - SMMH SANITARY SEWER MANHOLE
 - CMP CORRUGATED METAL PIPE
 - FH FIRE HYDRANT
 - ⊗ IRRIGATION CONTROL VALVE
 - ⊗ WATER VALVE
 - ⊗ WATER METER
 - SIGN
 - ⊗ TELEPHONE PEDESTAL
 - ⊗ TELEPHONE BOX
 - ⊗ TRAFFIC CONTROL BOX
 - ⊗ TRAFFIC SIGNAL POLE
 - ⊗ ELECTRIC BOX
 - TRANS. TRANSFORMER
 - D.R.R.C.T. DEED RECORDS OF ROCKWALL COUNTY, TEXAS
 - O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
 - M.R.R.C.T. MAP RECORDS OF ROCKWALL COUNTY, TEXAS

- Notes:
- Bearing are based on the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, 2011 Adjustment.
 - 1/2" Iron rod with cap stamped "PJB SURVEYING" set at all corners, unless otherwise noted.
 - Survey was prepared with the benefit of a Title Commitment issued by Chicago Title Insurance Company, GF No. 2343713-ATDA, effective date December 18, 2023. Schedule B items are as follows:
 - 10 e. Easement to RCH Water Supply Corporation, recorded in Volume 64, Page 254 - affects, shown
 - 10 f. City of Rockwall Waterline Easement, recorded in Inst. No. 2022000003059 - does not affect
 - 10 g. State of Texas Easement, recorded in Instrument No. 20220000019991 - does not affect
 - 10 h. Easement recorded in Volume 51, Page 363 - may affect, cannot be located by description
 - 10 i. Easement to State of Texas, recorded in Volume 45, Page 599 - does not affect
 - 10 j. Lone Star Gas Company Easement, recorded in Volume 76, Page 502 - affects, shown
 - 10 k. Soil Conservation District Easement, recorded in Instrument No. 20230000007528 - does not affect
 - 10 l. TXU Gas Company Easement, recorded in Volume 2248, Page 193 - affects, shown
 - 10 m. Easement recorded in Volume 51, Page 99 - may affect, cannot be located by description
 - 10 n. Texas Power & Light Company easement, recorded in Volume 51, Page 222 - may affect, cannot be located by description
 - 10 o. Texas Power & Light Company easement, recorded in Volume 52, Page 325 - may affect, cannot be located by description
 - 10 p. Texas Power & Light Company easement, recorded in Volume 53, Page 296 - may affect, cannot be located by description

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120 acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 48, D.R.R.C.T., part of a called 60 acre tract of land described in deed to Nan A. Smart, Juliana Bond and W.L. Lofland, as recorded in Volume 98, Page 759, D.R.R.C.T., and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 35, Page 269, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a mag nail found at the northeast corner of a called 14.05 acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T., and the southeast corner of a called 15.98 acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72 acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72 acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81 feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found mag nail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01 feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 90 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29 feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East - 116.29 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,389.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95 feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East - 496.91 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 05 degrees 50 minutes 02 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,161.69 feet (Chord Bearing South 37 degrees 00 minutes 47 seconds East - 1,161.19 feet) to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having radius of 1,152.00 feet and a central angle of 19 degrees 30 minutes 41 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 390.41 feet (Chord Bearing South 24 degrees 51 minutes 03 seconds East - 390.41 feet) to a 5/8-inch iron rod found at the point of tangency;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, at a distance of 228.25 feet passing a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found, continuing a total distance of 528.00 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the left, having a radius of 5,105.59 feet and a central angle of 12 degrees 47 minutes 29 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.83 feet (Chord Bearing South 38 degrees 03 minutes 31 seconds East - 1,137.46 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on the south line of said Lofland 72 acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72 acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42 feet passing the southwest corner of said Lofland 72 acre tract and the southeast corner of said Lofland 60 acre tract, continuing with the south line of said Lofland 60 acre tract and the north line of said Lofland Circle, a total distance of 2,789.02 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 60 acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the southwest corner of said Lofland 60 acre tract and the southwest corner of said Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60 acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northwest corner of said Lofland 60 acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract of land described in deed to Vicmar I, Ltd., as recorded in Volume 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minutes 35 seconds East, with the north line of said Lofland 60 acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28 feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC recorded in Instrument No. 2022000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60 acre tract and the south line of said Layza & Luna Real Estate, LLC tract, a distance of 1,232.98 feet to a 1/2-inch iron rod found at the southeast corner of said Layza & Luna tract and the southwest corner of said Forrest tract, continuing with the north line of said Lofland 60 acre tract and the south line of said Forrest tract, a total distance of 2,545.43 feet to an "X" set at the southeast corner of said Forrest tract, being in the west line of said Lofland 72 acre tract;

THENCE North 01 degree 03 minutes 21 seconds West, with the west line of said Lofland 72 acre tract and the east line of said Forrest tract, a distance of 571.95 feet to the POINT OF BEGINNING and containing 242.2768 acres of land.

CERTIFICATION

I do hereby certify to J. Bond Partners, Ltd., William B. Lofland, David L. Bond, Lois Anne Bond, Hunter Scott Lofland, Gillian Grant Lofland Sherer, and Evelyn Ruth Lofland, Qualico Developments (U.S.), Inc., Independence Title and Title Resources Guaranty Company that this survey was prepared from an on the ground survey under my supervision on February 12, 2024.

Patrick J. Baldasaro 3.20.24
Patrick J. Baldasaro
Registered Professional Land Surveyor 5504



BOUNDARY SURVEY
OF A
242.2768 ACRE TRACT
OUT OF THE
JOHN. R. JOHNSON SURVEY, ABST. NO. 128
AND THE
ABNER JOHNSON SURVEY, ABST. NO. 123
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
PJB SURVEYING, LLC
TBPELS NO. 10194303
200 W. BELMONT SUITE D
ALLEN, TEXAS 75013
872-648-6669

MARCH 26, 2024

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120 acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., part of a called 60 acre tract of land described in deed to Nan A. Smartt, Juliana Bond and W.I. Lofland, as recorded in Volume 98, Page 759, D.R.R.C.T., and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 35, Page 269, D.R.R.C.T, and being more particularly described as follows:

BEGINNING at a magnail found at the northeast corner of a called 14.05 acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T. and the southeast corner of a called 15.598 acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72 acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72 acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81 feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found magnail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01 feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 00 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29 feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East - 116.29 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,389.16 feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95 feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East - 496.91 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the right, having a radius of 11,409.16 feet and a central angle of 05 degrees 50 minutes 02 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,161.69 feet (Chord Bearing South 37 degrees 00 minutes 47 seconds East - 1,161.19 feet) to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found at the point of curvature of a curve to the left having radius of 1,152.00 feet and a central angle of 19 degrees 30 minutes 41 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 392.30 feet (Chord Bearing South 24 degrees 51 minutes 03 seconds East - 390.41 feet) to a 5/8-inch iron rod found at the point of tangency;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, at a distance of 228.25 feet passing a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found, continuing a total distance of 528.00 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52 feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on a non-tangent curve to the left, having a radius of 5,105.59 feet and a central angle of 12 degrees 47 minutes 29 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.83 feet (Chord Bearing South 38 degrees 03 minutes 31 seconds East - 1,137.46 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set on the south line of said Lofland 72 acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72 acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42 feet passing the southwest corner of said Lofland 72 acre tract and the southeast corner of said Lofland 60 acre tract, continuing with the south line of said Lofland 60 acre tract and the north line of said Lofland Circle, a total distance of 2,789.02 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

THENCE South 88 degrees 45 minutes 15 seconds West, with the south line of said Lofland 60 acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the southwest corner of said Lofland 60 acre tract, being in the east line of Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60 acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the northwest corner of said Lofland 60 acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract land described in deed to Vicmar I, Ltd., as recorded in Volume 2016, Page 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minute 35 seconds East, with the north line of said Lofland 60 acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28 feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC, recorded in Instrument No. 20220000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60 acre tract and the south line of said Layza & Luna Real Estate, LLC tract, a distance of 1,232.98 feet to a 1/2-inch iron rod found at the southeast corner of Layza & Luna tract and the southwest corner

of said Forrest tract, continuing with the north line of said Lofland 60 acre tract and the south line of said Forrest tract, a total distance of 2,545.43 feet to an "X" set at the southeast corner of said Forrest tract, being in the west line of said Lofland 72 acre tract;

THENCE North 01 degree 03 minutes 21 seconds West, with the west line of said Lofland 72 acre tract and the east line of said Forrest tract, a distance of 571.95 feet to the POINT OF BEGINNING and containing 242.2768 acres of land.

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213 acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 120 acre tract described in a deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487 D.R.R.C.T., and part of a called 72 acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found at the northwest corner of a called 139.308 acre tract of land described in a deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded in Document No. 20130000500385, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.);

THENCE South 00 degrees 08 minutes 29 seconds West, with the west line of said 139.308 acre tract, at a distance of 973.07 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the northwest corner of the Amending Plat of Somerset Park, an addition to the City of Rockwall, recorded in Cabinet J, Page 273, of the Map Records of Rockwall County, Texas, continuing with the west line of said Somerset Park, a total distance of 1,402.01 feet to a 1/2-inch iron rod found;

THENCE South 85 degrees 28 minutes 38 seconds East, continuing with the west line of said Somerset Park, a distance of 10.57 feet to a 60D nail found;

THENCE South 00 degrees 59 minutes 21 seconds East, continuing with the west line of said Somerset Park, a distance of 869.90 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 40 minutes 31 seconds East, continuing with the west line of said Somerset Park, at a distance of 924.23 feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the southwest corner of said Somerset Park, continuing a total distance of 934.64 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the right, having a radius of 5,006.10 feet and a central angle of 09 degrees 46 minutes 28 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 854.03 feet (Chord Bearing North 38 degrees 29 minutes 11 seconds West 852.99 feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 26 degrees 59 minutes 29 seconds West, continuing with the northeast line of said SH 205, a distance of 99.97 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 299.01 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 43 degrees 08 minutes 15 seconds West, continuing with the northeast line of said SH 205, a distance of 101.12 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 300.00 feet passing a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found, continuing a total distance of 499.46 feet (unable to set) to the point of curvature of a curve to the right having a radius of 1,011.00 feet and a central angle of 33 degrees 08 minutes 42 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the right, an arc distance of 584.85 feet (Chord Bearing North 18 degrees 02 minutes 03 seconds West 576.73 feet) to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE North 00 degrees 29 minutes 22 seconds East, continuing with the northeast line of said SH 205, a distance of 264.35 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 01 degree 27 minutes 42 seconds West, continuing with the northeast line of said SH 205, a distance of 661.53 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 07 degrees 17 minutes 08 seconds West, continuing with the northeast line of said SH 205, a distance of 216.81 feet to a 5/8-inch iron rod found;

THENCE South 88 degrees 32 minutes 18 seconds West, continuing with the northeast line of said SH 205, a distance of 20.84 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the east line of State Highway 205 Bypass (aka John King Boulevard) (variable width right-way), said point being on a curve to the left, having a radius of 1,004.93 feet and a central angle of 00 degrees 03 minutes 56 seconds;

THENCE with said curve to the left and said John King Boulevard an arc distance of 1.15 feet (Chord Bearing North 01 degree 24 minutes 44 seconds West 1.15 feet), to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set at the point of tangency;

THENCE North 01 degree 27 minutes 44 seconds West, continuing with the east line of said John King Boulevard, a distance of 2,017.35 feet to a 1/2-inch iron rod with "RPLS 5084" cap found in the south line of a called 173.00 acre tract of land described in a deed to Rockwall Independent School District, as recorded in Document No. 2010-00443616, O.P.R.R.C.T.;

THENCE North 88 degrees 23 minutes 38 seconds East, departing the east line of said John King Boulevard and with the south line of said 173.00 acre tract, a distance of 3,696.05 feet, from which a 5/8-inch iron rod found bears North 74 degrees 56 minutes 50 seconds West, a distance of 1.54 feet;

THENCE North 01 degree 36 minutes 22 seconds West, continuing with the south line of said 173.00 acre tract, a distance of 669.62 feet to a 5/8-inch iron rod found;

THENCE North 88 degrees 24 minutes 41 seconds East, continuing with the south line of said 173.00 acre tract, a distance of 393.66 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the west line of FM 549 (variable width right-of-way);

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,480.72 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 55.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 70.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 55.16 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 00 degrees 54 minutes 23 seconds East, a distance of 178.33 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 05 minutes 37 minutes West, continuing with the west line of said FM 549, a distance of 5.34 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 717.97 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

THENCE South 89 degrees 04 minutes 00 seconds West, continuing with the west line of said FM 549, a distance of 40.00 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 153.61 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 04 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 40.00 feet to a 1/2-inch iron rod with cap stamped "PJB SURVEYING" set;

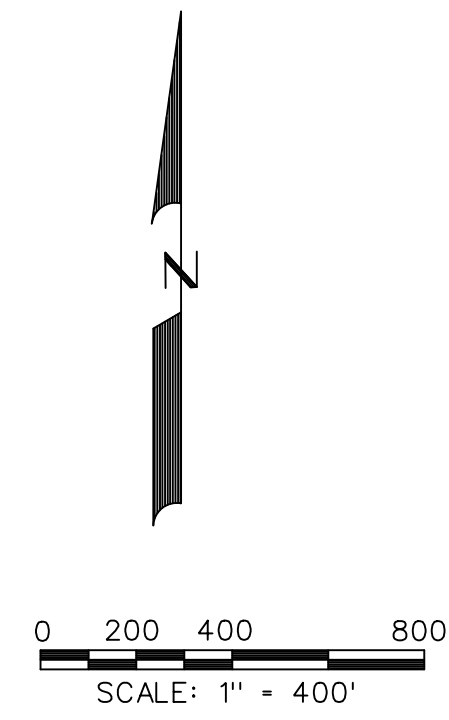
THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 70.20 feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 87 degrees 07 minutes 00 seconds West, departing the west line of said FM 549 and with the north line of Neller Addition, an addition to the City of Rockwall, as described in Document No. 20210000019426, O.P.R.R.C.T., a distance of 781.16 feet to a 1/2-inch iron rod with cap stamped "CBG SURVEYING" found;

THENCE South 81 degrees 46 minutes 04 seconds West, continuing with the north line of said Neller Addition, a distance of 90.00 feet to a 1/2-inch iron rod with cap stamped "DCA INC" found;

THENCE South 89 degrees 41 minutes 21 seconds West, continuing with the north line of said Neller Addition, a distance of 206.71 feet to a 1/2-inch iron rod found at the northwest corner of said Neller Addition, same being the northeast corner of the aforementioned 139.308 acre tract;

THENCE South 88 degrees 23 minutes 25 seconds West, with the north line of said 139.308 acre tract, a distance of 1,672.69 feet to the POINT OF BEGINNING and containing 261.9194 acres of land.



LEGEND

TYPICAL LOT SIZES

- TYPE 'A' - 1.5 AC. - 12 LOTS
- TYPE 'B' - 1.0 AC - 13 LOTS
- TYPE 'C' - 0.75 AC. - 18 LOTS
- TYPE 'D' - 100' X 150' - 66 LOTS
- TYPE 'E' - 82' X 125' - 160 LOTS
- TYPE 'F' - 72' X 125' - 329 LOTS
- TYPE 'G' - 62' X 125' - 297 LOTS
- OPEN SPACE - 136.80 Ac.
- AMENITY CENTER - 6.73 Ac.
- CITY PARK - 33.00 Ac.
- COMMERCIAL - 41.0 Ac.

CONCEPT PLAN ACREAGE

GROSS ACRES - 536.42
 COMMERCIAL ACREAGE - 28.65
 COMMERCIAL FLOODPLAIN - 12.35
 RESIDENTIAL ACREAGE - 427.92
 RESIDENTIAL FLOODPLAIN - 67.50

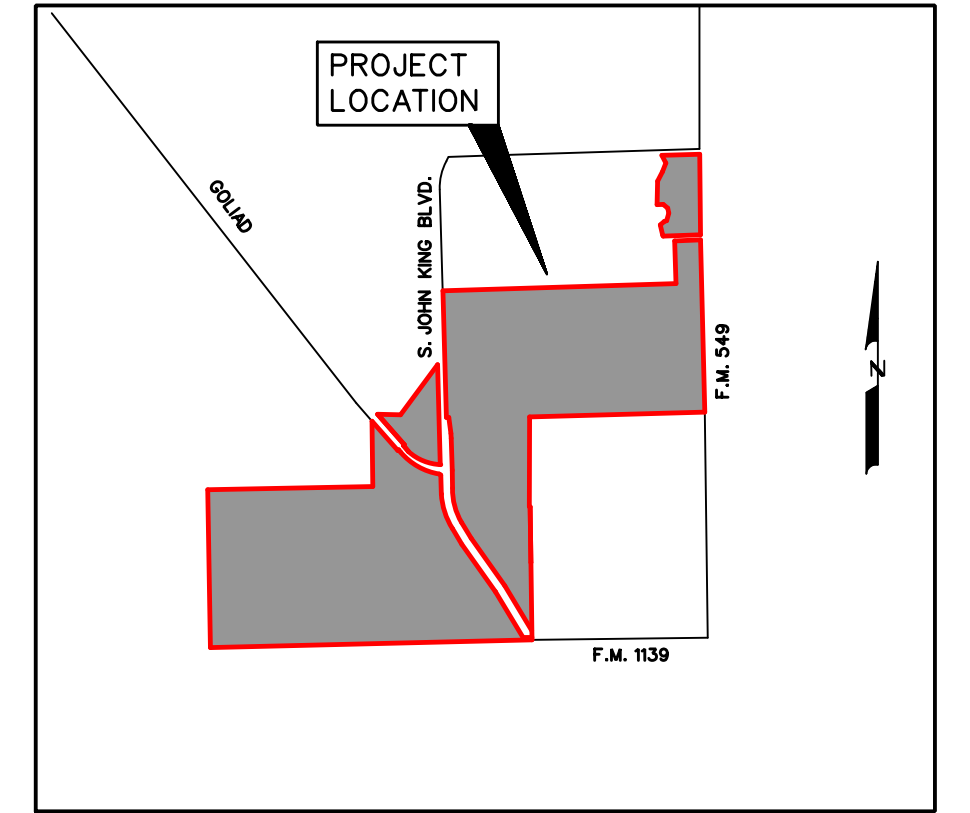
DENSITY CALCULATIONS

TOTAL RESIDENTIAL LOTS - 895
 DENSITY ON GROSS - 1.66
 GROSS RESIDENTIAL DENSITY - 2.09

TOTAL FLOODPLAIN ACRES - 79.85
 OPEN SPACE REQUIRED - 107.28

OPEN SPACE CALCULATION

CITY PARKS - 33.00
 CITY WATER TOWER - 2.39
 FLOODPLAIN @ 50% - 39.93
 PRIVATE OPEN SPACE - 65.78
 AMENITIES CENTERS - 6.73
 TOTAL OPEN SPACE - 139.46
 EXCESS OPEN SPACE - 43.64



TOTAL ACRES	536.42
GROSS COMMERCIAL ACRES	41.0
TOTAL RESIDENTIAL LOTS	895
RESIDENTIAL DENSITY*	1.66
GROSS RESIDENTIAL DENSITY**	1.81
TOTAL FLOOD PLAIN ACRES	87.09
TOTAL OPEN SPACE ACRES	136.80

NOTE:
 * CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES)
 ** CALCULATED AT (TOT RES LOTS)/(TOTAL ACRES-GROSS COMMERCIAL ACRES)





CONCEPT PLAN
 OF
JUNIPER
 SITUATED IN THE
 W.H. BAIRD SURVEY, ABSTRACT NO. 25
 A. JOHNSON SURVEY, ABSTRACT NO. 123
 J.R. JOHNSON SURVEY, ABSTRACT NO. 128

IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200

OWNERS
 J BOND PARTNERS, LOIS ANNE BOND, DAVID LOFLAND BOND,
 WILLIAM BRIGGS LOFLAND, HUNTER SCOTT LOFLAND,
 GILLIAN GRANT LOFLAND SHERER & EVELYN RUTH LOFLAND
 1 CARMARTHEN COURT
 DALLAS, TEXAS 75225

SEPTEMBER 2024 SCALE 1" = 400'
 CASE NO. XXXX

CALLOUTS LEGEND:

-  SECONDARY ENTRY SIGNAGE; REFER TO SHEET 3 FOR ELEVATION.
-  ENCLAVE ENTRY SIGNAGE; REFER TO SHEET 3 FOR ELEVATION.
-  TRAIL STOP; REFER TO SHEET 4 FOR ELEVATION.
-  MAIN ENTRY MONUMENT WITHIN MEDIAN; REFER TO SHEET 3 FOR ELEVATION.



JUNIPER / OVERALL LAYOUT PLAN

City of Rockwall, Rockwall County, Texas



NORTH

SCALE: 1" = 300'-0"

SHEET 1 OF 6
Owner Submittal 9-10-2024



TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

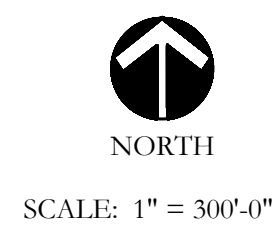
CALLOUTS LEGEND:

- 10'-0" WIDTH CONCRETE TRAIL SYSTEM (APPROXIMATELY 2.38 MILES)
- 8'-0" WIDTH CONCRETE TRAIL SYSTEM (APPROXIMATELY 5.04 MILES)
- 5'-0" WIDTH CONCRETE SIDEWALK ALONG COLLECTOR ROAD.
- TRAIL STOP. REFER TO SHEET 4 FOR ELEVATION.



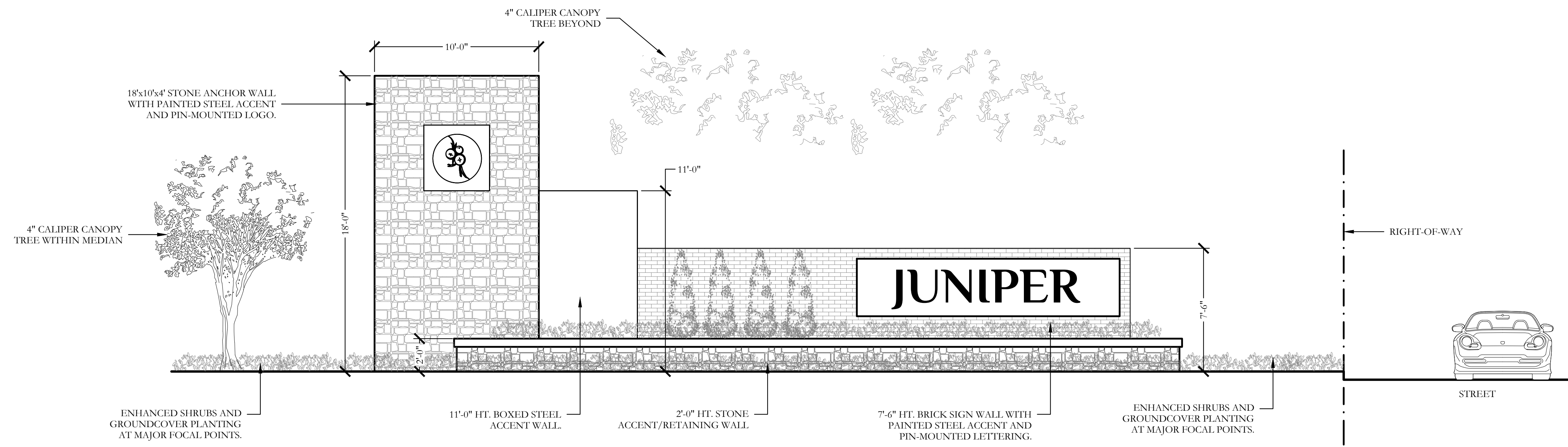
JUNIPER / OVERALL SIDEWALK AND TRAIL PLAN

City of Rockwall, Rockwall County, Texas



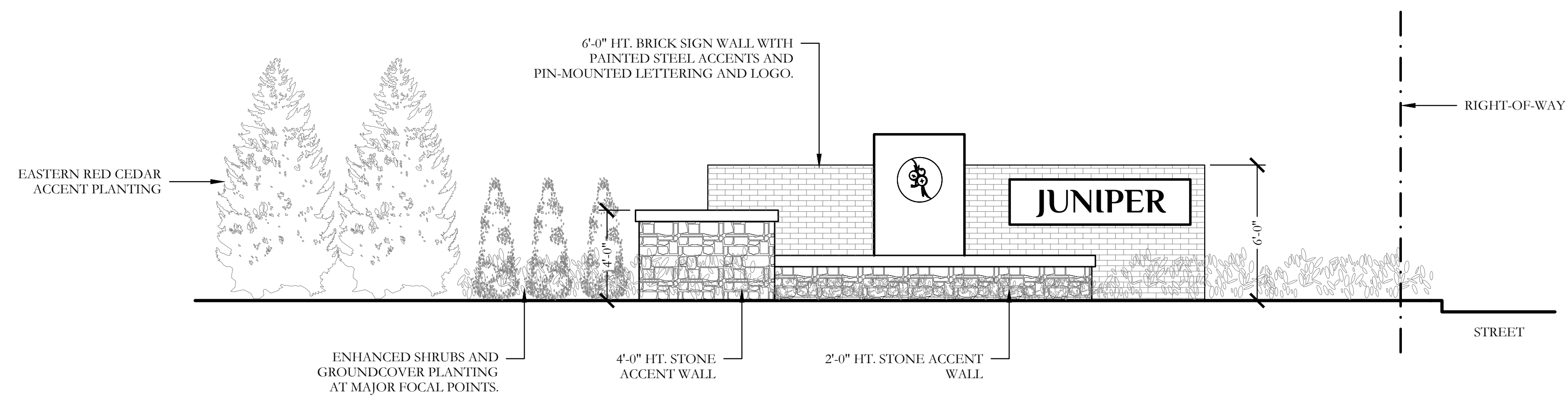
SHEET 2 OF 6
Owner Submittal 9-10-2024

JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



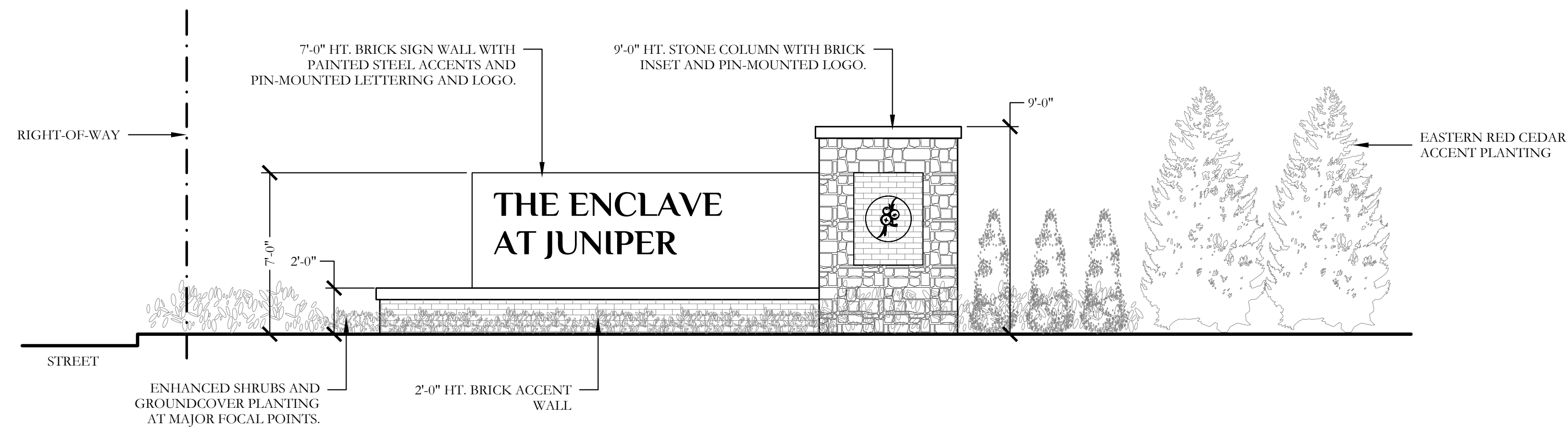
MAIN ENTRY SIGNAGE WITHIN MEDIAN
ELEVATION

SCALE: 1/4" = 1'-0"



SECONDARY ENTRY SIGNAGE
ELEVATION

SCALE: 1/4" = 1'-0"



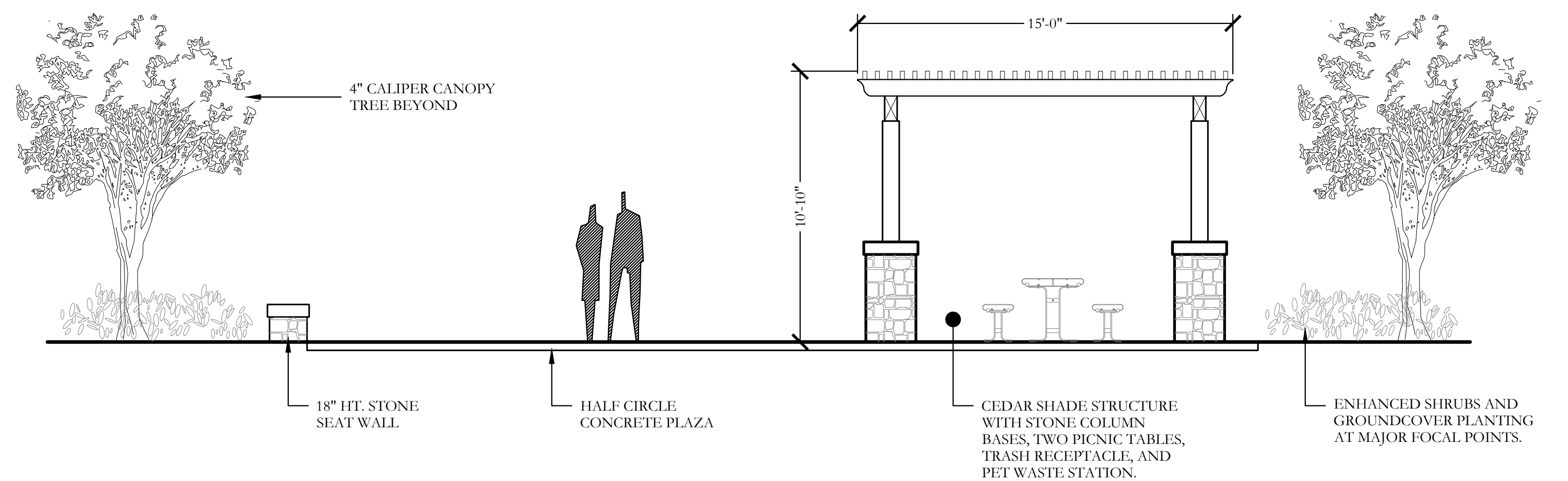
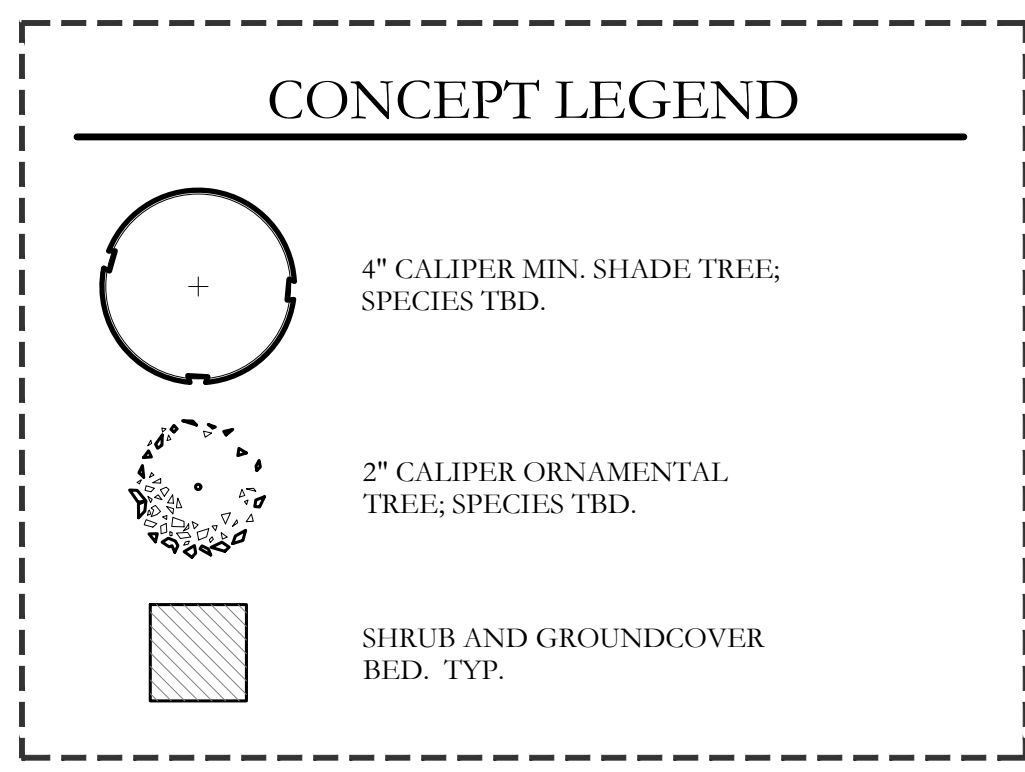
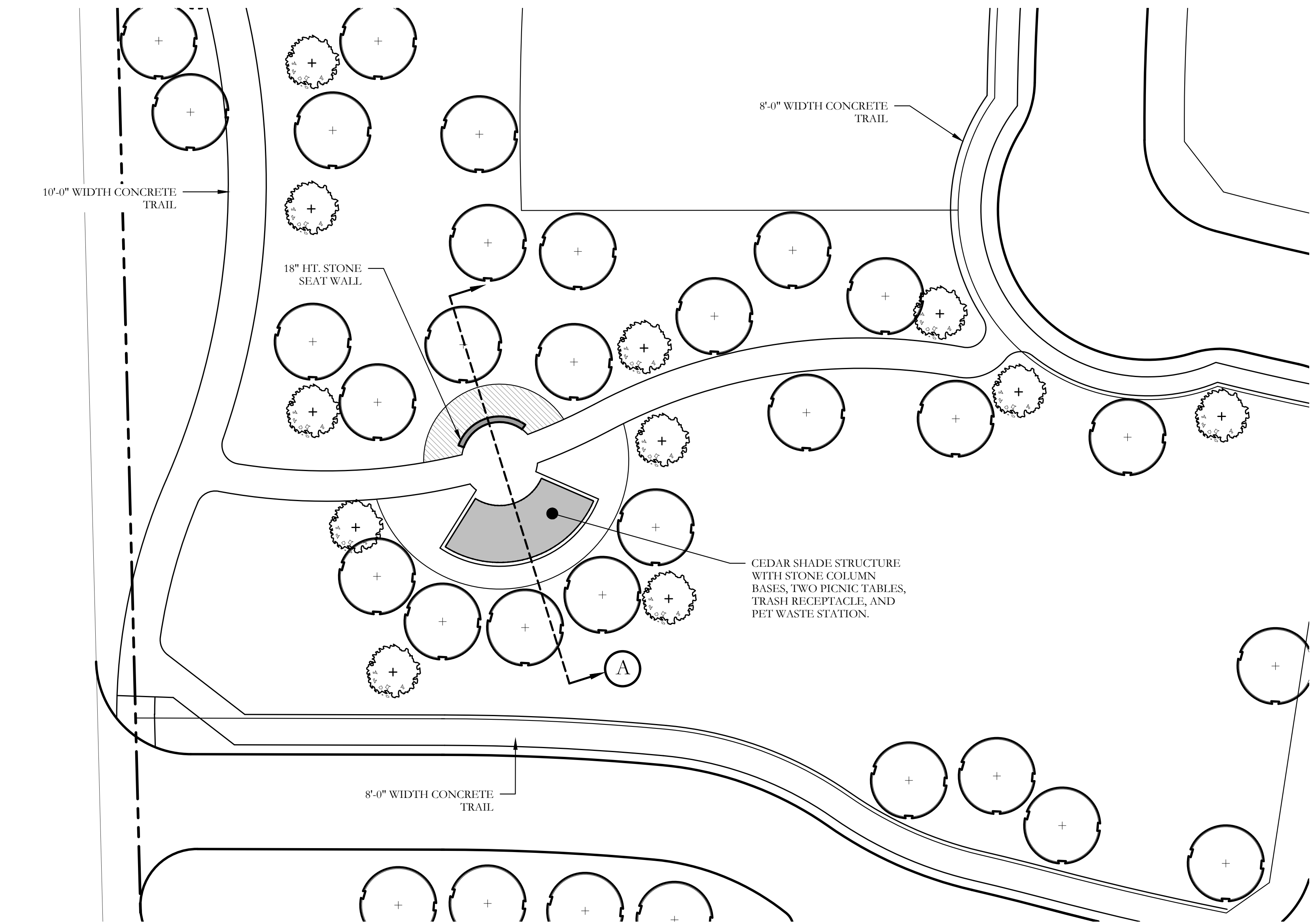
ENCLAVE ENTRY SIGNAGE
ELEVATION

SCALE: 1/4" = 1'-0"

JUNIPER / ENTRY MONUMENT ELEVATIONS

City of Rockwall, Rockwall County, Texas

SHEET 3 OF 6
Owner Submittal 9-10-2024



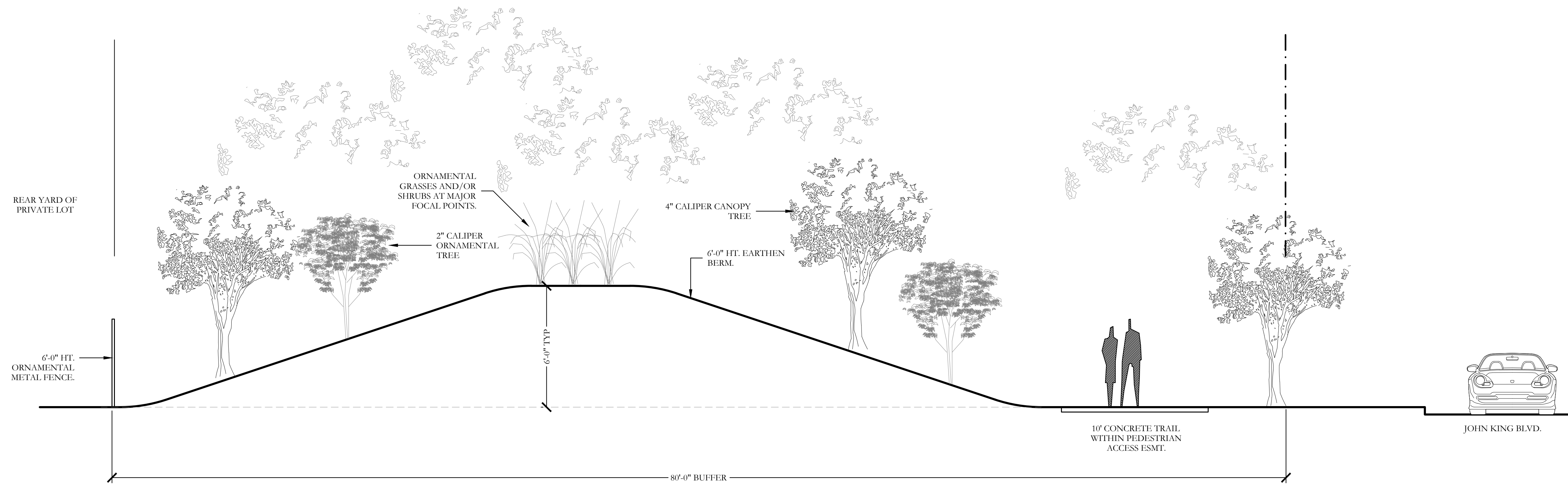
TRAIL STOP PLAN
SCALE: 1" = 20'-0"

TRAIL STOP - SECTION A (TYPICAL NORTH AND SOUTH TRAIL STOP)
SECTION/ELEVATION
SCALE: 1/4" = 1'-0"

JUNIPER / ENTRY MONUMENT/TRAIL STOP ELEVATIONS

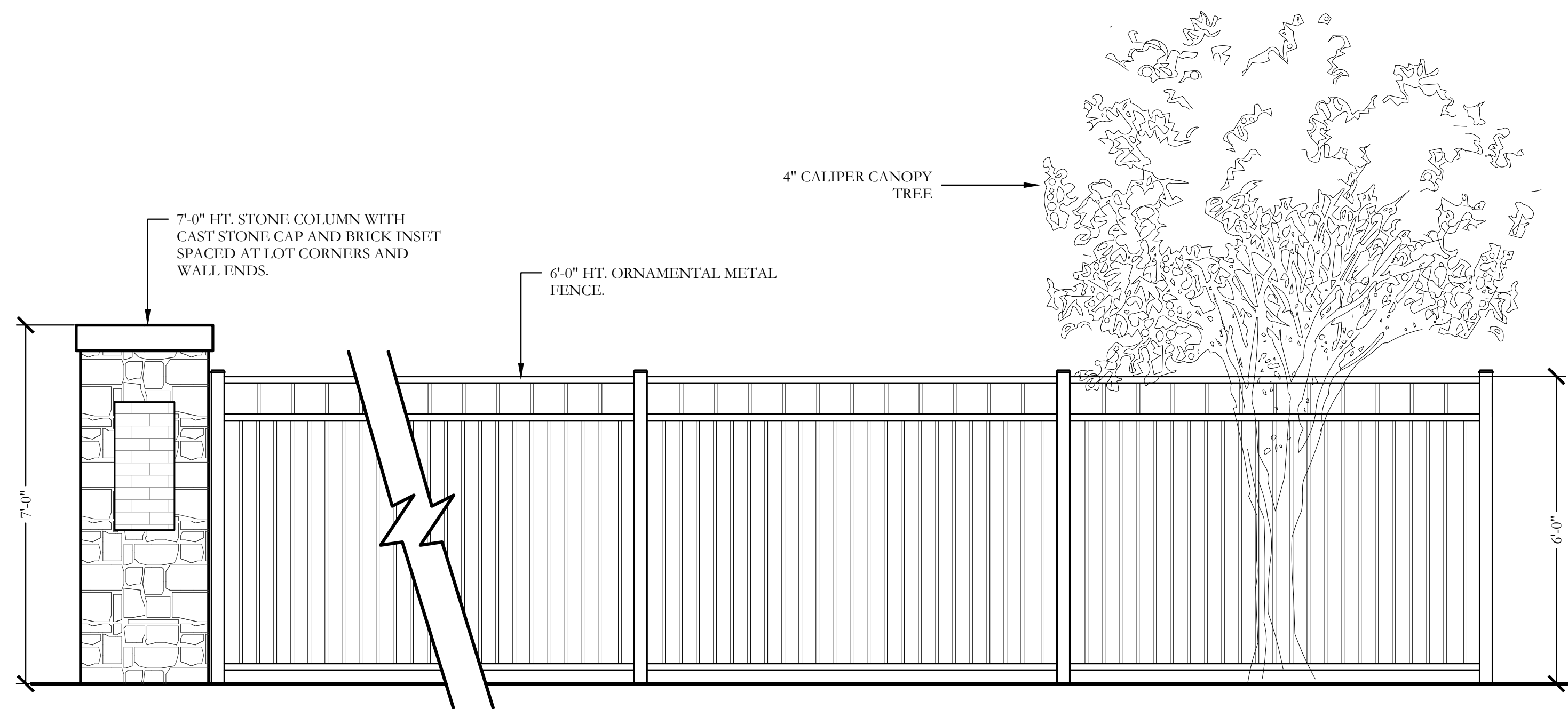
City of Rockwall, Rockwall County, Texas

SHEET 4 OF 6
Owner Submittal 9-10-2024



TYPICAL CROSS SECTION OF JOHN KING BLVD.
ELEVATION

SCALE: 1/4" = 1'-0"



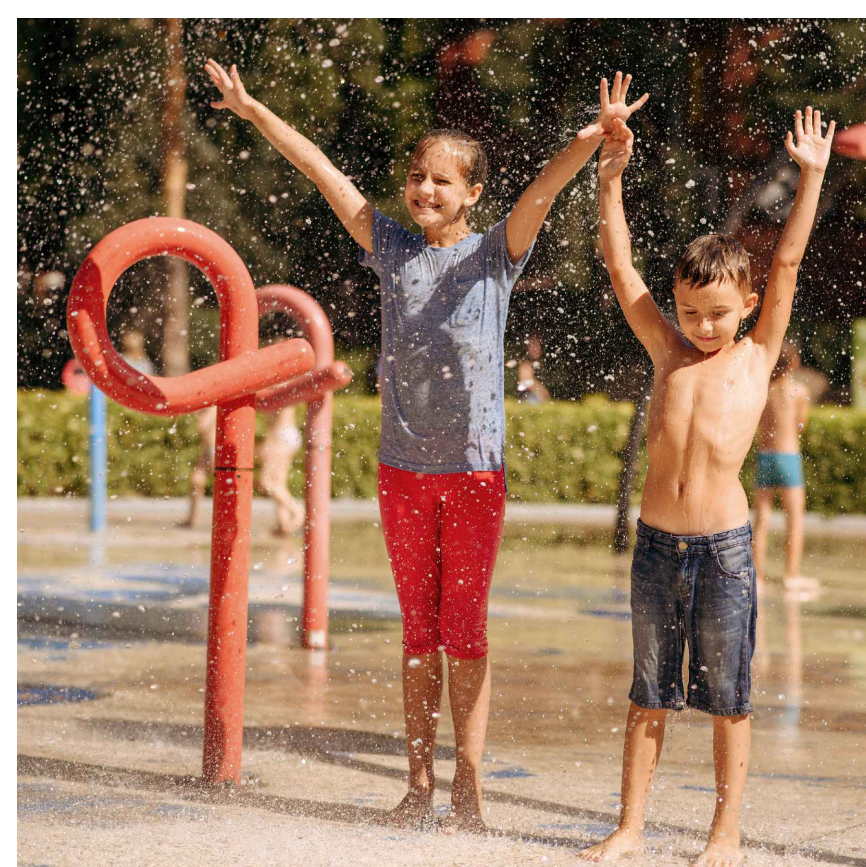
TYPICAL ORNAMENTAL METAL FENCE AND COLUMNS
ELEVATION

SCALE: 1/2" = 1'-0"

JUNIPER / TYPICAL SCREENING DETAILS

City of Rockwall, Rockwall County, Texas

SHEET 5 OF 6
Owner Submittal 9-10-2024



JUNIPER / AMENITY CENTER INSPIRATION PAGE

City of Rockwall, Rockwall County, Texas

SHEET 6 OF 6
Owner Submittal 9-10-2024

Lot Type	Min Lot Size	Min Lot Size	Dwelling Units	% Dwel Un	actual sq ftg
1.5 acre	185 x 200	65340	12	1.34%	
1 acre	185 x 200	43560	13	1.45%	37000
3/4 acre	120 X 200	32670	18	2.01%	
100'	100x150	12000	66	7.37%	15000
82'	82x125	9600	160	17.88%	10250
72'	72x125	8640	329	36.76%	9000
62'	62x125	7440	297	33.18%	7750
52'	52x125		0	0.00%	6500
			895	100.00%	

Total Acres 536.42
 Gross Commercial 41
 Total Res Lots 895
 Residential Density 1.789 1.668 = #res lots/total acres
 Gross Res Density 1.807 = #res lots/(total acres-gross commercial)
 Total Flood Plain Acres 87.09
 Total Open Space Acres 136.8

Loftland
24006

Phase 1	
Lot Size	Total
62'	58
72'	73
82'	44
100'	20
1 Acre	0
Total	195

Phase 3	
Lot Size	Total
62'	41
72'	97
82'	25
100'	18
1 Acre	0
Total	181

Phase 4	
Lot Size	Total
62'	0
72'	34
82'	74
100'	28
1 Acre	0
Total	136

Phase 6	
Lot Size	Total
62'	0
72'	0
82'	0
100'	0
0.75 Acre	18
1.0 Acre	13
1.5 Acre	12
Total	43

Phase 5	
Lot Size	Total
62'	120
72'	31
82'	0
100'	0
1 Acre	0
Total	151

Phase 2	
Lot Size	Total
62'	78
72'	94
82'	17
100'	0
1 Acre	0
Total	189

All Phases	
Lot Size	Total
62'	297
72'	329
82'	160
100'	66
0.75 Ac	18
1.0 Ac	13
1.5 Ac	12
Total	895

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE FAMILY 10 (SF-10) DISTRICT AND GENERAL RETAIL (GR) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 536.4297-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 3 & 3-1 OF THE A. JOHNSON SURVEY, ABSTRACT NO. 123; TRACTS 7 & 7-2 OF THE W. H. BAIRD SURVEY, ABSTRACT NO. 25; AND TRACTS 3 & 4 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Michael Joyce Properties on behalf of Bill Lofland for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District and General Retail (GR) District land uses, on a 536.4297-acre tract of land identified Tracts 3 & 3-1 of the A. Johnson Survey, Abstract No. 123 [355.146-acres]; Tracts 7 & 7-2 of the W. H. Baird Survey, Abstract No. 25 [45.744-acres]; and Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128 [144.00-acres], City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the

amended zoning classification for the *Subject Property*;

SECTION 3. That development of the trails and trail heads for the *Subject Property* shall generally be in accordance with the *Trail and Trail Head Plan*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the amenities for the *Subject Property* shall generally be in accordance with the *Amenity Center Guidelines*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. That a *Master Parks and Open Space Plan* for the *Subject Property* -- prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* and *Trail Layout Plan* depicted in *Exhibit 'D'* of this ordinance -- shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 7. That residential development on the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 7(b) through 7(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City

concurrently with a *Master Parks and Open Space Plan* application for the development.

- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 8. That commercial development on the *Subject Property* shall be in conformance with the process and procedures stipulated by this Planned Development District ordinance, the City's subdivision regulations, and the Unified Development Code (UDC);

SECTION 9. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 12. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 21ST DAY OF OCTOBER, 2024.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 21, 2024

2nd Reading: November 4, 2024

DRAFT
ORDINANCE
09.24.2024

Exhibit 'A':
Legal Description

BOUNDARY 1

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213-acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a ½-inch iron rod found at the northwest corner of a called 139.308-acre tract of land described in a deed to Arcadia Lakes of Somerset Holdings, LLC, as recorded in Document No. 20130000500385, in the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.);

THENCE South 00 degrees 08 minutes 29 seconds West, with the west line of said 139.308-acre tract, at a distance of 973.07-feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the northwest corner of the Amending Plat of Somerset Park, an addition to the City of Rockwall, recorded in Cabinet J, Page 273, of the Map Records of Rockwall County, Texas, continuing with the west line of said Somerset Park, a total distance of 1,402.01-feet to a ½-inch iron rod found;

THENCE South 85 degrees 28 minutes 38 seconds East, continuing with the west line of said Somerset Park, a distance of 10.57-feet;

THENCE South 00 degrees 59 minutes 21 seconds East, continuing with the west line of said Somerset Park, a distance of 869.90-feet;

THENCE South 00 degrees 40 minutes 31 seconds East, continuing with the west line of said Somerset Park, at a distance of 924.23-feet passing a 5/8-inch iron rod with cap stamped "MADDOX SURVEYING" found at the southwest corner of said Somerset Park, continuing a total distance of 934.64-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the right, having a radius of 5,006.10-feet and a central angle of 09 degrees 46 minutes 28 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the right, an arc distance of 854.03-feet (Chord Bearing North 38 degrees 29 minutes 11 seconds West 852.99-feet), to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 26 degrees 59 minutes 29 seconds West, continuing with the northeast line of said SH 205, a distance of 99.97-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 299.01-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 43 degrees 08 minutes 15 seconds West, continuing with the northeast line of said SH 205, a distance of 101.12-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 34 degrees 36 minutes 24 seconds West, continuing with the northeast line of said SH 205, a distance of 300.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 55 degrees 23 minutes 36 seconds West, continuing with the northeast line of said SH 205, a distance of 19.60-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found on a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 06 degrees 20 minutes 55 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 1,275.25-feet (Chord Bearing North 34 degrees 13 minutes 17 seconds West - 1,274.59-feet), to the east line of State Highway 205 Bypass (aka John King Boulevard) (variable width right-way), said point being on a curve to the left, having a radius of 1,004.93-feet and a central angle of 52 degrees 52 minutes 54 seconds;

THENCE with said curve to the left and said John King Boulevard an arc distance of 927.51-feet (Chord Bearing North 24 degrees 59 minutes 44 seconds East - 894.94-feet), to the point of tangency;

Exhibit 'A':
Legal Description

THENCE North 01 degree 27 minutes 44 seconds West, continuing with the east line of said John King Boulevard, a distance of 2,017.35-feet to a ½-inch iron rod with "RPLS 5084" cap found in the south line of a called 173.00-acre tract of land described in a deed to Rockwall Independent School District, as recorded in Document No. 2010-00443616, O.P.R.R.C.T.;

THENCE North 88 degrees 23 minutes 38 seconds East, departing the east line of said John King Boulevard and with the south line of said 173.00-acre tract, a distance of 3,696.05-feet, from which a 5/8-inch iron rod found bears North 74 degrees 56 minutes 50 seconds West, a distance of 1.54-feet;

THENCE North 01 degree 36 minutes 22 seconds West, continuing with the south line of said 173.00-acre tract, a distance of 669.62-feet to a 5/8-inch iron rod found;

THENCE North 88 degrees 24 minutes 41 seconds East, continuing with the south line of said 173.00-acre tract, a distance of 393.66-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found in the west line of FM 549 (variable width right-of-way);

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,480.72-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a distance of 55.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 70.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 55.16-feet;

THENCE South 00 degrees 54 minutes 23 seconds East, a distance of 178.33-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 89 degrees 05 minutes 37 minutes West, continuing with the west line of said FM 549, a distance of 5.34-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 717.97-feet;

THENCE South 89 degrees 04 minutes 00 seconds West, continuing with the west line of said FM 549, a distance of 40.00-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 153.61-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE North 89 degrees 04 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 40.00-feet;

THENCE South 00 degrees 56 minutes 00 seconds East, continuing with the west line of said FM 549, a distance of 70.20-feet to a 5/8-inch iron rod with pink "TxDOT SURVEY MARKER" cap found;

THENCE South 87 degrees 07 minutes 00 seconds West, departing the west line of said FM 549 and with the north line of Neller Addition, an addition to the City of Rockwall, as described in Document No. 20210000019426, O.P.R.R.C.T., a distance of 781.16-feet;

THENCE South 81 degrees 46 minutes 04 seconds West, continuing with the north line of said Neller Addition, a distance of 90.00-feet;

THENCE South 89 degrees 41 minutes 21 seconds West, continuing with the north line of said Neller Addition, a distance of 206.71-feet to a ½-inch iron rod found at the northwest corner of said Neller Addition, same being the northeast corner of the aforementioned 139.308-acre tract;

THENCE South 88 degrees 23 minutes 25 seconds West, with the north line of said 139.308-acre tract, a

Exhibit 'A':
Legal Description

distance of 1,672.69-feet to the *POINT OF BEGINNING* and containing 268.2965-acres of land.

BOUNDARY 2

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123 and the John R. Johnson Survey, Abstract No. 128, in the City of Rockwall, Rockwall County, Texas, being a part of a called 120-acre tract of land described in deed to N.L. Lofland and Annie Lofland, as recorded in Volume 28, Page 487, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, D.R.R.C.T., part of a called 60-acre tract of land described in deed to Nan A. Smartt, Juliana Bond and W.I. Lofland, as recorded in Volume 98, Page 759, and part of a tract of land described in deed to N.L. Lofland, as recorded in Volume 35, Page 269, D.R.R.C.T., and being more particularly described as follows:

BEGINNING at a magnail found at the northeast corner of a called 14.05-acre tract of land described in deed to Frank Forrest and Kelli LaFon Forrest, as recorded in Volume 2664, Page 159, D.R.R.C.T. and the southeast corner of a called 15.598-acre tract of land described in deed to Miller Family Investment, LP, as recorded in Volume 5632, Page 292, D.R.R.C.T., being in the west line of said 72-acre Lofland tract;

THENCE North 00 degrees 04 minutes 08 seconds West, with the west line of said 72-acre Lofland tract and the east line of said Miller Family Investment, LP tract, a distance of 450.81-feet to the northeast corner of said Miller Family Investment, LP tract, being in the southwest line of State Highway 205 (SH 205) (variable width right-of-way), from which a found magnail bears North 00 degrees 01 minute 58 seconds West, a distance of 1.01-feet, said corner being on a non-tangent curve to the right, having a radius of 11,409.16-feet and a central angle of 00 degrees 35 minutes 02 seconds;

THENCE with the southeast line of said SH 205 and with said curve to the right, an arc distance of 116.29-feet (Chord Bearing South 42 degrees 43 minutes 19 seconds East 116.29-feet);

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the southwest line of said SH 205, a distance of 20.00-feet to a point on a non-tangent curve to the right, having a radius of 11,389.16-feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 496.95-feet (Chord Bearing South 41 degrees 10 minutes 48 seconds East 496.91-feet);

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the southwest line of said SH 205, a distance of 20.00-feet to a point on a non-tangent curve to the right, having a radius of 11,409.16-feet and a central angle of 08 degrees 54 minutes 51 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the right, an arc distance of 1,775.05-feet (Chord Bearing South 35 degrees 28 minutes 22 seconds East 1,773.26-feet) to a point from which a found 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap bears North 55 degrees 23 minutes 36 seconds East, a distance of 2.26-feet;

THENCE South 55 degrees 23 minutes 36 seconds West, continuing with the southwest line of said SH 205, a distance of 44.21-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 299.87-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 26 degrees 04 minutes 33 seconds East, continuing with the southwest line of said SH 205, a distance of 101.12-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 34 degrees 36 minutes 24 seconds East, continuing with the southwest line of said SH 205, a distance of 221.52-feet to a 5/8-inch iron rod with pink "TXDOT SURVEY MARKER" cap found;

THENCE South 42 degrees 36 minutes 32 seconds East, continuing with the southwest line of said SH 205, a distance of 99.56-feet to a point on a non-tangent curve to the left, having a radius of 5,105.59-feet

Exhibit 'A':
Legal Description

and a central angle of 12 degrees 47 minutes 28 seconds;

THENCE continuing with the southwest line of said SH 205 and with said curve to the left, an arc distance of 1,139.82-feet (Chord Bearing South 38 degrees 03 minutes 30 seconds East 1,137.45-feet) to the south line of said Lofland 72-acre tract and being in the approximate center of Lofland Circle (variable width right-of-way);

THENCE South 88 degrees 42 minutes 50 seconds West, with the south line of said Lofland 72-acre tract and along the approximate center of Lofland Circle, at a distance of 2,472.42-feet passing the southwest corner of said Lofland 72-acre tract and the southeast corner of said Lofland 60-acre tract, continuing with the south line of said Lofland 60-acre tract and the north line of said Lofland Circle, a total distance of 2,789.02-feet to the northeast corner of a tract of land described in deed to Wallace Land Partners LP, recorded in Volume 2017, Pages 76, 82, 88, 94 & 100, D.R.R.C.T.;

THENCE South 88 degrees 45 minutes 15 seconds West, with the south line of said Lofland 60-acre tract and the north line of said Wallace Land Partners LP tract, a distance of 2,215.98-feet to the southwest corner of said Lofland 60-acre tract, being in the east line of Rockwall Lake Properties Development No. 2, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet A, Page 79 of the Map Records of Rockwall County, Texas;

THENCE North 00 degrees 53 minutes 57 seconds West, with the west line of said Lofland 60-acre tract and the east line of said Rockwall Lake Properties Development No. 2, a distance of 2,452.25-feet to the northwest corner of said Lofland 60-acre tract and the northeast corner of said Rockwall Lake Properties Development No. 2, being in the south line of a tract land described in deed to Vicmar I, Ltd., as recorded in Volume 2016, Page 200, D.R.R.C.T.;

THENCE North 88 degrees 46 minute 35 seconds East, with the north line of said Lofland 60-acre tract and the south line of said Vicmar I, Ltd. tract, at a distance of 227.28-feet passing a found 5/8-inch iron rod found at the southeast corner of said Vicmar I, Ltd. tract and the southwest corner of a tract of land described in deed to Layza & Luna Real Estate, LLC, recorded in Instrument No. 2022000001115, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), continuing with the north line of said Lofland 60-acre tract and the south line of said Layza & Luna Real Estate, LLC tract, a distance of 1,232.98-feet to a 1/2-inch iron rod found at the southeast corner of Layza & Luna tract and the southwest corner of said Forrest tract, continuing with the north line of said Lofland 60-acre tract and the south line of said Forrest tract, a total distance of 2,545.43-feet to the southeast corner of said Forrest tract, being in the west line of said Lofland 72-acre tract;

THENCE North 01 degree 05 minutes 11 seconds West, with the west line of said Lofland 72-acre tract and the east line of said Forrest tract, a distance of 571.91-feet to the *POINT OF BEGINNING* and containing 242.8992-acres of land.

BOUNDARY 3

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 213-acre tract, described as Tract 2 in a deed to Newman Lofland, as recorded in Volume 9, Page 548, in the Deed Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod (controlling monument) found at the northwest corner of a tract of land described in a right-of-way deed to the State of Texas (FM 549) (variable width right-of-way), as described in Document No. 20200000017688, of the Official Public Records of Rockwall County, Texas (O.P.R.C.C.T.), being in an interior south line of a called 173.00-acre tract of land described in a deed to the Rockwall Independent School District, as recorded in Instrument No. 2010-00443616 O.P.R.R.C.T.;

THENCE South 00 degrees 54 minutes 23 seconds East, with the west line of said FM 549, a distance of 1,037.85-feet;

THENCE South 89 degrees 13 minutes 14 seconds West, continuing with the west line of said FM 549, a

**Exhibit 'A':
Legal Description**

distance of 50.00-feet;

THENCE South 00 degrees 46 minutes 46 seconds East, continuing with the west line of said FM 549, a distance of 50.00-feet;

THENCE North 89 degrees 13 minutes 14 seconds East, continuing with the west line of said FM 549, a distance of 50.12-feet to a 5/8-inch iron rod found;

THENCE South 00 degrees 54 minutes 23 seconds East, continuing with the west line of said FM 549, a distance of 171.74-feet to a 5/8-inch iron rod (controlling monument) found in an interior north line of said 173.00-acre tract;

THENCE South 88 degrees 23 minutes 38 seconds West, with said north line, a distance of 572.76-feet to a point in a creek;

THENCE North 18 degrees 43 minutes 38 seconds West, with an interior east line of said 173.00-acre tract and generally along said creek, a distance of 15.83-feet;

THENCE North 13 degrees 52 minutes 54 seconds West, continuing with said east line and generally along said creek, a distance of 165.60-feet;

THENCE North 50 degrees 33 minutes 15 seconds East, continuing with said east line and generally along said creek, a distance of 85.13-feet;

THENCE North 72 degrees 01 minute 55 seconds East, continuing with said east line and generally along said creek, a distance of 38.44-feet;

THENCE North 15 degrees 26 minutes 07 seconds East, continuing with said east line, a distance of 119.88-feet;

THENCE North 09 degrees 56 minutes 47 seconds West, continuing with said east line and generally along said creek, a distance of 80.55-feet;

THENCE North 51 degrees 24 minutes 38 seconds West, continuing with said east line and generally along said creek, a distance of 90.30-feet;

THENCE South 89 degrees 08 minutes 06 seconds West, continuing with said east line and generally along said creek, a distance of 96.61-feet;

THENCE North 00 degrees 45 minutes 48 seconds West, continuing with said east line and generally along said creek, a distance of 367.60-feet;

THENCE North 27 degrees 52 minutes 21 seconds East, continuing with said east line and generally along said creek, a distance of 163.10-feet;

THENCE North 22 degrees 05 minutes 52 seconds East, continuing with said east line, a distance of 149.77-feet;

THENCE North 28 degrees 18 minutes 12 seconds West, continuing with said east line and generally along said creek, a distance of 135.42-feet;

THENCE North 88 degrees 23 minutes 38 seconds East, with the above referenced interior south line, a distance of 581.01-feet to the *POINT OF BEGINNING* and containing 16.89-acres of land.

BOUNDARY 4

BEING a tract of land situated in the Abner Johnston Survey, Abstract No. 123, in the City of Rockwall, Rockwall County, Texas, being a part of a called 72-acre tract described in a deed to N.L. Lofland, as recorded in Volume 30, Page 548, in the Deed Records of Rockwall County, Texas (D.R.R.C.T.), and being more particularly described as follows:

Exhibit 'A':
Legal Description

BEGINNING at easternmost southeast corner of Hickory Ridge Phase Four, an addition to the City of Rockwall, recorded in Cabinet E, Page 287, of the Map Records of Rockwall County, Texas, being in the west line of State Highway 205 Bypass (also known as John King Boulevard) (variable width right-of-way), from which a found disturbed 5/8-inch iron rod with cap bears North 01 degree 27 minutes 44 seconds West, a distance of 1.93-feet;

THENCE South 01 degree 27 minutes 44 seconds East, with the west line said SH 205 Bypass a distance of 847.60-feet to the point of curvature of a curve to the right, having a radius of 894.93-feet and a central angle of 52 degrees 46 minutes 14 seconds;

THENCE with said curve to the right and with the west line of said SH 205 Bypass, an arc distance of 824.25 (Chord Bearing South 24 degrees 56 minutes 28 seconds West 795.42-feet), to the northeast line of State Highway 205 (SH 205) (variable width right-of-way), said point being on a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 01 degree 59 minutes 12 seconds;

THENCE with the northeast line of said SH 205 and with said curve to the left, an arc distance of 399.07-feet (Chord Bearing North 38 degrees 56 minutes 12 seconds West 399.05-feet);

THENCE North 50 degrees 04 minutes 12 seconds East, continuing with the northeast line of said SH 205, a distance of 20.00-feet the point of curvature of a non-tangent curve to the left, having a radius of 11,529.16-feet and a central angle of 02 degrees 30 minutes 00 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 503.05-feet (Chord Bearing North 41 degrees 10 minutes 48 seconds West 503.01-feet);

THENCE South 47 degrees 34 minutes 12 seconds West, continuing with the northeast line of said SH 205, a distance of 20.00-feet to the point of curvature of a non-tangent curve to the left, having a radius of 11,509.16-feet and a central angle of 00 degrees 48 minutes 19 seconds;

THENCE continuing with the northeast line of said SH 205 and with said curve to the left, an arc distance of 161.75-feet (Chord Bearing North 42 degrees 49 minutes 57 seconds West 161.75-feet to the southernmost southwest corner of said Hickory Ridge Phase Four, from which a found disturbed 1/2-inch iron rod with cap bears North 48 degrees 07 minutes 13 seconds East, a distance of 1.86-feet;

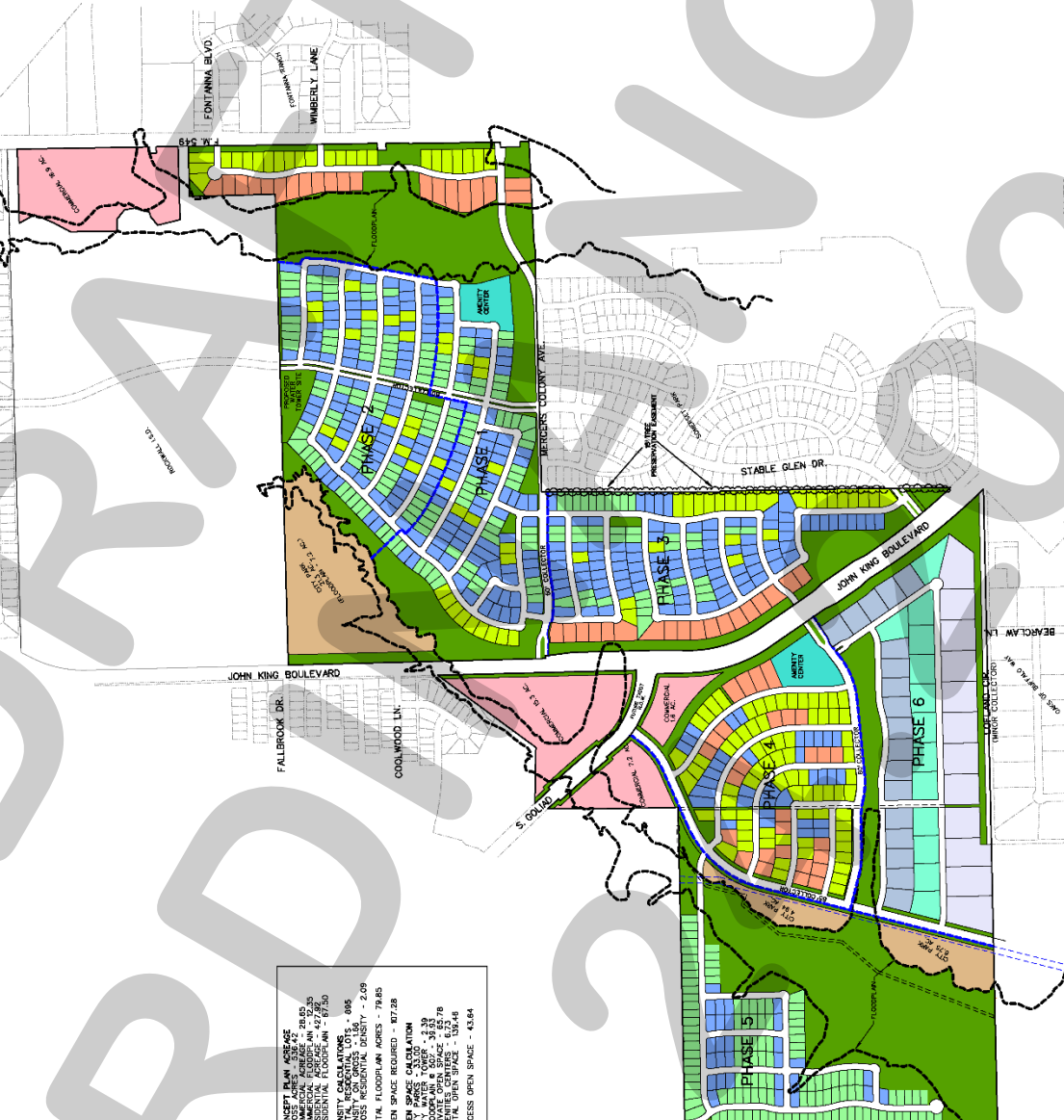
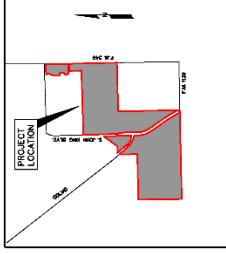
THENCE South 89 degrees 00 minutes 00 seconds East, departing the northeast line of said SH 205, with the south line of said Hickory Ridge Phase Four, a distance of 439.07-feet to the southernmost southeast corner of said Hickory Ridge Phase Four;

THENCE North 36 degrees 21 minutes 06 seconds East, with the southeast line of said Hickory Ridge Phase Four, a distance of 955.17-feet to the *POINT OF BEGINNING* and containing 15.5866-acres of land.

Exhibit 'B': Survey



Exhibit 'C': Concept Plan



TOTAL ACRES	538.42
GROSS COMMERCIAL ACRES	41.0
TOTAL RESIDENTIAL LOTS	895
RESIDENTIAL DENSITY*	1.66
GROSS RESIDENTIAL DENSITY**	1.81
TOTAL FLOOD PLAN ACRES	87.09
TOTAL OPEN SPACE ACRES	138.80

NOTE:
 * CALCULATED AS TOTAL RES. LOTS/TOTAL ACRES
 ** CALCULATED AS (TOTAL RES. LOTS/GROSS COMMERCIAL ACRES)

CONCEPT PLAN
OF
JUNIPER
SITUATED IN THE
W.H. BAIRD SURVEY, ABSTRACT NO. 25
A. JOHNSON SURVEY, ABSTRACT NO. 123
J.R. JOHNSON SURVEY, ABSTRACT NO. 128
IN THE
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
220 W. BELMONT, SUITE E
ROCKWALL, TEXAS 75087
TEL: 972-398-1900
FAX: 972-398-1905
SEPTEMBER 2024 SCALE 1" = 400'
CASE NO. XXXX

OWNERS
J BOND PARTNERS, LOIS ANNE BOND, DAVID LOFLAND BOND,
WILLIAM BRIGGS LOFLAND, HUNTER SCOTT LOFLAND,
GILLIAN GRANT LOFLAND SHERER & EVELYN RUTH LOFLAND
C/O COMMERCIAL DISTRICT
DALLAS, TEXAS 75226

DENSITY	1.66
GROSS ACRES	538.42
COMMERCIAL FLOOR PLAN	17,250
RESIDENTIAL FLOOR PLAN	67,500
TOTAL FLOOR PLAN AREA	84,750
DENSITY CALCULATIONS:	
RESIDENTIAL DENSITY	1.66
GROSS RESIDENTIAL DENSITY	1.81
TOTAL FLOODPLAN ACRES	87.09
OPEN SPACE REQUIRED	107.28
OPEN SPACE AVAILABLE	138.80
EXCESS OPEN SPACE	31.52

LEGEND	
TYPICAL LOT SIZES	
[Color]	- TYPE 'A' - 15 AC. - 12 LOTS
[Color]	- TYPE 'B' - 10 AC. - 13 LOTS
[Color]	- TYPE 'C' - 0.75 AC. - 18 LOTS
[Color]	- TYPE 'D' - 600' X 150' - 66 LOTS
[Color]	- TYPE 'E' - 60' X 115' - 166 LOTS
[Color]	- TYPE 'F' - 72' X 120' - 328 LOTS
[Color]	- TYPE 'G' - 62' X 115' - 297 LOTS
[Color]	- OPEN SPACE - 138.80 AC.
[Color]	- AMENITY CENTER - 677 AC.
[Color]	- CITY PARK - 33.00 AC.
[Color]	- COMMERCIAL - 41.0 AC.

**Exhibit 'D':
Entry Signage and Trail Plan**

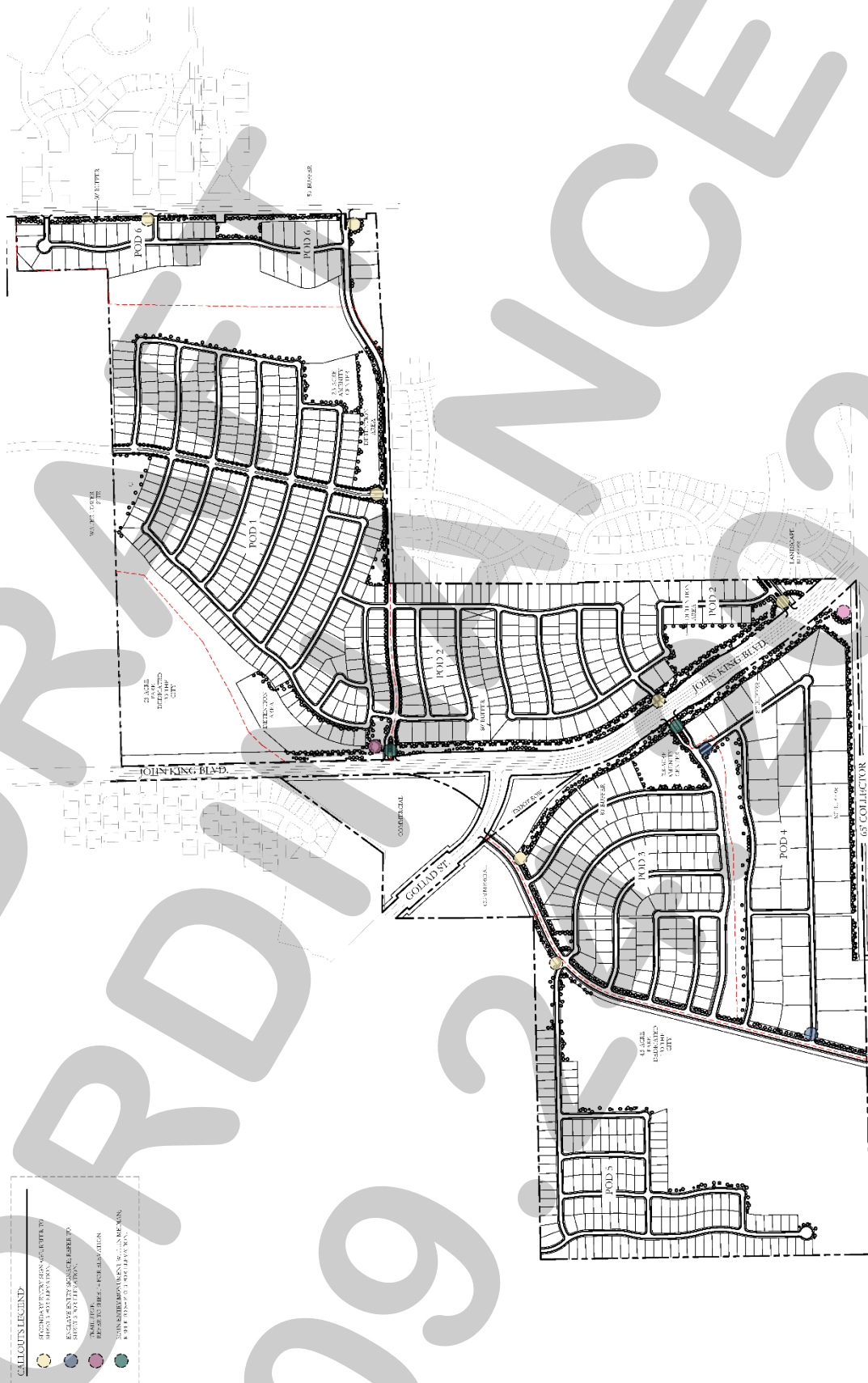


Exhibit 'E':
Amenity Centers

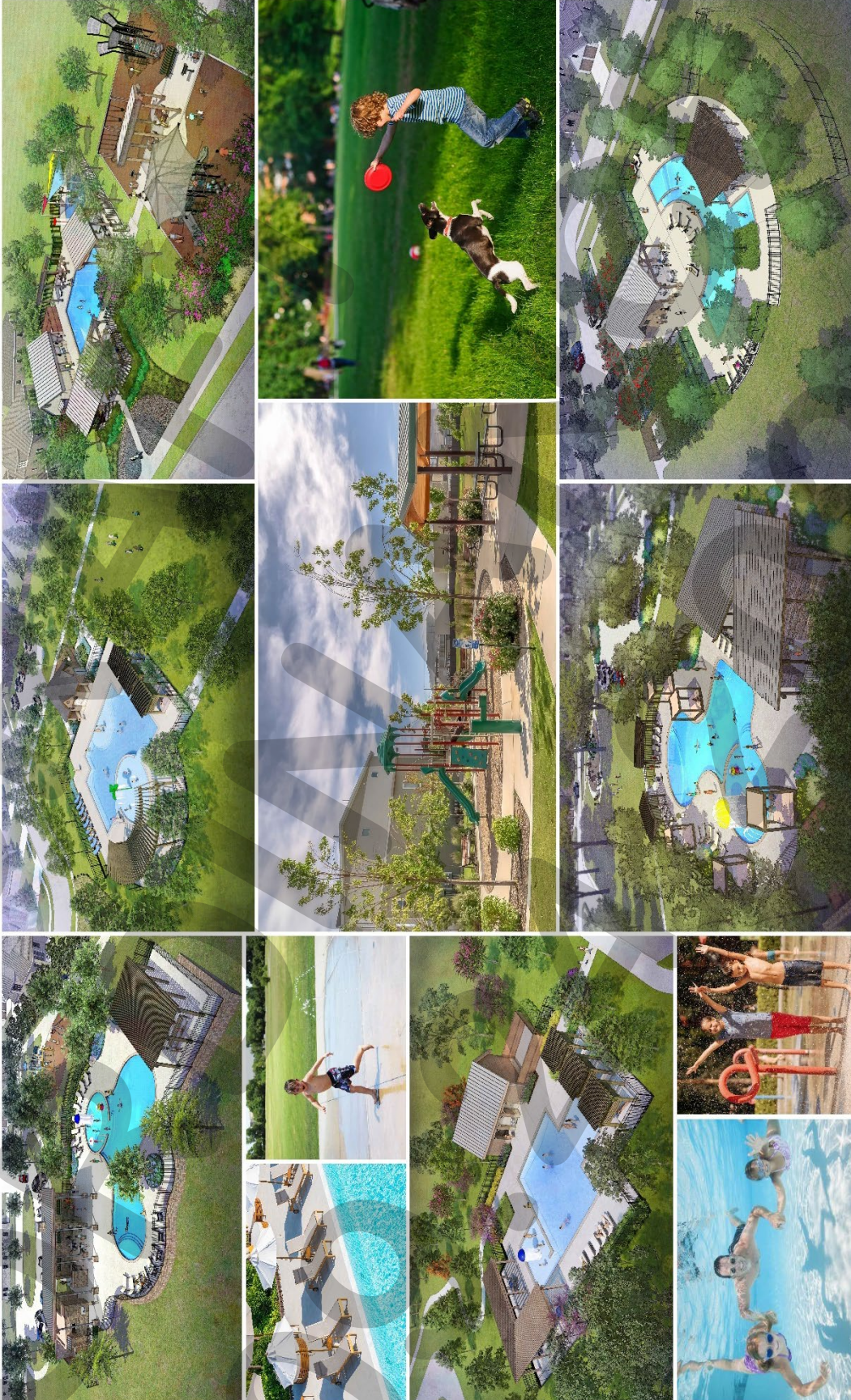


Exhibit 'F':
Density and Development Standards

(1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the *Subject Property*:

(a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

(b) Non-Residential Land Uses. Non-residential land uses shall be allowed only within the area designated for *Commercial* land uses as depicted on the *Concept Plan* in *Exhibit 'C'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the General Retail (GR) District as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) and subject to the approval of a *PD Development Plan* and *PD Site Plan* in accordance with the Planned Development District regulations contained in Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC); however, the following uses are expressly prohibited:

- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- CONVENT, MONASTERY, OR TEMPLE
- COMMERCIAL PARKING GARAGE
- RESIDENCE HOTEL
- MOTEL
- CEMETERY/MAUSOLEUM
- CONGREGATE CARE FACILITY/ELDERLY HOUSING
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPITAL
- MORTUARY OR FUNERAL CHAPEL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- RETAIL STORE WITH GASOLINE SALES THAT HAS MORE THAN TWO (2) DISPENSERS
- TRADE SCHOOL
- MINOR AUTO REPAIR GARAGE
- SELF SERVICE CAR WASH
- SERVICE STATION
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- ANTENNA DISH
- COMMERCIAL FREESTANDING ANTENNA
- HELIPAD
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY

**Exhibit 'F':
Density and Development Standards**

- (2) Residential Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

LOT TYPE	MINIMUM LOT SIZE (FT)	MINIMUM LOT SIZE (SF)	DWELLING UNITS (#)	DWELLING UNITS (%)
A	185' x 200'	65,340 SF	12	01.34%
B	200' x 180'	43,560 SF	13	01.45%
C	135' x 190'	32,670 SF	18	02.01%
D	100' x 150'	12,000 SF	66	07.37%
E	82' x 125'	9,600 SF	160	17.88%
F	72' x 125'	8,640 SF	329	36.76%
G	62' x 125'	7,440 SF	297	33.18%
<i>Maximum Permitted Units:</i>			895	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:

- (a) Residential. Except as modified by this Planned Development District ordinance, residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 1.67 dwelling units per gross acre of land; however, in no case should the proposed development exceed 895 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A	B	C	D	E	F	G
<i>Minimum Lot Width</i> ⁽¹⁾	185'	200'	135'	100'	82'	72'	62'
<i>Minimum Lot Depth</i>	200'	180'	190'	150'	125'	125'	125'
<i>Minimum Lot Area (SF)</i>	65,340	43,560	32,670	12,000	9,600	8,640	7,440
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	30'	30'	30'	30'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	15'	15'	15'	10'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	15'	15'	15'	15'	15'	15'	15'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	30'	30'	30'	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	3,500	3,500	3,200	3,200	3,000	2,800	2,750
<i>Maximum Lot Coverage</i>	40%	40%	50%	50%	65%	65%	65%
<i>Minimum Garage Parking Spaces</i>	3	3	3	3	3	3	2

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard* and *Rear Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.

Exhibit 'F':
Density and Development Standards

6: *J-Swing or Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

(b) ***Non-Residential.*** Except as modified by this Planned Development District ordinance, the non-residential land uses on the *Subject Property* shall be required to meet the development standards stipulated by the *General Overlay District Standards*, *General Commercial District Standards*, and the standards required for the General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) for a property in a General Retail (GR) District. In addition, the *Commercial* area shall be designed to be pedestrian-oriented and easily accessible to the adjacent residential neighborhoods, and be constructed to be integrated with the adjacent uses, not be separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from the adjacent development into the *Commercial* area and through the use of a 50-foot landscape buffer utilizing a berm and three (3) tiered screening (*i.e.* [1] *a small to mid-sized shrub*, [2] *large shrubs or accent trees*, and [3] *canopy trees on 20-foot centers*), and building design and other urban design elements to create compatibility with the surrounding residential neighborhood.

(4) ***Building Standards for Residential.*** All residential development shall adhere to the following building standards:

(a) ***Masonry Requirement.*** The minimum masonry requirement for the exterior façade of all buildings shall be 90.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (*see examples below*) may be used for up to 80.00% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 80.00% of the masonry requirement on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



... CONTINUED ON NEXT PAGE

Exhibit 'F':
Density and Development Standards

FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



- (b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) **Garage Orientation and Garage Doors.** This development shall adhere to the following garage design standards and orientation requirements:
 - (1) **Type 'A', 'B', 'C', 'D', 'E' & 'F' Lots.** The Type 'A', 'B', 'C', 'D', 'E' & 'F' Lots shall be oriented in a *traditional swing (or j-swing)* garage configuration -- where the two (2) car garage is stated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a *traditional swing (or j-swing)* garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the *traditional swing (or j-swing)* configuration.
 - (2) **Type 'G' Lots.** A total of 60.27% or 179 of the Type 'G' Lots may have garage configurations that are oriented in a *Front Entry* garage configuration (i.e. where the garage door faces the street); however, the front façade of the garage shall be setback a minimum of five (5) feet behind the front façade of the primary structure and the front yard building setback shall increased to 25-feet. The remaining 39.73% or 118 of the Type 'G' Lots shall be oriented in a *traditional swing (or j-swing)* garage configuration -- where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration. In a *traditional swing (or j-swing)* garage configuration, a second (single or double) garage door facing

Exhibit 'F':
Density and Development Standards

the street is permitted if it is behind the width of the double garage door in the *traditional swing (or j-swing)* configuration.

All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 09, *Parking and Loading*, of the Unified Development Code (UDC). In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (*i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent*), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 4*.

FIGURE 4. EXAMPLES OF ENHANCED WOOD GARAGE DOOR



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS

CARRIAGE HARDWARE

CEDAR CLADDING

ORNAMENTAL PAVING

... CONTINUED ON NEXT PAGE

**Exhibit 'F':
Density and Development Standards**

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



- (5) **Anti-Monotony Restrictions.** The development shall adhere to the Anti-Monotony Matrix depicted in *Table 3* below (for spacing requirements see *Figures 7 & 8* below).

TABLE 3: ANTI-MONOTONY MATRIX

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	185' x 200'	(1), (2), (3), (4), (5)
B	200' x 180'	(1), (2), (3), (4), (5)
C	135' x 190'	(1), (2), (3), (4), (5)
D	100' x 150'	(1), (2), (3), (4), (5)
E	82' x 125'	(1), (2), (3), (4), (5)
F	72' x 125'	(1), (2), (3), (4), (5)
G	62' x 125'	(1), (2), (3), (4), (5)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, John King Boulevard, S. Goliad Street, FM-549, or Lofland Circle shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:
- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout

Exhibit 'F':
Density and Development Standards

- (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
 - (5) Garage Orientation
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

FIGURE 7. PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



FIGURE 8. PROPERTIES DO NOT LINE UP ON OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



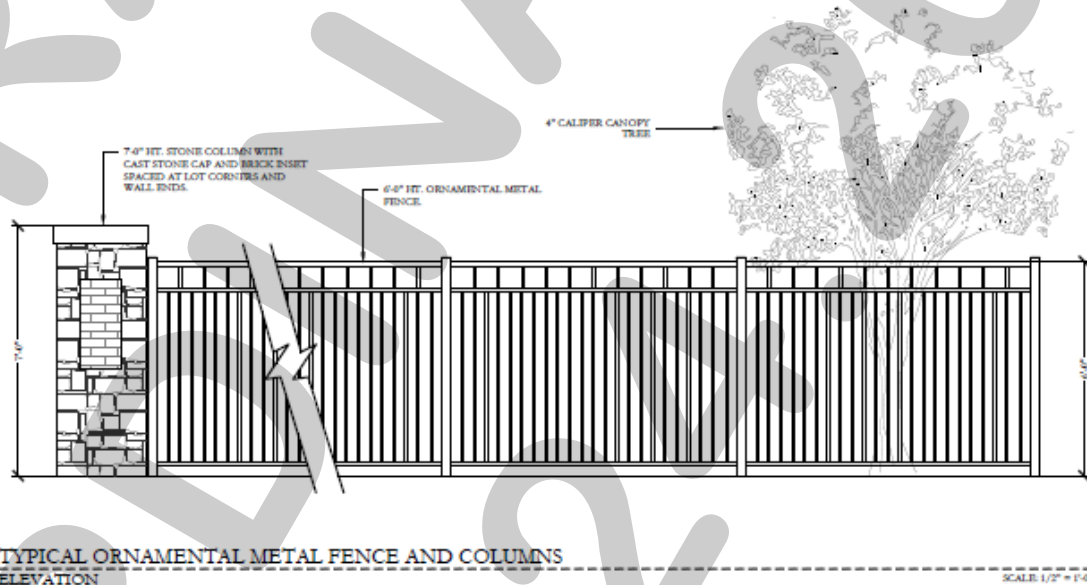
- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) **Front Yard Fences.** Front yard fences shall be prohibited.
 - (b) **Wood Fences.** All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in

Exhibit 'F':
Density and Development Standards

thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

- (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. John King Boulevard, S. Goliad Street, FM-549, or Lofland Circle*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) Corner Lots. Corner lot fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-foot center spacing that begins at the rear property line corner and terminates ten (10) feet behind the front yard building setback line (*see Figure 9*). A maximum of six (6) foot wrought iron fence shall be constructed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of ten (10) feet. The property owner shall be required to maintain both sides of the fence.

FIGURE 9. TYPICAL ORNAMENTAL METAL FENCE WITH COLUMNS



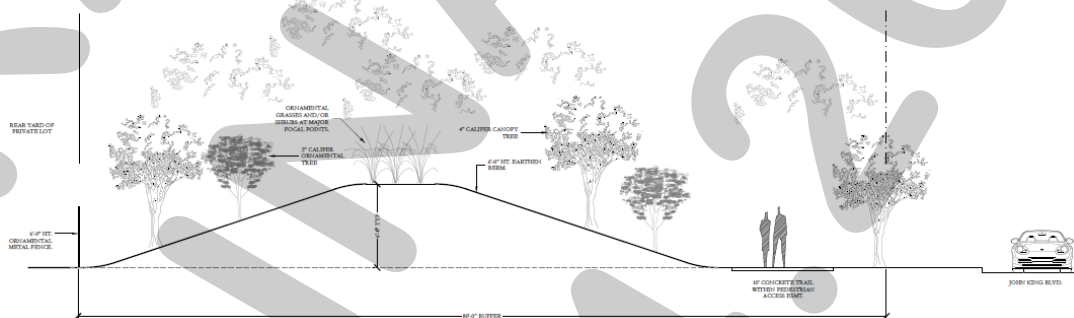
- (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) Fence in Easements. No fencing shall be constructed in or across the City of Rockwall's easements.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4)

Exhibit 'F':
Density and Development Standards

caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).

- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA). All trail locations shall generally be in accordance with *Exhibit 'D'* of this ordinance.
- (1) Landscape Buffer and Sidewalks (John King Boulevard). A minimum of an 80-foot landscape buffer shall be provided along John King Boulevard (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering ten (10) foot trail shall be constructed within the 80-foot landscape buffer. All residential lots backing to John King Boulevard shall also incorporate an additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.

FIGURE 10. TYPICAL CROSS SECTION OF LANDSCAPE BUFFER FOR JOHN KING BOULEVARD



- (2) Landscape Buffer and Sidewalks (S. Goliad Street [SH-205]). A minimum of an 80-foot landscape buffer shall be provided along John King Boulevard and S. Goliad Street (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 80-foot landscape buffer.
- (3) Landscape Buffer and Sidewalks (FM-549). A minimum of a 50-foot landscape buffer shall be provided along FM-549 for the residential property (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, an undulating *built-up* berm, and shrubbery along the entire length of the frontage. Berms shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering eight (8) foot trail shall be constructed within the 50-foot landscape buffer. All residential lots backing to FM-549 shall also incorporate an additional row

Exhibit 'F':
Density and Development Standards

of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines.

- (4) *Landscape Buffer and Sidewalks (Perimeter Minor Collectors)*. A minimum of a 30-foot landscape buffer shall be provided along all *Perimeter Minor Collectors* where residential lots do not front the *Minor Collector*. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-linear feet along the entire adjacency. A meandering eight (8) foot trail shall be constructed within the 30-foot landscape buffer.
 - (5) *Landscape Buffer and Sidewalks (Minor Collectors)*. A minimum of a ten (10) foot landscape buffer shall be provided along all *Minor Collectors* where residential lots do not front the *Minor Collector*. This landscape buffer shall incorporate one (1) canopy tree and one (1) accent tree per 50-linear feet along the entire adjacency. A meandering five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.
 - (6) *Landscape Buffer and Sidewalks (Lofland Circle)*. A minimum of a 50-foot landscape buffer shall be provided along Lofland Circle across from the existing residential lots in the Oaks of Buffalo Way subdivision after which point the landscape buffer may be reduced to ten (10) feet. The segment of landscape buffer that is required to be 50-feet wide shall incorporate a minimum of a 48-inch berm and a five (5) foot meandering sidewalk along the entire landscape buffer. The entire landscape buffer along Lofland Circle shall incorporate a solid living screen utilizing evergreen trees - *either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --*, a minimum of four (4) caliper inches in size, that will be planted on ten (10) foot centers.
 - (7) *Commercial Landscape Buffer (Adjacent to Residential Properties)*. A minimum of a 50-foot landscape buffer with a minimum of a 48-inch continuous *built-up* berm and three (3) tiered screening (*i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers*) shall be provided on commercial properties that have direct adjacency to residential properties as generally depicted in *Exhibit 'C'* of this ordinance.
 - (8) *Landscape Screening in the Western Triangle South of Stable Glen Drive (Adjacent to the Somerset Park Subdivision)*. In order to create a solid living screen adjacent to the homes in the Somerset Park Subdivision that will back to the proposed open space on the west side of SH-205 (*i.e. south of Stable Glen Drive*) a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan --*, a minimum of four (4) caliper inches in size, will be planted on ten (10) foot centers along the entire adjacency.
- (c) *Street Trees*. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.

Exhibit 'F':
Density and Development Standards

- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space/Public Park. The development shall consist of a minimum of 20.00% open space (*or a minimum of 108.066-acres -- as calculated by the formula stipulated in the Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (13) Amenity Center. Amenity centers shall be constructed in generally the same areas as depicted in *Exhibit 'C'* of this ordinance and generally in accordance with the images depicted in *Exhibit 'E'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the two (2) amenity centers shall be approved with the *PD Site Plan*.
- (14) Trails. A concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'D'* of this ordinance, and shall provide connectivity to the proposed parks.

Exhibit 'F':
Density and Development Standards

- (15) Trail Rest Stop. A trail rest stop shall be constructed at the location as depicted in *Exhibit 'D'* of this ordinance and shall include a rest bench, shade structure, water fountain, and bike repair station. The final design of the trail rest stop shall generally conform with *Figures 11 & 12*.

FIGURE 11. TRAIL REST STOP

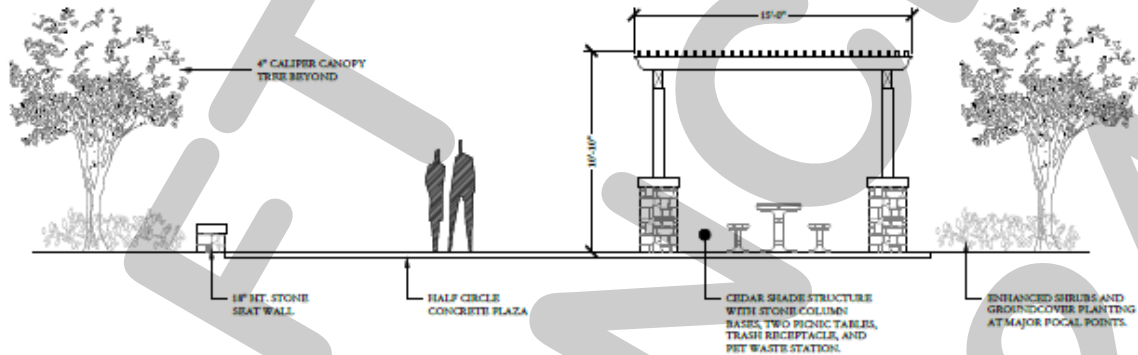
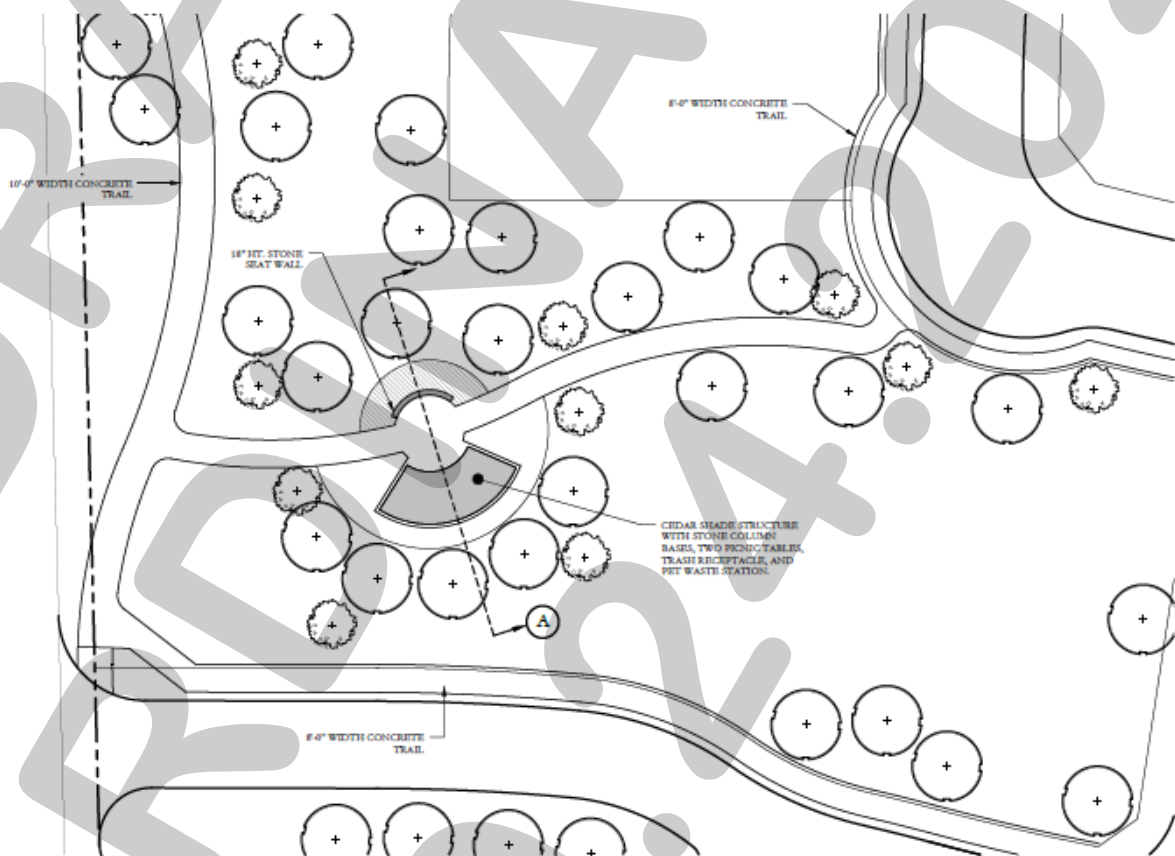


FIGURE 12. TRAIL REST STOP PLAN



- (16) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject*

**Exhibit 'F':
Density and Development Standards**

Property. The final design of these areas shall be provided on the *PD Site Plan*; however, they should generally conform with *Figures 13, 14 & 15.*

FIGURE 13. MAIN ENTRY SIGNAGE

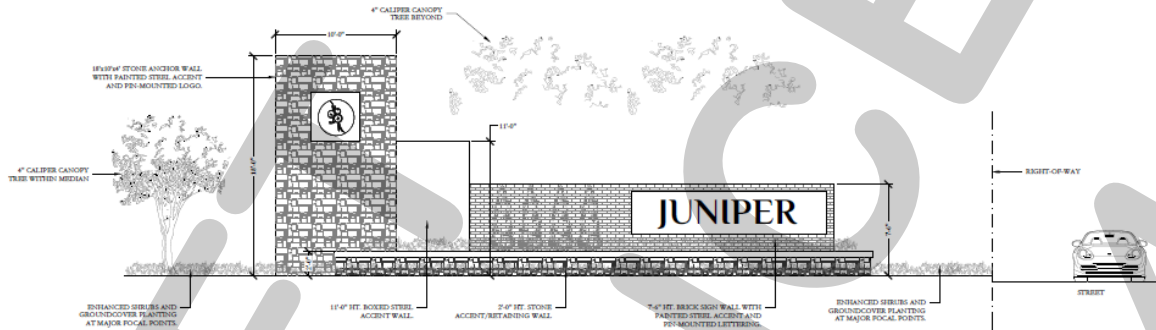


FIGURE 14. SECONDARY ENTRY SIGNAGE

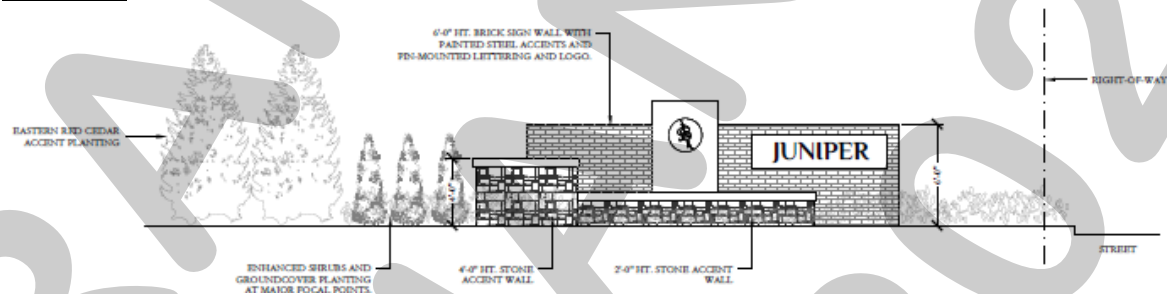
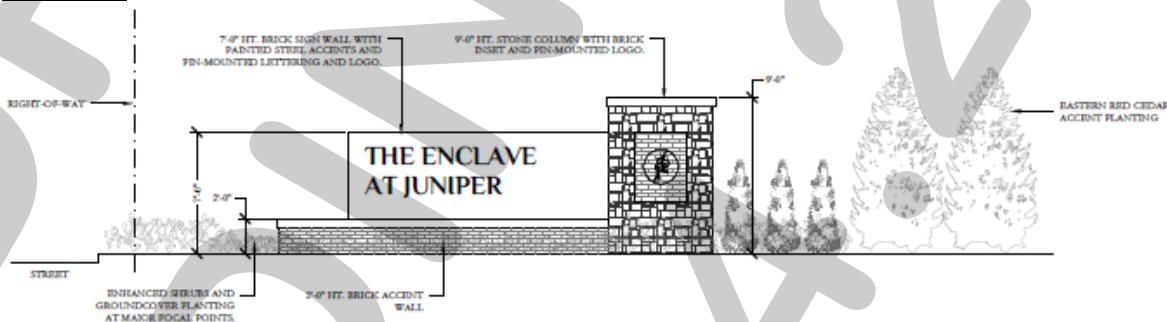


FIGURE 15. ENCLAVE ENTRY SIGNAGE



(17) **Homeowner's Association (HOA).** A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.

(18) **Variances.** The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/18/2024

PROJECT NUMBER: P2024-031
PROJECT NAME: Preliminary Plat for John King Retail Addition
SITE ADDRESS/LOCATIONS: W.H Baird Survey

CASE CAPTION: Discuss and consider a request by Kiew Kam of Triangle Engineering, LLC on behalf of Ibrahim Ballout for the approval of a Preliminary Plat for a Shopping Center on an 11.78-acre tract of land identified as Tract 5-3 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, located at the southeast corner of the intersection of John King Boulevard and SH-276, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/18/2024	Needs Review

09/18/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for a Shopping Center on an 11.78-acre tract of land identified as Tract 5-3 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, located at the southeast corner of the intersection of John King Boulevard and SH-276.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2024-031) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block to the following (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Preliminary Plat
Lots 1-8, Block A
John King Retail Addition
Being
8 Lots
11.78 Acres or 513,136.80 SF
Situated in the
W. H. Baird Survey, Abstract No. 25
City of Rockwall, Rockwall County, Texas

M.5 Provide the Owner, Developer, and/or Surveyor/Engineer information near the lower right-hand corner. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 The Fire Lane shall be labeled as Fire Lane, Public Access, and Utility Easement. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

- M.7 Please indicate the building setbacks adjacent to a public street. Retail/Commercial is 15-feet, Office is 50-feet, and your residential adjacency is 20-feet. Staff would suggest building to the 50-foot setback, so that future Office and Medical Office users will not have issues leasing a suite. (Subsection 07.03, Article 05, UDC)
- M.8 Please provide the right-of-way width and centerline for SH-276 and John King Boulevard. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.9 Please indicate all proposed corner clips and any subsequent dedication. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.10 Please identify any existing or proposed median breaks. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.11 Please provide the topographic contours on two (2) foot intervals. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.12 Please indicate the zoning and land use information. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.12 Please include all items listed in Section 38-7(b) and Section 38-7(c) of the Subdivision Ordinance, which can be found through the Planning and Zoning Webpage on the City of Rockwall Website. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.13 The city signature block is not correct. The correct signature block can be found under the preliminary plat section within the City of Rockwall Subdivision ordinance, more specifically in Section 38-7(3)(D)(3). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.14 The surveyor does not need a notary as their seal serves this purpose. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)
- M.15 All utility distribution lines (i.e. power lines) must be underground. (Subsection 06.01(H), Article 05, UDC)
- M.16 Concept Plan:
- (1) Each lot will be subject to the General Overlay District Standards and will be reviewed by the Architectural Review Board (ARB). (Subsection 06.01, of Article 05, UDC)
 - (2) All utility distribution lines will be required to be underground. (Subsection 06.01(H), Article 05, UDC)
 - (3) Staff suggests designing the site to meet the 50-foot Office front setback requirements to mitigate any future issues with potential Office or Medical Office tenants. (Subsection 06.01, Article 05, UDC)
 - (4) Staff suggest putting together a master Shared Parking Agreement between all of the properties; properties are not permitted to use parking on adjacent lots without a parking agreement. This aims to prevent future parking issues as tenants apply for a Certificate of Occupancy (CO). Staff has recently dealt with this issue on multiple properties across town. The minimum parking requirements based on the square footages and uses indicated on the concept plan:
 - a. Lot 1: Retail Store with Gasoline Sales – requires 20 parking spaces and 41 are provided.
 - b. Lot 2: Restaurant – requires 43 parking spaces and 25 are provided.
 - c. Lot 3: Restaurant – requires 43 parking spaces and 25 are provided.
 - d. Lot 4: Retail – requires 62 parking spaces and 127 are provided.
 - e. Lot 5: Retail – requires 34 parking spaces and 54 are provided.
 - f. Lot 6: Restaurant – requires 13 parking spaces and 25 are provided.
 - g. Lot 7: Retail – requires 66 parking spaces and 146 are provided.
 - h. Lot 8: Retail – requires 40 parking spaces and 56 are provided.
 - (5) Based on the proposed land uses, Lots 1, 2, 3, & 6 will be required to complete a Specific Use Permit (SUP) before a site plan may be complete. (Article 04, UDC)
 - (6) All dumpsters within the development shall be eight (8) feet in height. In addition, evergreen shrubs are required around the dumpster enclosure. (Subsection 06.01, Article 05, UDC)
 - (7) All RTUs and vents shall be fully screened by the parapet from any adjacent property or right-of-way. In addition, parapets shall continue around the entire building and be an enclosed system. (Subsection 06.01, Article 05, UDC)
 - (8) Any exterior ladders shall be internalized into the building. (Subsection 06.01, Article 05, UDC)
 - (9) Light levels shall not exceed 0.2 FC at all property lines; this includes internal lot lines. (Subsection 03.03, Article 07, UDC)

- (10) Evergreen shrubs shall be required along the north and west perimeter of the development in order to provide headlight screening. In addition, evergreen shrubs shall be required along and in front of any drive-through lane in order to mitigate headlight glare onto adjacent properties and the roadways. (Subsection 05.02, Article 08, UDC)
- (11) Above ground detention systems have landscape planting requirements. For every 750 SF a canopy tree must be provided, and for every 1,500 SF an accent tree must be provided. (Subsection 05.03, Article 08, UDC)
- (12) A ten (10) foot meandering sidewalk is required along John King Boulevard (Subsection 06.01, Article 05, UDC)
- (13) An eight (8) foot trail is required along SH-276 per the Master Trail Plan. (Appendix C, OURHometown 2040 Comprehensive Plan)
- (14) Comments for Lot 1:
 - a. Please remove the signage from the concept plan. (Subsection 06.02, Article 05, UDC)
 - b. The vents for the fuel tanks must be incorporated into the gas canopy. (Subsection 02.03, Article 04, UDC)
 - c. All ice machines, propane swap, and water swap installations must meet the incidental display standards. (Subsection 02.03, Article 04, UDC)
- (15) The dumpster on Lot 8 will need to be moved. Dumpsters are not permitted to face onto a public roadway. (Subsection 01.05, Article 05, UDC)

M.17 For Sheet L.1 and L.2 (treescape plan and landscape plan for the gas station).

- (1) Please clarify that the trees are Eastern Red Cedars. (Article 09, UDC)
- (2) Remove the signage from the plan. (Subsection 06.02, Article 05, UDC)
- (3) Please delineate and label the 15-foot landscape buffer along SH-276. (Subsection 06.02, Article 05, UDC)
- (4) Please delineate and label the 10-foot meandering sidewalk along John King Boulevard. (Subsection 06.02, Article 05, UDC)
- (5) Please delineate and label the 8-foot trail along SH-276. (Subsection 06.02, Article 05, UDC)
- (6) Please delineate the required berm within the landscape buffers. All landscape buffers are to incorporate a minimum 30-inch berm. In addition, there is a required 10-foot utility easement along John King Boulevard and SH-276; the berm cannot be located in any utility easements. (Subsection 06.02, Article 05, UDC)
- (7) Five (5) gallon evergreen shrubs shall be provided around the dumpster enclosure and any ground mounted utilities. (Subsection 06.02, Article 05, UDC)
- (8) Above ground detention systems have landscape planting requirements. For every 750 SF a canopy tree must be provided, and for every 1,500 SF an accent tree must be provided. (Subsection 05.03, Article 08, UDC)
- (9) The landscape buffers in an Overlay District are required two (2) canopy and four (4) accent trees per 100 feet. In this case, the landscape buffer trees are deficient. (Subsection 06.02, Article 05, UDC)

M.18 For Sheet L.1 and L.2 (treescape plan and landscape plan for the entire site), Please note that the landscaping for this development is not being considered for final approval. These comments are informational in nature.

- (1) Please provide a consolidated table that indicates the total mitigation. In addition, indicate the number of trees to be planted within the development in order for staff to verify that the mitigation is being satisfied. (Article 09, UDC)
- (2) Remove the signage from the plan. (Subsection 06.02, Article 05, UDC)
- (3) Please delineate and label the 10-foot meandering sidewalk along John King Boulevard. (Subsection 06.02, Article 05, UDC)
- (4) Five (5) gallon evergreen shrubs shall be provided around the dumpster enclosures. (Subsection 06.02, Article 05, UDC)
- (5) Above ground detention systems have landscape planting requirements. For every 750 SF a canopy tree must be provided, and for every 1,500 SF an accent tree must be provided. (Subsection 05.03, Article 08, UDC)
- (6) The landscape buffers in an Overlay District are required two (2) canopy and four (4) accent trees per 100 feet. In this case, the landscape buffer trees are deficient. (Subsection 06.02, Article 05, UDC)
- (7) The Dwarf Wax Myrtle must be a minimum of five (5) gallon. (Article 08, UDC)
- (8) The three (3) tiered landscaping must continue along the entire southern property line in order to meet the residential adjacency standards. Residential Adjacency applies to all non-residential properties that abut residentially zoned or used property. The underlying zoning for the school is Single-Family 8.4 (SF-8.4) District. (Subsection 01.06, Article 05, UDC)
- (9) Please provide a detail/cross-section of the residential adjacency in order for staff to verify the minimum requirements are being met. (Subsection 01.06, Article 05, UDC)
- (10) Per the UDC, the proposed three (3) tiered landscaping that serves as the residential adjacency screening is considered an alternative screening method, and must be approved by the Planning and Zoning Commission. (Subsection 01.06, of Article 05, UDC)

I.19 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: September 24, 2024

I.20 Please note that once the Preliminary Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved w/ Comments

- 09/17/2024: 1. Driveway locations to be spaced 425'. Must be relocated to meet spacing requirements.
2. A 10' utility easement is required along all street frontages. Detention is not allowed in utility easement.
3. Min water easement must be 20' wide. Min utility easement must be 20' wide.
4. Detention Pond cannot be located within the landscape buffer and utility easement.
5. Grate inlets are not allowed.
6. All Drainage Calculations will be reviewed during the Civil Engineering plan submittal.
7. Show and label all berms required.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- Required 10' utility easement along all street frontages.
- All utilities must be underground. Existing overhead utility lines, if present, will need to be placed underground.
- The property must be platted.
- No structures or fences with easements.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required when removing existing trees on the property.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering Design.

Drainage Items:

- Detention is required.
- Drainage calculations are based on property zoning, not land area use.
- Property drains in multiple directions. Drainage may not be increased towards any direction.
- Detention ponds/systems must be in a drainage easement maintained by the property owner. The drainage easement shall be located at the 2' freeboard elevation.
- An emergency spillway, located at the 2' freeboard elevation, will be required for the detention pond.
- No vertical walls allowed in detention easement. Max 4:1 side slopes.
- No public water or sewer allowed within the detention easement.
- Detention easement and utility easements may not overlap.
- The 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond or the 100yr floodplain. Minimum 2' above 100-year WSEL.
- Existing flow patterns must be maintained. A portion of the site drains to an existing wye inlet located at the intersection of SH-276 and S. John King Blvd. The other portion of the site drains to the southwest side of the property.
- Grate inlets are not allowed.

- Dumpster areas to drain to oil/water separator and then to the storm lines.
- Gas pump areas must drain to oil/water separator and then to the storm lines.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- There is an existing 12" water main along S. John King Blvd. available for use.
- There is an existing 8" sewer main on the other side of John King Blvd. - you would need to dry bored under the roadway to tie into this sewer main. There is also sewer on the southern property line of the school on the east side of John King. No City utilities allowed in John King or SH 276 ROW.
- An Infrastructure Study will be required. Review fees apply.
- All utility crossings of John King and SH276 must be by dry bore and steel encased.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- \$439.71/acre sewer pro-rata
- Off-site sanitary sewer is required

Paving Items:

- Must meet City driveway spacing requirements along John King Blvd.
- Must meet TXDOT driveway spacing requirements along SH-276.
- A traffic impact analysis is required
- A TXDOT permit will be required for the proposed driveways along SH-276.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane to be 24' wide and in a platted easement.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Must build a left turn lane to TXDOT requirements on John King

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Approved w/ Comments

09/17/2024: All fire lanes are required to be platted.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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GIS	Lance Singleton	09/16/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/16/2024	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved
No Comments			

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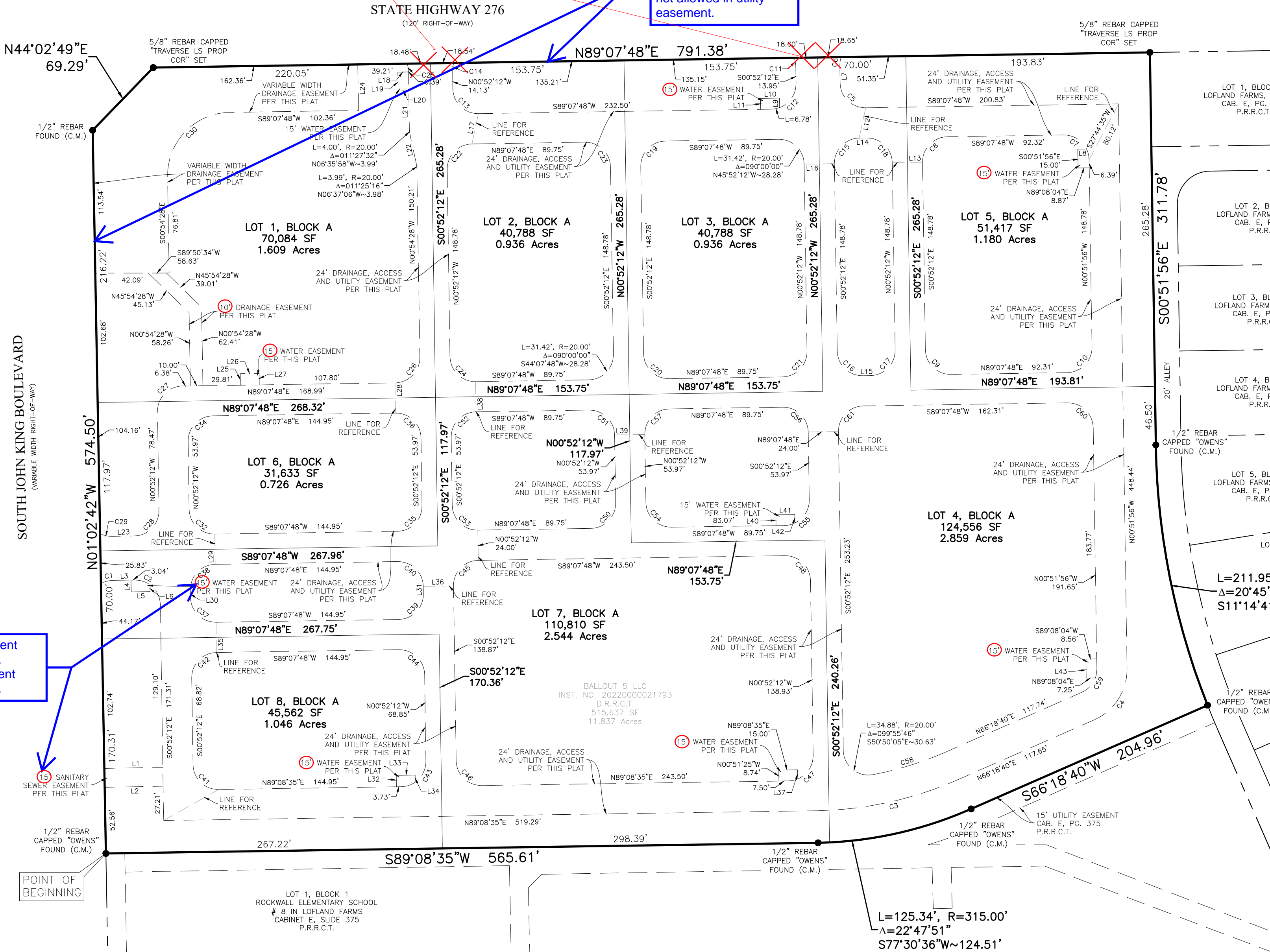
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 - An emergency spillway, located at the 2' freeboard elevation, will be required for the detention pond.
 - No vertical walls allowed in detention easement. Max 4:1 side slopes.
 - No public water or sewer allowed within the detention easement.
 - Detention easement and utility easements may not overlap.
 - The 100-year WSEL must be called out for detention ponds.
 - FFE for all buildings must be called out when adjacent to a detention pond or the 100yr floodplain. Minimum 2' above 100-year WSEL.
 - Existing flow patterns must be maintained. A portion of the site drains to an existing wye inlet located at the intersection of SH-276 and S. John King Blvd. The other portion of the site drains to the southwest side of the property.
 - Grate inlets are not allowed.
 - Dumpster areas to drain to oil/water separator and then to the storm lines.
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 - Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
 - Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed.
 - Only one "use" of a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Min 20' utility easements.
 - Water to be 10' separated from storm and sewer lines.
 - All public utilities must be centered in easement.
 - \$439.71/acre sewer pro-rata
 - Off-site sanitary sewer is required

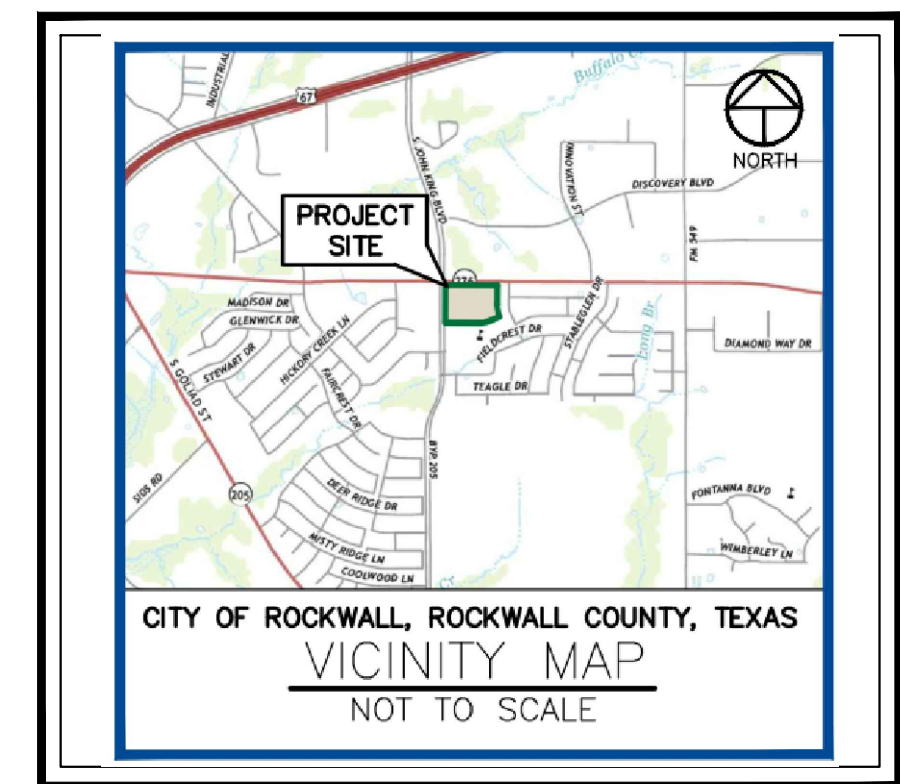
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 - Fire lane to be 24' wide and in a platted easement.
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 - Must build a left turn lane to TXDOT requirements on John King

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".





Scale: 1" = 40' Feet



VICINITY MAP
N.T.S.

UTILITY LEGEND

UNDERGROUND TELEPHONE LINE	— UGT — UGT
UNDERGROUND ELECTRIC LINE	— USE — USE
GAS LINE	— G — G
SANITARY SEWER LINE	— S.S. — S.S.
WATER MAIN	— W — W
DOMESTIC WATER LINE	— D — D
STORM LINE	— STM — STM
STORM SEWER MANHOLE	⊙
STORM SEWER CLEANOUT	⊙
SANITARY SEWER MANHOLE	⊙
SANITARY SEWER CLEANOUT	⊙
SANITARY SEWER DOUBLE CLEANOUT	⊙
SANITARY SEWER SAMPLE PORT	⊙
GREASE TRAP	⊙
DOMESTIC WATER METER	⊙
IRRIGATION METER	⊙
GAS METER	⊙
FIRE HYDRANT	⊙
FIRE DEPARTMENT CONNECTION-FDC	⊙
TRANSFORMER	⊙
LIGHT POLE	⊙
POWER POLE	⊙

EASEMENT/SETBACK LEGEND

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
DRAINAGE, ACCESS AND UTILITY EASEMENT	D.A.U.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
DRAINAGE EASEMENT	D.E.

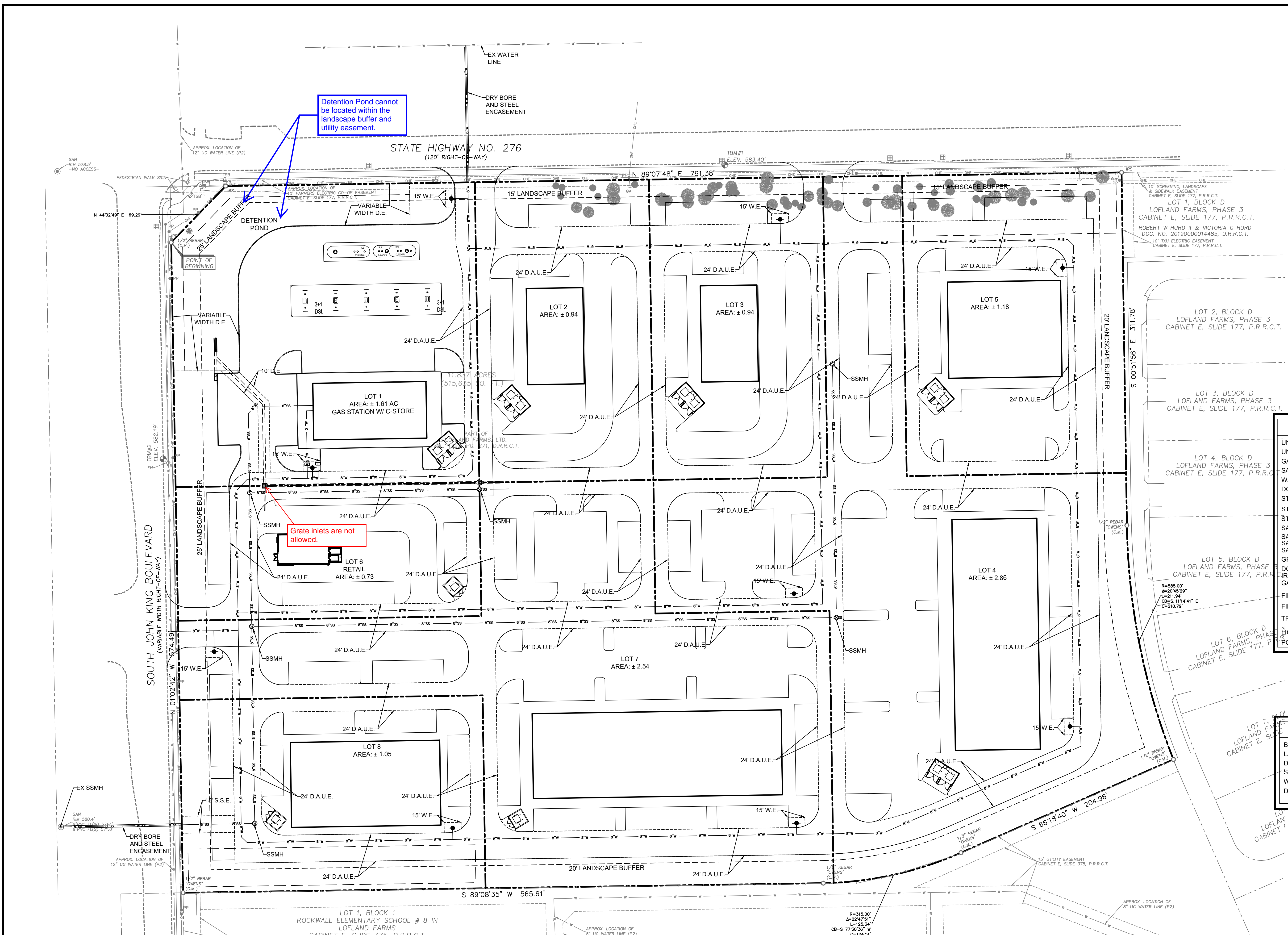
PRELIMINARY UTILITY PLAN
PLANNED DEVELOPMENT
 SOUTH JOHN KING BLVD & S.H. 276
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 W.H. BAIRD SURVEY, ABSTRACT NO.25

TRIANGLE ENGINEERING LLC
 T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
 W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning	Civil Engineering	Construction Management			
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KK	BD	09-03-24	SCALE BAR	130-22	C-3.0

TX. P.E. FIRM #11525

NO.	DATE	DESCRIPTION	BY
1	09-13-24	1st CITY SUBMITTAL	KK

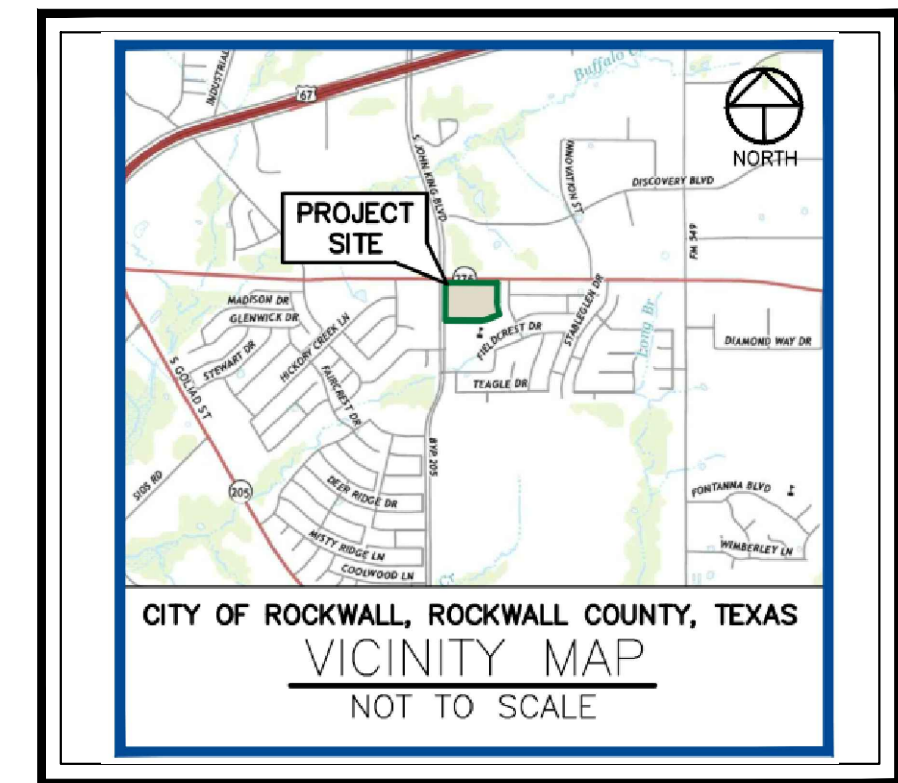


Detention Pond cannot be located within the landscape buffer and utility easement.

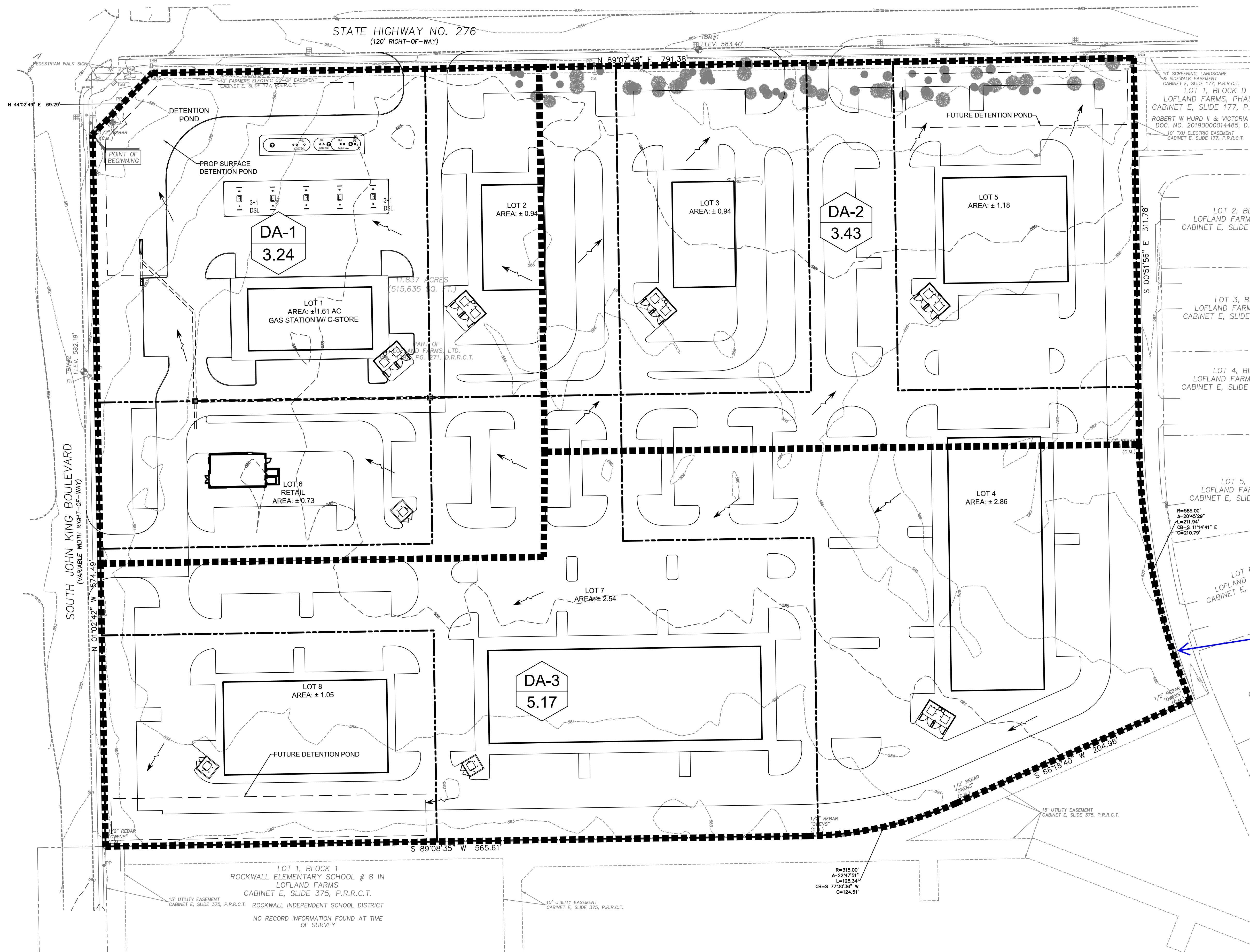
Grate inlets are not allowed.



Scale: 1" = 40' Feet



VICINITY MAP
N.T.S.



Drainage Area	Tc (min)	A (acres)	C	100 YRS RAINFALL		Remarks
				I-100 (in/hr)	Q Peak (cfs)	
				DA-1	10	
DA-2	10	3.43	0.90	9.8	30.25	SHEET FLOW TO FUTURE DETENTION POND AT NEC
DA-3	10	5.17	0.90	9.8	45.60	SHEET FLOW TO FUTURE DETENTION POND AT SWC

NOTE
PROPOSED DEVELOPMENTS SHALL PROVIDE DETENTION POND TO RELEASE STORM DRAINAGE AT PRE DEVELOPED RATE.

All Drainage Calculations will be reviewed during the Civil Engineering plan submittal.

POST-DRAINAGE PLAN
PLANNED DEVELOPMENT
 SOUTH JOHN KING BLVD & S.H. 276
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 W.H. BAIRD SURVEY, ABSTRACT NO.25

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
 W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning	Civil Engineering	Construction Management			
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KK	BD	09-03-24	SCALE BAR	130-22	C-6.0

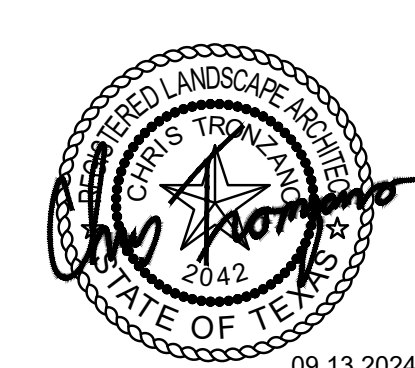
TX. P.E. FIRM #11525

NO.	DATE	DESCRIPTION	BY
1	09-13-24	1st CITY SUBMITTAL	KK
2	.	.	.
3	.	.	.
4	.	.	.
5	.	.	.
6	.	.	.
7	.	.	.
8	.	.	.





LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



09.13.2024

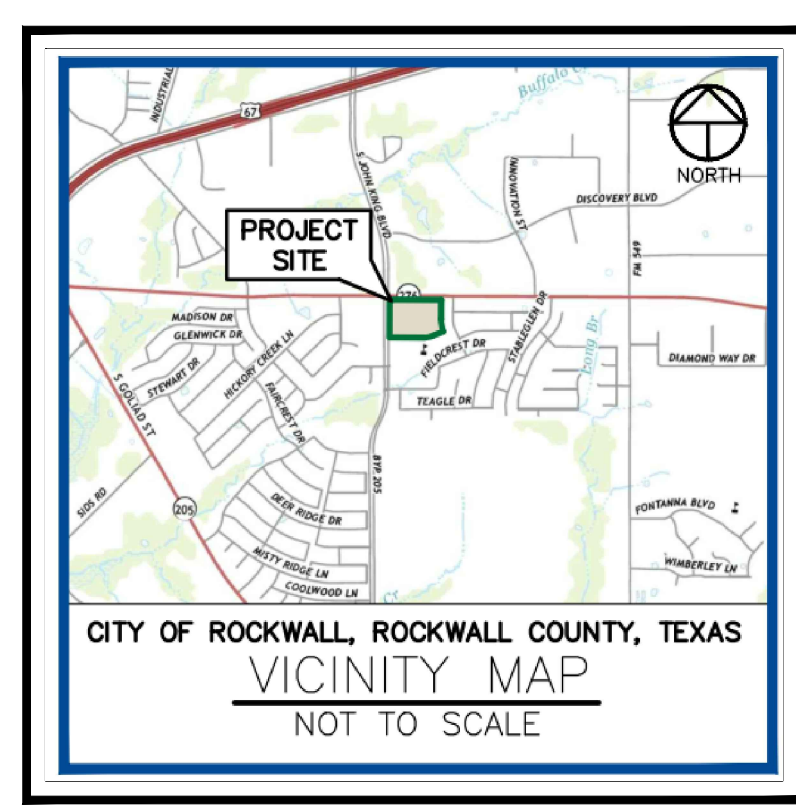
MIXED-USE DEVELOPMENT
STATE HIGHWAY NO. 276 & SOUTH JOHN KING BLVD
ROCKWALL, TEXAS

ISSUE:
FOR APPROVAL 09.13.2024

DATE:
09.13.2024

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:
L.2



- LANDSCAPE NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
 - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
 - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
 - ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

- GENERAL LAWN NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
 - ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
 - ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
 - CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

- PLANT MATERIAL SYMBOLS**
- CEDAR ELM, 4" CAL.
 - LIVE OAK, 4" CAL.
 - LIVE OAK, 4" CAL.
 - YAUPOH HOLLY - 2" CAL.
 - RED BUD TREE, 2" CAL.
 - NELLIE R. STEVENS HOLLY, 7 GAL.
 - DWARF WAX MYRTLE, 3" GAL.
 - DWARF BURFORD HOLLY, 7 GAL.

PLANT MATERIAL SCHEDULE

TREES	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	B&B, 12' ht., 5' spread, 6' clear straight trunk	
LO	Live Oak	<i>Live Oak</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk	
RO	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk	
YH	Yaupon Holly	<i>Ilex vomitoria</i>	2" cal.	container, 6' ht., 3' spread, tree form	
RB	Red Bud	<i>Cercis canadensis</i>	2" cal.	container, 6' ht., 3' spread, tree form	
SHRUBS	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DBH	Dwarf Burford Holly	<i>Ilex cornuta nana</i>	7 gal.	container, 36" ht., 24" spread	
DWM	Dwarf Wax Myrtle	<i>Myrica caroliniana</i>	3 gal.	container, 24" ht., 20" spread	
NRS	Nellie R. Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 24" spread	
GROUNDCOVERS	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon</i> '419'		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE TABULATIONS- LOT 7

SITE REQUIREMENTS (Total Site Area 45,560 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
6,834 s.f. (15%)	18,116 s.f. (32%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,417 s.f. (50%)	7,944 s.f. (116%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4' ht. per 50 l.f. of frontage

SOUTH JOHN KING BLVD (70 l.f.)

Required	Provided
2,373 s.f. (50%)	3,650 s.f. (77%)

PARKING LOT REQUIREMENTS (116 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
6 canopy trees	(21) canopy trees

RESIDENTIAL ADJACENCY (265 L.F.)
Requirements: 20' landscape buffer, wrought iron fence (6' ht.), (1) canopy tree per 20 l.f., (1) row large shrubs and (1) row small shrubs

Required	Provided
20' Landscape Buffer	20' Landscape Buffer
13 Canopy Trees	13 Canopy Trees
Large & small shrub rows	Large & small shrub rows

LANDSCAPE TABULATIONS- LOT 8

SITE REQUIREMENTS (Total Site Area 45,562 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
6,835 s.f. (15%)	12,519 s.f. (32%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,418 s.f. (50%)	6,021 s.f. (88%)

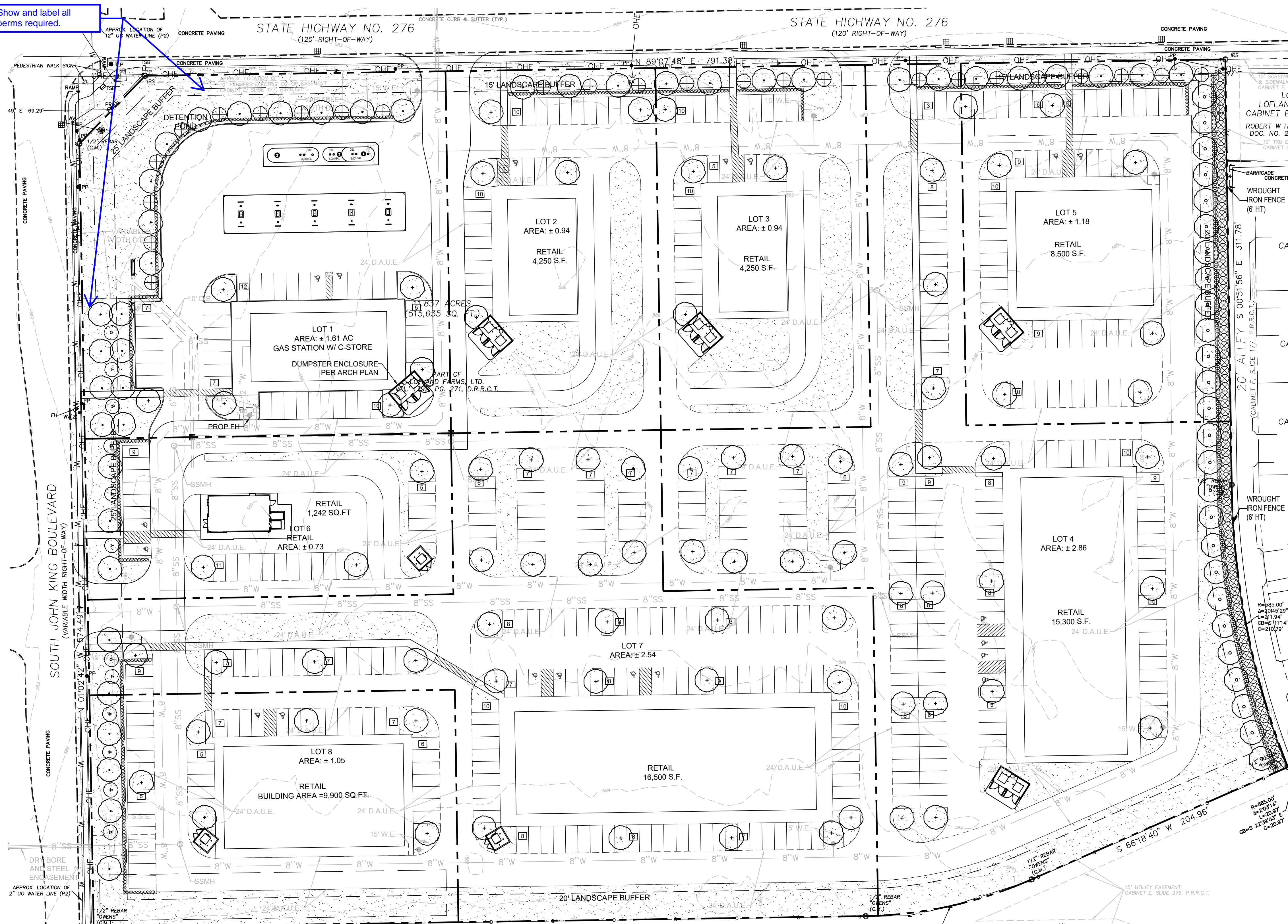
STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4' ht. per 50 l.f. of frontage

SOUTH JOHN KING BLVD (170 l.f.)

Required	Provided
(4) canopy trees	(4) canopy trees
(4) accent trees	(4) accent trees

PARKING LOT REQUIREMENTS (40 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(2) canopy trees	(2) canopy trees



LANDSCAPE TABULATIONS- LOT 1

SITE REQUIREMENTS (Total Site Area 70,084 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
10,513 s.f. (15%)	22,164 s.f. (32%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
5,257 s.f. (50%)	21,635 s.f. (206%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4' ht. per 50 l.f. of frontage

STATE HIGHWAY NO. 276 (255 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(5) accent trees	(5) accent trees

SOUTH JOHN KING BLVD (251 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(5) accent trees	(5) accent trees

PARKING LOT REQUIREMENTS (41 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(2) canopy trees	(2) canopy trees

LANDSCAPE TABULATIONS- LOT 2

SITE REQUIREMENTS (Total Site Area 40,788 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
6,119 s.f. (15%)	9,169 s.f. (23%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,060 s.f. (50%)	3,962 s.f. (65%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4' ht. per 50 l.f. of frontage

STATE HIGHWAY NO. 276 (154 l.f.)

Required	Provided
(3) canopy trees	(3) canopy trees
(3) accent trees	(3) accent trees

PARKING LOT REQUIREMENTS (25 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(2) canopy trees	(2) canopy trees

LANDSCAPE TABULATIONS- LOT 3

SITE REQUIREMENTS (Total Site Area 40,788 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
6,119 s.f. (15%)	9,083 s.f. (22%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,060 s.f. (50%)	3,887 s.f. (64%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4' ht. per 50 l.f. of frontage

STATE HIGHWAY NO. 276 (154 l.f.)

Required	Provided
(3) canopy trees	(4) canopy trees
(3) accent trees	(4) accent trees

PARKING LOT REQUIREMENTS (25 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(2) canopy trees	(2) canopy trees

LANDSCAPE TABULATIONS- LOT 4

SITE REQUIREMENTS (Total Site Area 125,889 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
18,884 s.f. (15%)	32,986 s.f. (27%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
9,442 s.f. (50%)	11,259 s.f. (60%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4' ht. per 50 l.f. of frontage

STATE HIGHWAY NO. 276 (194 l.f.)

Required	Provided
(4) canopy trees	(4) canopy trees
(2) accent trees	(2) accent trees

PARKING LOT REQUIREMENTS (140 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(7) canopy trees	(25) canopy trees

RESIDENTIAL ADJACENCY (259 L.F.)
Requirements: 20' landscape buffer, wrought iron fence (6' ht.), (1) canopy tree per 20 l.f., (1) row large shrubs and (1) row small shrubs

Required	Provided
20' Landscape Buffer	20' Landscape Buffer
13 Canopy Trees	13 Canopy Trees
Large & small shrub rows	Large & small shrub rows

LANDSCAPE TABULATIONS- LOT 5

SITE REQUIREMENTS (Total Site Area 51,413 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
7,712 s.f. (15%)	11,536 s.f. (22%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,856 s.f. (50%)	5,805 s.f. (75%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4' ht. per 50 l.f. of frontage

STATE HIGHWAY NO. 276 (70 l.f.)

Required	Provided
(4) canopy trees	(4) canopy trees
(4) accent trees	(4) accent trees

PARKING LOT REQUIREMENTS (54 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(3) canopy trees	(3) canopy trees

RESIDENTIAL ADJACENCY (265 L.F.)
Requirements: 20' landscape buffer, wrought iron fence (6' ht.), (1) canopy tree per 20 l.f., (1) row large shrubs and (1) row small shrubs

Required	Provided
20' Landscape Buffer	20' Landscape Buffer
13 Canopy Trees	13 Canopy Trees
Large & small shrub rows	Large & small shrub rows

LANDSCAPE TABULATIONS- LOT 6

SITE REQUIREMENTS (Total Site Area 31,633 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
4,745 s.f. (15%)	5,745 s.f. (19%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
2,373 s.f. (50%)	3,650 s.f. (77%)

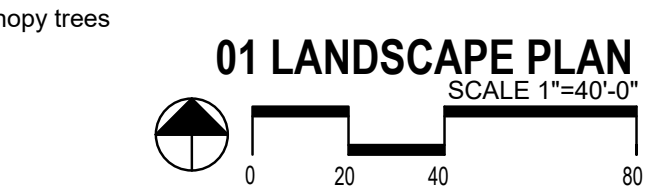
STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4' ht. per 50 l.f. of frontage

SOUTH JOHN KING BLVD (118 l.f.)

Required	Provided
(3) canopy trees	(3) canopy trees
(3) accent trees	(3) accent trees

PARKING LOT REQUIREMENTS (25 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(2) canopy trees	(2) canopy trees



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, THIS _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

W.H. BAIRD SURVEY, ABSTRACT NO 25

LOT

BLOCK

GENERAL LOCATION

NWC OF SOUTH JOHN KING BLVD & SH 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

PD-45

CURRENT USE

VACANT

PROPOSED ZONING

N/A

PROPOSED USE

GAS STATION & RETAIL

ACREAGE

11.837

LOTS [CURRENT]

LOTS [PROPOSED]

8

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Ibrahim Ballout

APPLICANT

TRIANGLE ENGINEERING

CONTACT PERSON

Ibrahim Ballout

CONTACT PERSON

KIEW KAM

ADDRESS

1910 Oak Point Dr

ADDRESS

1782 W MCDERMOTT DR

CITY, STATE & ZIP

Allen, Tx, 75013

CITY, STATE & ZIP

ALLEN, TX 75013

PHONE

214 677 6777

PHONE

469-213-2268

E-MAIL

ibrahimbalout@hotmail.com

E-MAIL

KKAM@TRIANGLE-ENGR.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ibrahim Ballout [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 330.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 9th DAY OF September, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

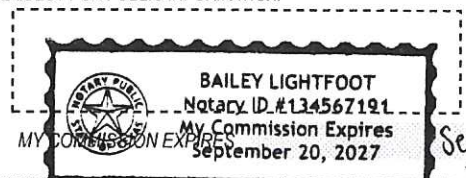
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF Sept., 2024.

OWNER'S SIGNATURE

Ibrahim Ballout

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Bailey Lightfoot



Sept. 20, 2021

0 100 200 400 600 800 Feet

P2024-031: Preliminary Plat for a Shopping Center
(John King Retail Addition)

276

LI

ST JOHN KING BLVD

PD-10

ABBEY CT

CHESTERWOOD DR

CHELSEA CT

PD-45

FELDCREST DR

TEAGLE DR

PD-95

DAYBREAK DR

TRAIL GLEN DR

WAGONWHEEL DR

PAINT CREEK CT

DANBURY DR

Case Location Map = 

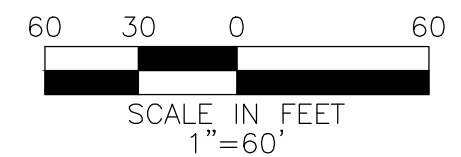


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





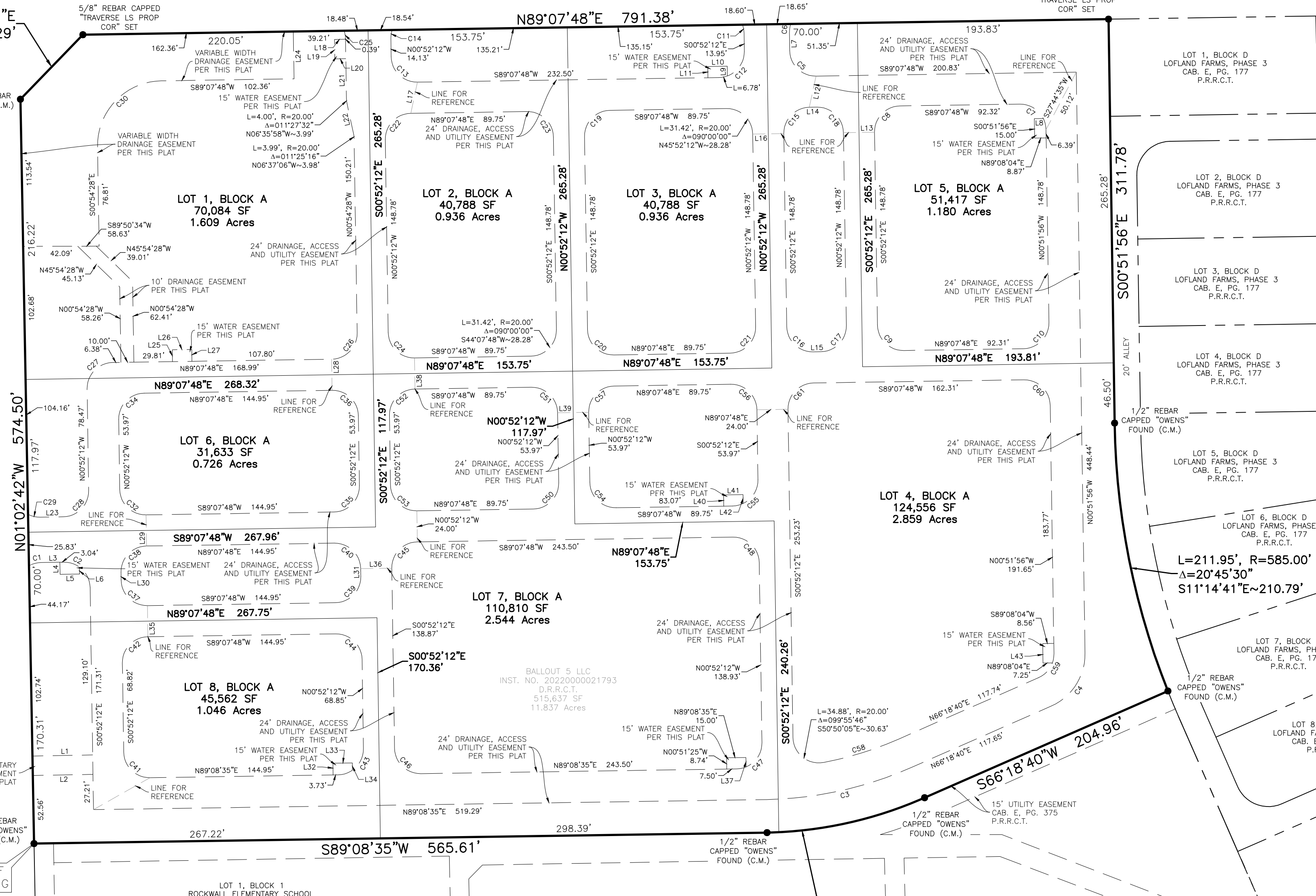
STATE HIGHWAY 276
(120' RIGHT-OF-WAY)

5/8" REBAR CAPPED
"TRAVERSE LS PROP
COR" SET

N44°02'49"E
69.29'

1/2" REBAR
FOUND (C.M.)

SOUTH JOHN KING BOULEVARD
(VARIABLE WIDTH RIGHT-OF-WAY)



GENERAL NOTES

1. The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone is derived from GPS Observations using the Allterra RTK Network and adjusted to surface using a scale factor of 1.000146135.
2. Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
3. The purpose of this plat is to create eight recorded lots out of a tract of land.

FLOOD NOTES

No portion of the subject property shown hereon lies within the 100 year flood hazard area according to the Flood Insurance Rate Map, Community Panel No. 48397C0045L, dated September 26, 2008. The subject property is located in the area designated as Zone "X", (areas determined to be outside the 0.2% annual chance floodplain).

20' ALLEY
S00°51'56"E 311.78'

1/2" REBAR CAPPED "OWENS" FOUND (C.M.)

1/2" REBAR CAPPED "OWENS" FOUND (C.M.)

1/2" REBAR CAPPED "OWENS" FOUND (C.M.)

1/2" REBAR CAPPED "OWENS" FOUND (C.M.)

1/2" REBAR CAPPED "OWENS" FOUND (C.M.)

1/2" REBAR CAPPED "OWENS" FOUND (C.M.)

1/2" REBAR CAPPED "OWENS" FOUND (C.M.)

1/2" REBAR CAPPED "OWENS" FOUND (C.M.)

1/2" REBAR CAPPED "OWENS" FOUND (C.M.)

**PRELIMINARY PLAT
JOHN KING
RETAIL ADDITION**
BEING 11.837 ACRES
OUT OF THE W.H. BAIRD SURVEY,
ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SEPTEMBER 2024

L=125.34', R=315.00'
Δ=22°47'51"
S77°30'36"W~124.51'

L=211.95', R=585.00'
Δ=20°45'30"
S11°14'41"E~210.79'

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS Ballout 5, LLC are the owners of a 11.837 acre tract of land situated in the W.H. Baird Survey, Abstract Number 25, being all of a tract of land described to Ballout 5, LLC by deed recorded in Instrument Number 20220000021793, Deed Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch rebar capped "OWENS" found for the northwest corner of Lot 1, Block 1 of Rockwall Elementary School #8 in Lofland Farms, an addition to the City of Rockwall, as recorded in Cabinet E, Page 375, Plat Records, Rockwall County, Texas, same being a point on the east right-of-way line of South John King Boulevard (Variable Width right-of-way);

THENCE North 01 degrees 02 minutes 42 seconds West, with the east right-of-way line of said South John King Boulevard, a distance of 574.50 feet to a 1/2 inch rebar found for a corner clip at the intersection of the east right-of-way line of said South John King Boulevard and the south right-of-way line of State Highway 276 (120 foot right-of-way);

THENCE North 44 degrees 02 minutes 49 seconds East, with said corner clip, a distance of 69.29 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for corner;

THENCE North 89 degrees 07 minutes 48 seconds East, with the south right-of-way line of said State Highway 276, a distance of 791.38 feet to a 5/8 inch rebar capped "TRAVERSE LS PROP COR" set for the northwest corner of Lot 1, Block D of Lofland Farms, Phase 3, an addition to the City of Rockwall, as recorded in Cabinet E, Page 177, Plat Records, Rockwall County, Texas;

THENCE South 00 degrees 51 minutes 56 seconds East, departing the south right-of-way line of said State Highway 276, with the west line of said Lot 1, continuing with a 20 foot alley, a total distance of 311.78 feet to a 1/2 inch rebar capped "OWENS" found for corner and being the beginning of a curve to the left with a radius of 585.00 feet, a central angle of 20 degrees 45 minutes 30 seconds and a chord bearing and distance of South 11 degrees 14 minutes 41 seconds East, a distance of 210.79 feet;

THENCE with said curve to the left, with the west line of said 20 foot alley, an arc length of 211.95 feet to a 1/2 inch rebar capped "OWENS" found for the northeast corner of said first referenced Lot 1;

THENCE South 66 degrees 18 minutes 40 seconds West, departing the southwest right-of-way line of said 20 foot alley, a distance of 204.96 feet to a 1/2 inch rebar capped "OWENS" found for corner and being the beginning of a curve to the right with a radius of 315.00 feet, a central angle of 22 degrees 47 minutes 51 seconds and a chord bearing and distance of South 77 degrees 30 minutes 36 seconds West, a distance of 124.51 feet;

THENCE with said curve to the right, with a north line of said first referenced Lot 1, an arc length of 125.34 feet to a 1/2 inch rebar capped "OWENS" found for corner;

THENCE South 89 degrees 08 minutes 35 seconds West, with the north line of said first referenced Lot 1, a distance of 565.61 feet to THE POINT OF BEGINNING and containing 515,637 square feet or 11.837 acre tract of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

THAT we Ballout 5, LLC do hereby adopt this plat designating the hereinabove described property as John King Retail Addition, an addition to the City of Rockwall, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the constructions, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling without the necessity at any time of procuring the permission of anyone. This plat approved subject to the platting ordinances, rules, regulations and resolutions of the City of Rockwall, Texas.

We further understand the following:

- No building shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other growths or improvements which in any way endanger or interfere with construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets or improvements.
- The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer/property owner shall be responsible for the necessary facilities and maintenance to provided drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house, dwelling, unit or other structure shall be constructed on any lot in the addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with required base and paving, curb and gutter, water and sewer, drainage structures, storm structures and storm sewers all according to the specifications of the City of Rockwall.

Witness, my hand at _____, This ____ day of _____, 20____.

Signature – Ballout 5, LLC Representative

Printed Name

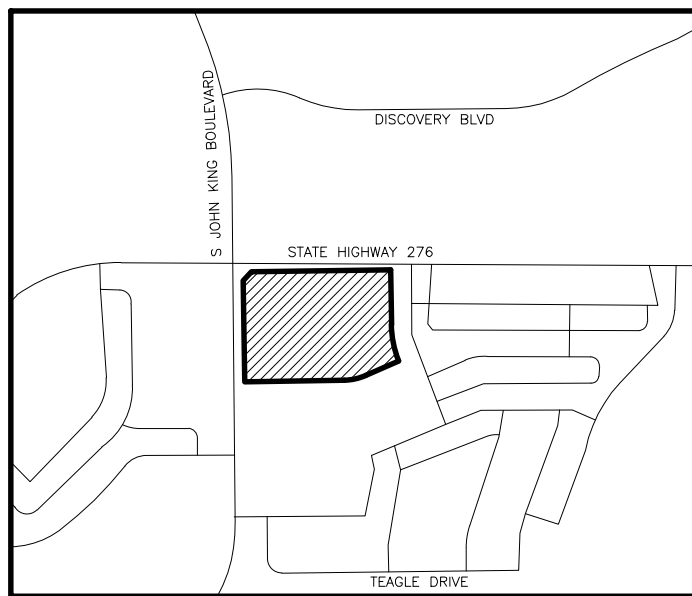
Title / Date

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____day of _____, 20____.

Notary Public in and for the State of Texas



NOT TO SCALE

Line Data Table		
Line #	Distance	Bearing
L1	46.48'	N88°57'15"E
L2	46.44'	S88°57'15"W
L3	17.56'	N89°07'48"E
L4	9.32'	N00°52'12"W
L5	15.00'	S89°07'48"W
L6	5.35'	S00°52'12"E
L7	13.82'	N00°52'12"W
L8	6.92'	S89°08'04"W
L9	7.52'	N00°52'12"W
L10	15.00'	S89°07'48"W
L11	8.66'	S00°52'12"E
L12	24.62'	S12°02'15"W
L13	24.00'	N89°07'48"E
L14	6.00'	S89°07'48"W
L15	6.00'	N89°07'48"E
L16	24.00'	S89°07'48"W
L17	24.62'	S12°02'15"W
L18	8.49'	S89°05'32"W
L19	15.00'	S00°54'28"E
L20	8.48'	N89°05'32"E

Line Data Table		
Line #	Distance	Bearing
L21	46.02'	N00°52'12"W
L22	23.38'	N12°19'44"W
L23	17.72'	N89°07'48"E
L24	36.50'	S00°52'12"E
L25	9.14'	S00°52'12"E
L26	15.00'	S89°07'48"W
L27	9.14'	N00°52'12"W
L28	24.00'	S00°46'13"E
L29	24.00'	S00°52'12"E
L30	6.00'	N00°52'12"W
L31	6.00'	S00°52'12"E
L32	9.06'	S00°51'25"E
L33	15.00'	S89°08'35"W
L34	5.58'	N00°51'25"W
L35	24.00'	S00°52'12"E
L36	24.00'	N89°07'48"E
L37	7.28'	S00°51'25"E
L38	24.00'	S00°52'12"E
L39	24.00'	N89°07'48"E
L40	8.64'	S00°52'12"E

Line Data Table		
Line #	Distance	Bearing
L41	15.00'	S89°07'48"W
L42	6.83'	N00°52'12"W
L43	15.00'	S00°51'56"E

Curve Data Table					
Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C1	9.76'	20.00'	027°56'47"	N75°09'24"E	9.66'
C2	31.42'	20.00'	090°00'00"	S45°52'12"E	28.28'
C3	115.17'	289.50'	022°47'39"	N77°29'59"E	114.41'
C4	51.59'	44.00'	067°10'37"	N32°43'22"E	48.68'
C5	31.42'	20.00'	090°00'00"	N45°52'12"W	28.28'
C6	6.81'	20.00'	019°30'09"	N08°52'52"E	6.77'
C7	31.42'	20.00'	090°00'16"	N45°52'04"W	28.29'
C8	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'
C9	31.42'	20.00'	090°00'00"	S45°52'12"E	28.28'
C10	31.41'	20.00'	089°59'44"	N44°07'56"E	28.28'
C11	6.68'	20.00'	019°07'34"	S10°25'59"E	6.65'
C12	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'
C13	31.42'	20.00'	090°00'00"	N45°52'12"W	28.28'
C14	6.48'	20.00'	018°33'10"	N08°24'23"E	6.45'
C15	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'
C16	31.42'	20.00'	090°00'00"	S45°52'12"E	28.28'
C17	31.42'	20.00'	090°00'00"	N44°07'48"E	28.28'
C18	31.42'	20.00'	090°00'00"	N45°52'12"W	28.28'
C19	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'
C20	31.42'	20.00'	090°00'00"	S45°52'12"E	28.28'
C21	31.42'	20.00'	090°00'00"	N44°07'48"E	28.28'
C22	31.42'	20.00'	090°00'00"	N44°07'48"E	28.28'
C23	31.42'	20.00'	090°00'00"	S45°52'12"E	28.28'
C24	31.42'	20.00'	090°00'00"	N45°52'12"W	28.28'
C25	6.30'	20.00'	018°02'32"	N09°53'28"W	6.27'

Curve Data Table					
Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C26	31.43'	20.00'	090°02'16"	N44°06'40"E	28.29'
C27	31.42'	20.00'	090°00'00"	N44°07'48"E	28.28'
C28	31.42'	20.00'	090°00'00"	N44°07'48"E	28.28'
C29	9.71'	20.00'	027°49'02"	S76°57'41"E	9.61'
C30	78.57'	50.00'	090°02'16"	S44°06'40"W	70.73'
C32	31.42'	20.00'	090°00'00"	N45°52'12"W	28.28'
C34	31.42'	20.00'	090°00'00"	N44°07'48"E	28.28'
C35	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'
C36	31.42'	20.00'	090°00'00"	S45°52'12"E	28.28'
C37	31.42'	20.00'	090°00'00"	N45°52'12"W	28.28'
C38	31.42'	20.00'	090°00'00"	N44°07'48"E	28.28'
C39	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'
C40	31.42'	20.00'	090°00'00"	S45°52'12"E	28.28'
C41	31.41'	20.00'	089°59'13"	S45°51'48"E	28.28'
C42	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'
C43	31.42'	20.00'	090°00'47"	N44°08'12"E	28.29'
C44	31.42'	20.00'	090°00'00"	N45°52'12"W	28.28'
C45	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'
C46	31.41'	20.00'	089°59'13"	S45°51'48"E	28.28'
C47	31.42'	20.00'	090°00'47"	N44°08'12"E	28.29'
C48	31.42'	20.00'	090°00'00"	N45°52'12"W	28.28'
C50	31.42'	20.00'	090°00'00"	N44°07'48"E	28.28'
C51	31.42'	20.00'	090°00'00"	N45°52'12"W	28.28'
C52	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'
C53	31.42'	20.00'	090°00'00"	S45°52'12"E	28.28'

Curve Data Table					
Curve #	Arc	Radius	Delta	Chord Bearing	Chord
C54	31.42'	20.00'	090°00'00"	N45°52'12"W	28.28'
C55	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'
C56	31.42'	20.00'	090°00'00"	S45°52'12"E	28.28'
C57	31.42'	20.00'	090°00'00"	N44°07'48"E	28.28'
C58	60.69'	265.50'	013°05'52"	N72°39'09"E	60.56'
C59	23.45'	20.00'	067°10'36"	N32°43'22"E	22.13'
C60	31.42'	20.00'	090°00'16"	N45°52'04"W	28.29'
C61	31.42'	20.00'	090°00'00"	S44°07'48"W	28.28'

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, David F. McCullah, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision.

David F. McCullah
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 4023

DATE: _____

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a notary public in and for the State of Texas, on this day personally appeared David F. McCullah, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 20____.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL:

Approved: _____

I hereby certify that the above and foregoing subdivision plat, being an addition to the City of Rockwall, Texas, was approved by City Council on the City of Rockwall, Texas, on the _____ day of _____, 20____.

Mayor, City of Rockwall

Director of Planning and Zoning

Planning and Zoning Commission Charirman

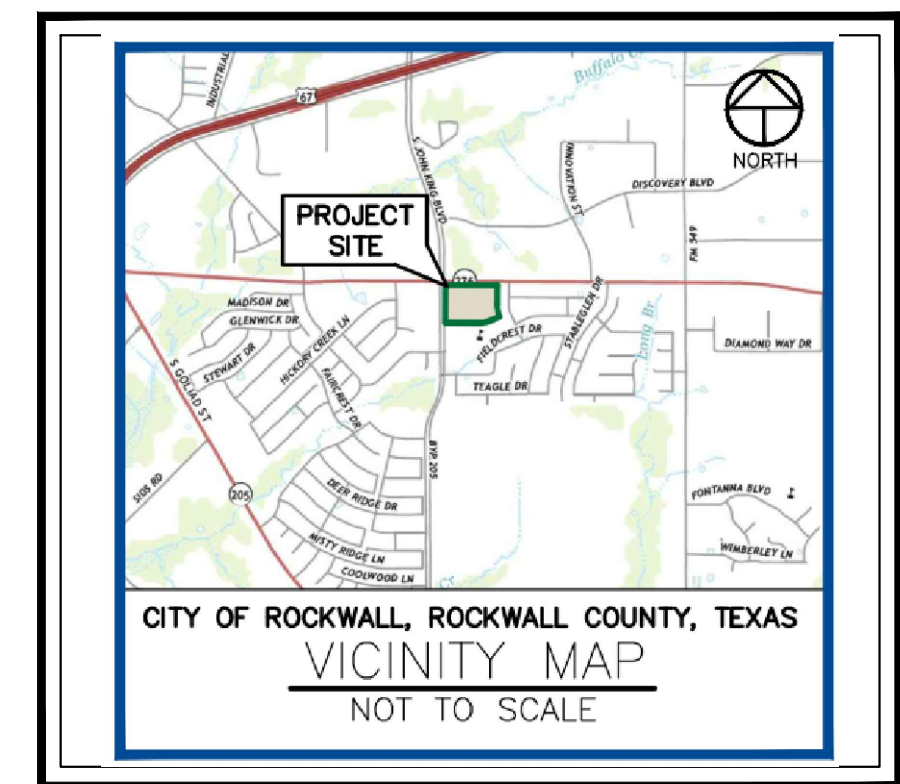
City Engineer

City Secretary

PRELIMINARY PLAT
JOHN KING
RETAIL ADDITION
BEING 11.837 ACRES
OUT OF THE W.H. BAIRD SURVEY,
ABSTRACT NO. 25
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SEPTEMBER 2024



Scale: 1" = 40' Feet



VICINITY MAP N.T.S.

UTILITY LEGEND

UNDERGROUND TELEPHONE LINE	— UGT — UGT
UNDERGROUND ELECTRIC LINE	— USE — USE
GAS LINE	— G — G
SANITARY SEWER LINE	— S — S
WATER MAIN	— W — W
DOMESTIC WATER LINE	— D — D
STORM LINE	— STM — STM
STORM SEWER MANHOLE	⊙
STORM SEWER CLEANOUT	⊙
SANITARY SEWER MANHOLE	⊙
SANITARY SEWER CLEANOUT	⊙
SANITARY SEWER DOUBLE CLEANOUT	⊙
SANITARY SEWER SAMPLE PORT	⊙
GREASE TRAP	⊙
DOMESTIC WATER METER	⊙
IRRIGATION METER	⊙
GAS METER	⊙
FIRE HYDRANT	⊙
FIRE DEPARTMENT CONNECTION-FDC	⊙
TRANSFORMER	⊙
LIGHT POLE	⊙
POWER POLE	⊙

EASEMENT/SETBACK LEGEND

BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
DRAINAGE, ACCESS AND UTILITY EASEMENT	D.A.U.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
DRAINAGE EASEMENT	D.E.

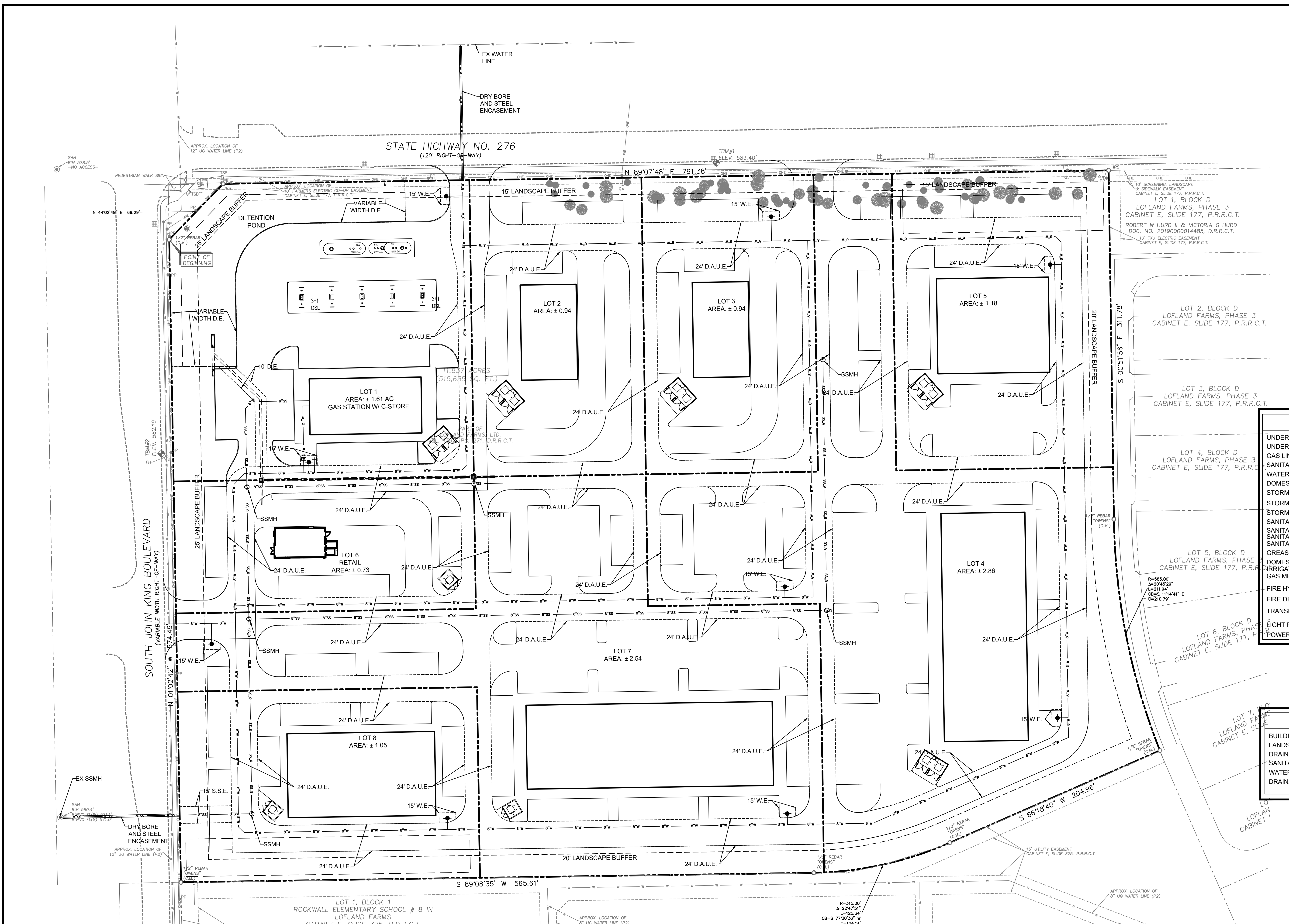
PRELIMINARY UTILITY PLAN
PLANNED DEVELOPMENT
 SOUTH JOHN KING BLVD & S.H. 276
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 W.H. BAIRD SURVEY, ABSTRACT NO.25

TRIANGLE ENGINEERING LLC
 T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
 W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning	Civil Engineering	Construction Management			
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KK	BD	09-03-24	SCALE BAR	130-22	C-3.0

TX. P.E. FIRM #11525

NO.	DATE	DESCRIPTION	BY
1	09-13-24	1st CITY SUBMITTAL	KK



SOUTH JOHN KING BOULEVARD
(VARIABLE WIDTH RIGHT-OF-WAY)

STATE HIGHWAY NO. 276
(120' RIGHT-OF-WAY)

LOT 1, BLOCK 1
ROCKWALL ELEMENTARY SCHOOL # 8 IN
LOFLAND FARMS
CABINET E. SLIDE 375, P.R.R.C.T.

LOT 1, BLOCK D
LOFLAND FARMS, PHASE 3
CABINET E, SLIDE 177, P.R.R.C.T.
ROBERT W HURD II & VICTORIA G HURD
DOC. NO. 2019000014485, D.R.R.C.T.
10' T&U ELECTRIC EASEMENT
CABINET E, SLIDE 177, P.R.R.C.T.

LOT 2, BLOCK D
LOFLAND FARMS, PHASE 3
CABINET E, SLIDE 177, P.R.R.C.T.

LOT 3, BLOCK D
LOFLAND FARMS, PHASE 3
CABINET E, SLIDE 177, P.R.R.C.T.

LOT 4, BLOCK D
LOFLAND FARMS, PHASE 3
CABINET E, SLIDE 177, P.R.R.C.T.

LOT 5, BLOCK D
LOFLAND FARMS, PHASE 3
CABINET E, SLIDE 177, P.R.R.C.T.

LOT 6, BLOCK D
LOFLAND FARMS, PHASE 3
CABINET E, SLIDE 177, P.R.R.C.T.

LOT 7, BLOCK D
LOFLAND FARMS, PHASE 3
CABINET E, SLIDE 177, P.R.R.C.T.

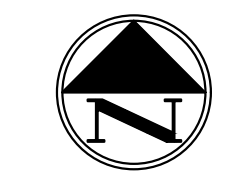
LOT 8, BLOCK D
LOFLAND FARMS, PHASE 3
CABINET E, SLIDE 177, P.R.R.C.T.

APPROX. LOCATION OF
12" UG WATER LINE (P2)

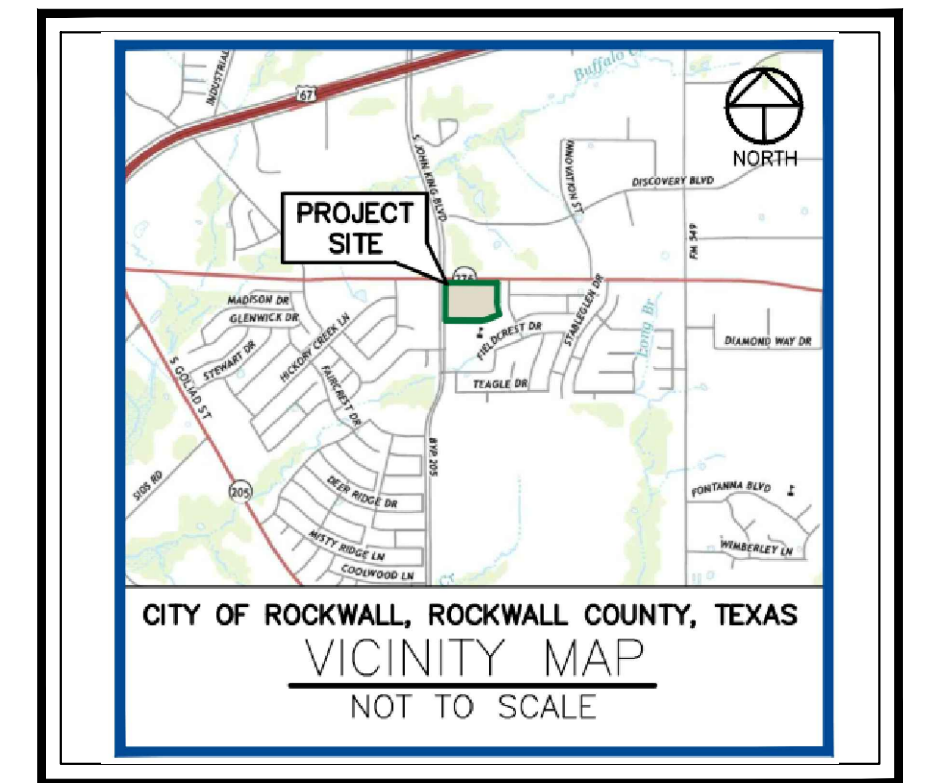
APPROX. LOCATION OF
12" UG WATER LINE (P2)

APPROX. LOCATION OF
8" UG WATER LINE (P2)

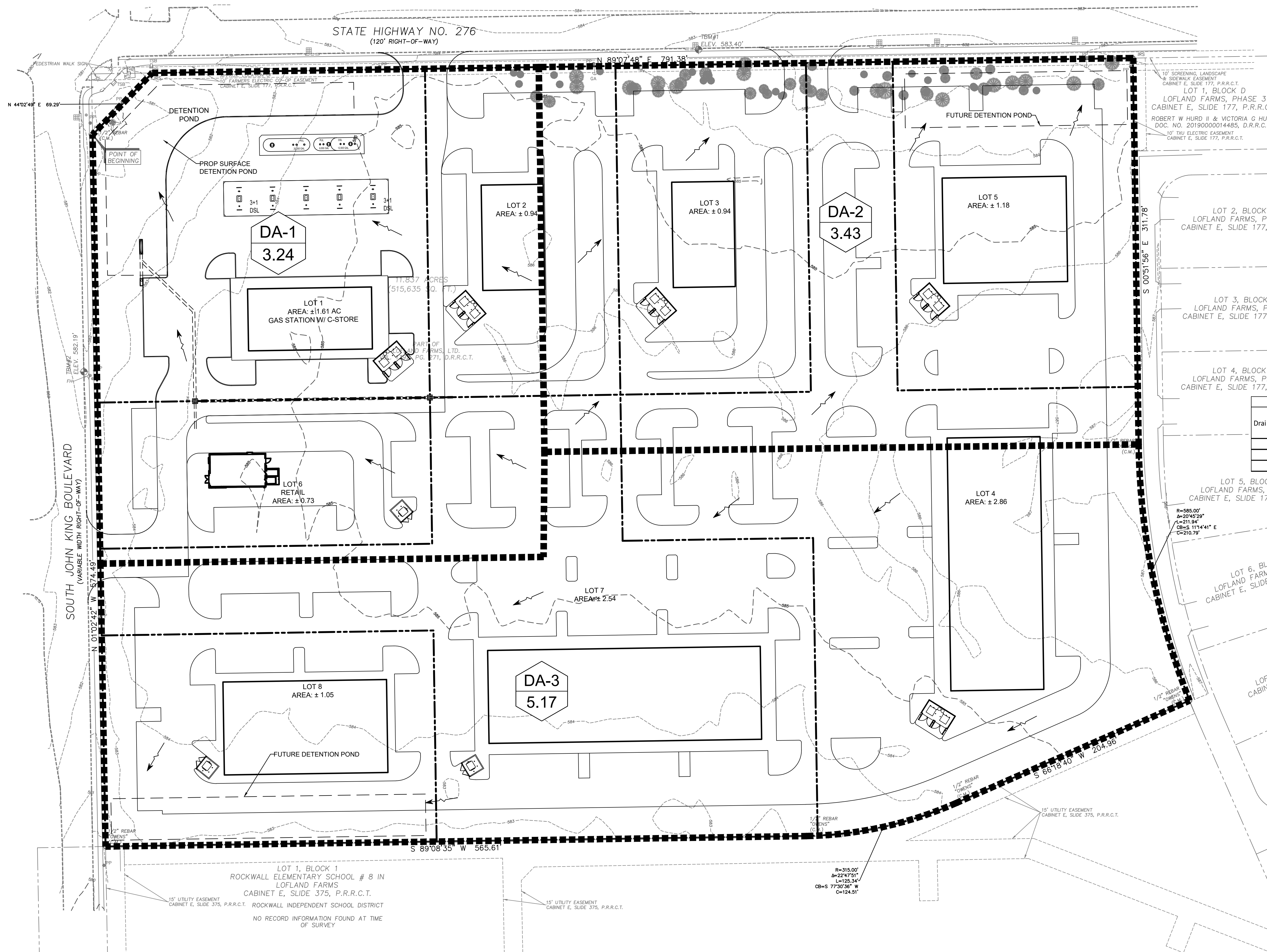
APPROX. LOCATION OF
8" UG WATER LINE (P2)



Scale: 1" = 40' Feet



VICINITY MAP
N.T.S.



Drainage Area	Tc (min)	A (acres)	C	100 YRS RAINFALL		Remarks
				I-100 (in/hr)	Q Peak (cfs)	
				DA-1	10	
DA-2	10	3.43	0.90	9.8	30.25	SHEET FLOW TO FUTURE DETENTION POND AT NEC
DA-3	10	5.17	0.90	9.8	45.60	SHEET FLOW TO FUTURE DETENTION POND AT SWC

NOTE
PROPOSED DEVELOPMENTS SHALL PROVIDE DETENTION POND TO RELEASE STORM DRAINAGE AT PRE DEVELOPED RATE.

POST-DRAINAGE PLAN
PLANNED DEVELOPMENT
 SOUTH JOHN KING BLVD & S.H. 276
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 W.H. BAIRD SURVEY, ABSTRACT NO.25

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
 W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning	Civil Engineering	Construction Management			
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KK	BD	09-03-24	SCALE BAR	130-22	C-6.0

TX. P.E. FIRM #11525

NO.	DATE	DESCRIPTION	BY
1	09-13-24	1st CITY SUBMITTAL	KK
2	.	.	.
3	.	.	.
4	.	.	.
5	.	.	.
6	.	.	.
7	.	.	.
8	.	.	.



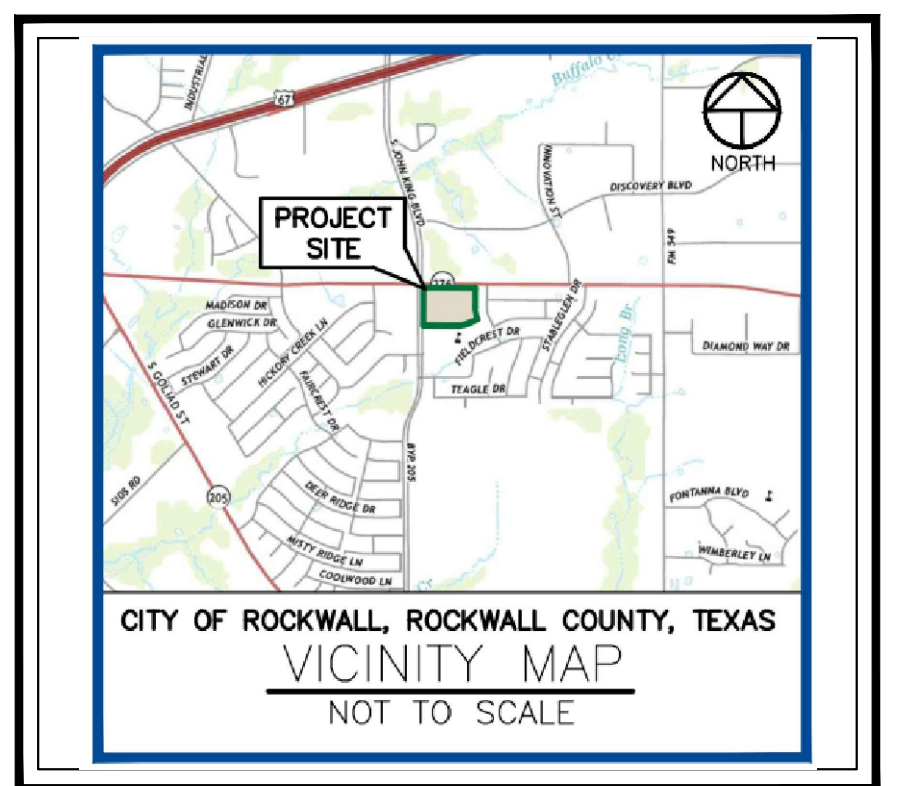
LOT 1, BLOCK 1
ROCKWALL ELEMENTARY SCHOOL # 8 IN
LOFLAND FARMS
CABINET E, SLIDE 375, P.R.R.C.T.
NO RECORD INFORMATION FOUND AT TIME
OF SURVEY

R=315.00'
A=2247.91'
L=125.34'
CB=S 77°20'32" W
C=124.51'

R=565.00'
A=2045.39°
L=211.94'
CB=S 111°44'1" E
C=210.79'



Scale: 1" = 40' Feet



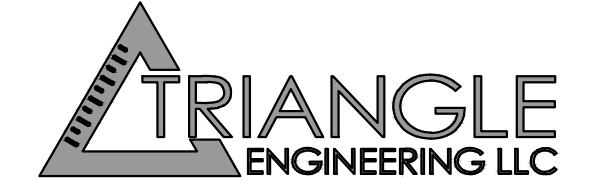
VICINITY MAP
N.T.S.

SITE DATA SUMMARY TABLE

LOT 1	
LOT AREA	±1.61
PROPOSED USE	GAS STATION W/ C-STORE
BUILDING AREA	4,853 SF
PARKING PROVIDED	50
LOT 2	
LOT AREA	±0.94
PROPOSED USE	RETAIL
BUILDING AREA	4,250 SF
PARKING PROVIDED	25
LOT 3	
LOT AREA	±0.94
PROPOSED USE	RETAIL
BUILDING AREA	4,250 SF
PARKING PROVIDED	25
LOT 4	
LOT AREA	±2.86
PROPOSED USE	RETAIL
BUILDING AREA	15,300 SF
PARKING PROVIDED	127
LOT 5	
LOT AREA	±1.18
PROPOSED USE	RETAIL
BUILDING AREA	8,500 SF
PARKING PROVIDED	54
LOT 6	
LOT AREA	±0.73
PROPOSED USE	RETAIL
BUILDING AREA	1,236 SF
PARKING PROVIDED	25
LOT 7	
LOT AREA	±2.54
PROPOSED USE	RETAIL
BUILDING AREA	16,500 SF
PARKING PROVIDED	146
LOT 8	
LOT AREA	±1.05
PROPOSED USE	RETAIL
BUILDING AREA	9,900 SF
PARKING PROVIDED	56

OVERALL CONCEPT SITE PLAN

PLANNED DEVELOPMENT
 SOUTH JOHN KING BLVD & S.H. 276
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 W.H. BAIRD SURVEY, ABSTRACT NO.25

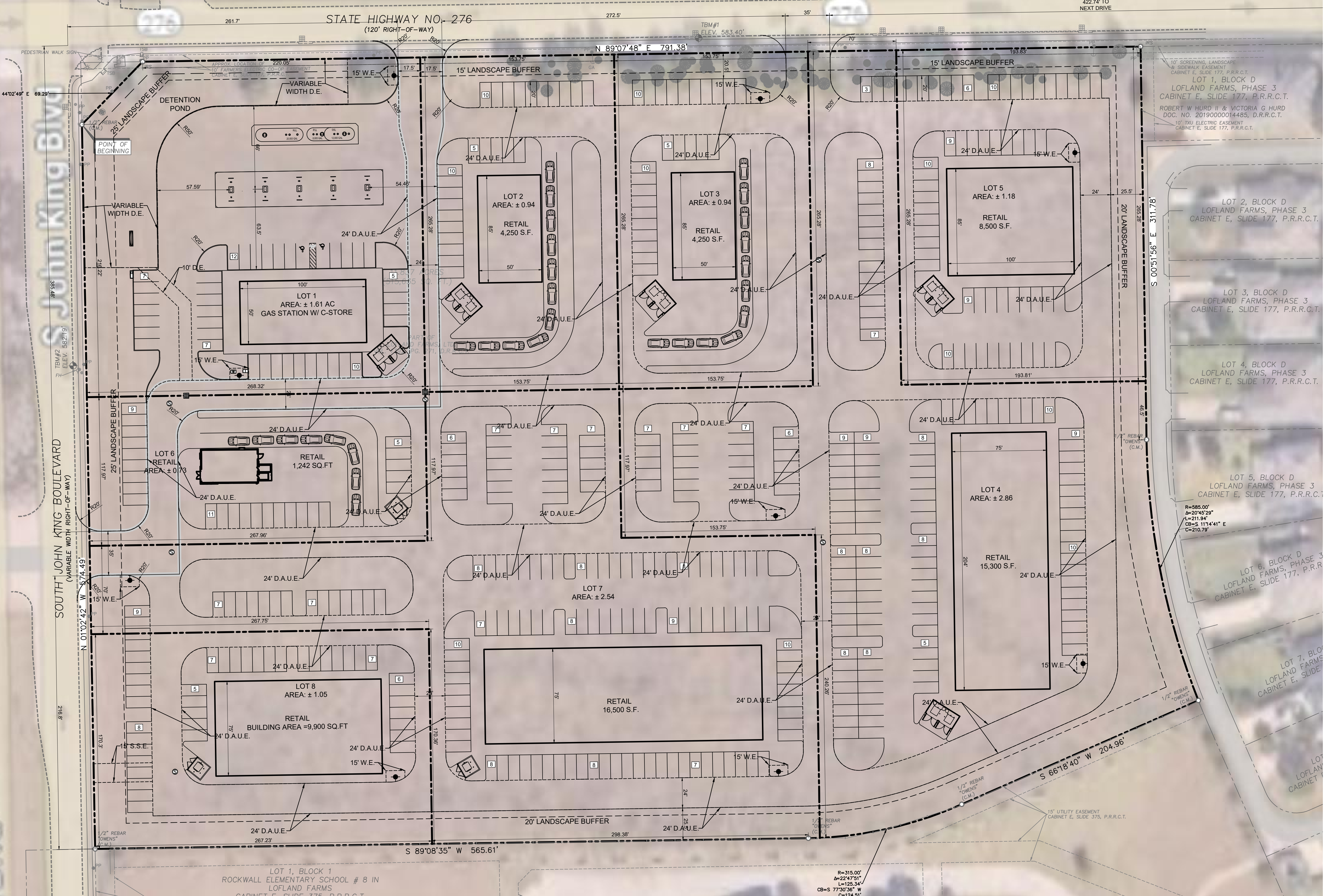


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Planning | Civil Engineering | Construction Management

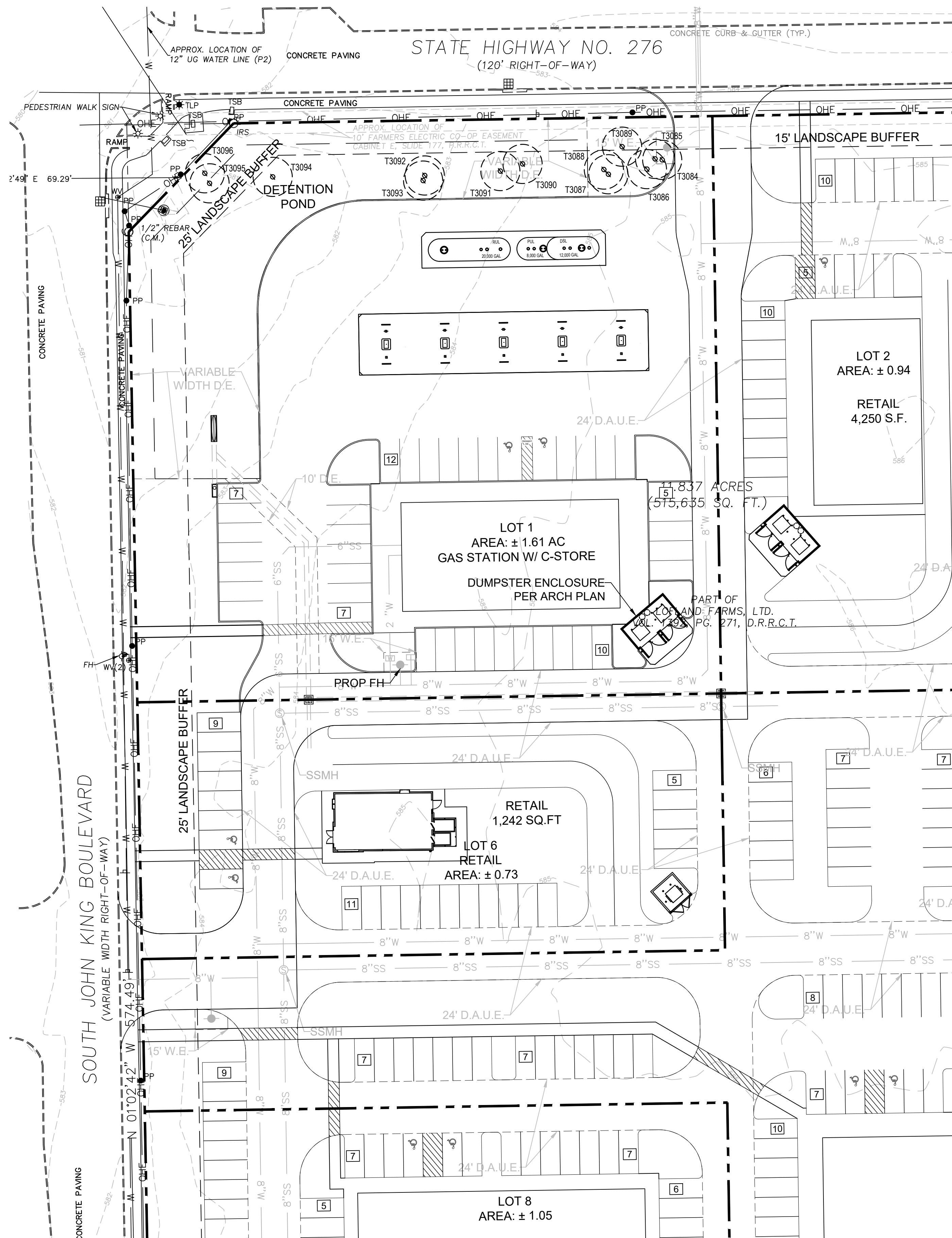
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KK	BD	09-03-24	SCALE BAR	130-22	C-3.0

TX. P.E. FIRM #11525

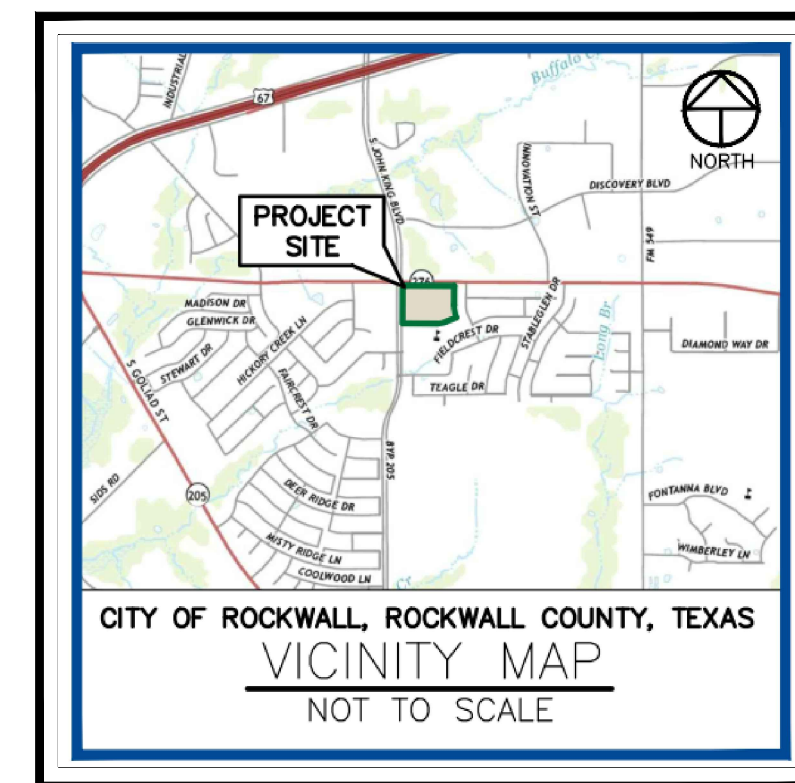
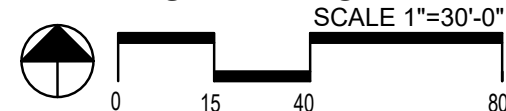


Know what's below.
Call before you dig.

NO.	DATE	DESCRIPTION	BY
1	09-13-24	1st CITY SUBMITTAL	KK
2	.	.	.
3	.	.	.
4	.	.	.
5	.	.	.
6	.	.	.
7	.	.	.
8	.	.	.



01 TREE PRESERVATION PLAN



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM

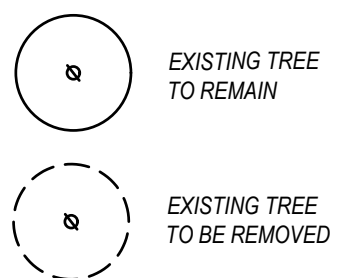


09.13.2024

EXISTING TREE NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIPLINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION/CONSTRUCTION, NOTIFY THE ARCHITECT IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIPLINE OF ANY TREE.
- EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT MAY BE CLEANED, TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIPLINE OF A TREE. THIS WOULD INCLUDE BUT NOT BE LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIPLINE OF TREES.
- BORING OF UTILITIES: MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- TRENCHING: ANY IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- TREE FLAGGING: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT WITH 72 HOUR NOTICE TO SCHEDULE ON-SITE MEETING.
- PROTECTIVE FENCING: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIPLINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL(S).
- BARK PROTECTION: IN SITUATIONS WHERE A TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, THE TREE SHALL BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE. REFER TO TREE PROTECTION DETAIL(S).
- CONSTRUCTION PRUNING: IN A CASE WHERE A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. IN NO INSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.

EXISTING TREE LEGEND



TREE SURVEY FIELD DATA

NO.	SIZE (HEIGHT)	SPECIES (COMMON NAME)	PROTECTED / UNPROTECTED	REMARKS	MITIGATION REQUIRED
T3084	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3085	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3086	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3087	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3088	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3089	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3090	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3091	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3092	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3093	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3094	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3095	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3096	10'	CEDAR	PROTECTED	TO BE REMOVED	4"

MITIGATION BALANCE = 52"
PURCHASED TREE PRESERVATION CREDITS: 8 CREDITS X (\$200 X 50%) = \$800.00
TOTAL MITIGATION BALANCE = 44" (11 PROPOSED TREES 4" CALIPER)

SITE DATA SUMMARY TABLE	
SITE AREA	1.61 AC
ZONING	PD-45
PROPOSED USE	GAS STATION WITH C-STORE
BUILDING AREA	5,000 SF
PARKING PROVIDED	41 SPACES

PROJECT CONTACT LIST

<p>ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566</p>	<p>OWNER/DEVELOPER IBRAHIM BALLOUT 1910 OAK POINT DR ALLEN, TEXAS 75013 PH. 214-67-6777 EMAIL: IBHARIMBALOUT@HOTMAIL.COM</p>	<p>SURVEYOR WINDROSE LAND SURVEYING 1955 LAKEWAY STREET, SUITE 220 LEWISVILLE, TEXAS 75057 PHONE: 214-217-2544</p>
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APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, THIS _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

GAS STATION WITH C-STORE
 STATE HIGHWAY NO. 276 & SOUTH JOHN KING BLVD
 ROCKWALL, TEXAS

ISSUE:
FOR APPROVAL 09.13.2024

DATE:
09.13.2024

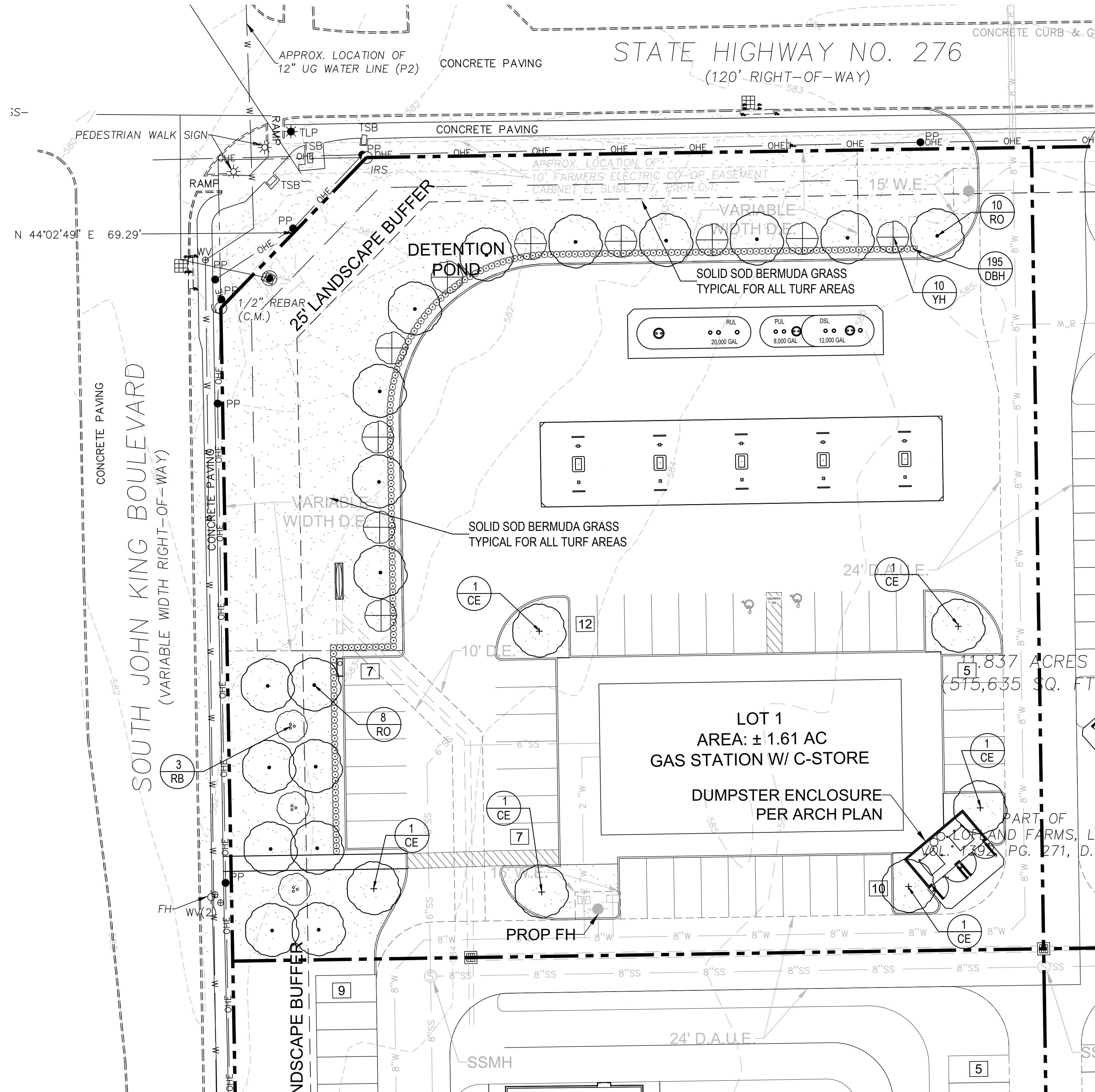
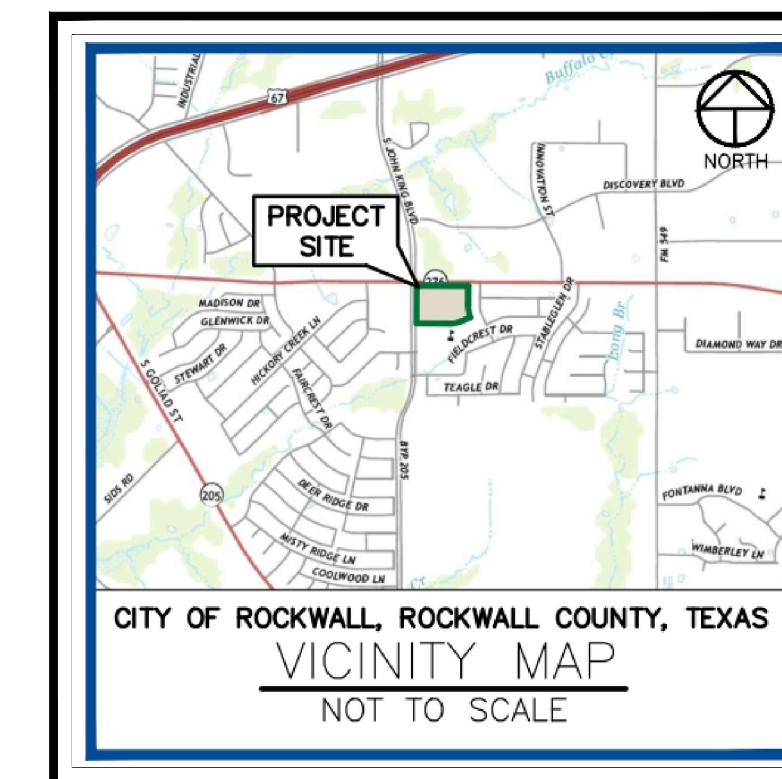
SHEET NAME:
TREE PRESERVATION PLAN

SHEET NUMBER:

L.1



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
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LANDSCAPE TABULATIONS:

SITE REQUIREMENTS (Total Site Area 70,084 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
10,513 s.f. (15%)	22,181 s.f. (33%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
5,257 s.f. (50%)	20,181 s.f. (192%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 50 l.f. of frontage

STATE HIGHWAY NO. 276 (255 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(5) accent trees	(5) accent trees

SOUTH JOHN KING BLVD (251 l.f.)

Required	Provided
(5) canopy trees	(5) canopy trees
(5) accent trees	(5) accent trees

PARKING LOT REQUIREMENTS (41 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(2) canopy trees	(2) canopy trees

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE TCEQ AND THE CITY OF ROCKWALL UCS

- LANDSCAPE NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
 - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
 - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
 - ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

- GENERAL LAWN NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
 - ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
 - ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOOLS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
 - CONTRACTOR SHALL PROVIDE (1) ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

- SOLID SOD NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
 - PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
 - ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
 - WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	6	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	B&B, 12' ht., 5' spread, 6' clear straight trunk
RO	18	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
YH	10	Yaupon Holly	<i>Ilex vomitoria</i>	2" cal.	container, 6' ht., 3' spread, tree form
RB	3	Red Bud	<i>Cercis canadensis</i>	2" cal.	container, 6' ht., 3' spread, tree form
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DBH	184	Dwarf Burford Holly	<i>Ilex cornuta nana</i>	7 gal.	container, 36" ht., 30" spread
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon '419'</i>		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



SITE DATA SUMMARY TABLE

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

GAS STATION WITH C-STORE
 STATE HIGHWAY NO. 276 & SOUTH JOHN KING BLVD
 ROCKWALL, TEXAS

ISSUE:
FOR APPROVAL 09.13.2024

DATE:
09.13.2024

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:
L.2

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

- 1.1 REFERENCED DOCUMENTS**
Refer to bidding requirements, special provisions, and schedules for additional requirements.
- 1.2 DESCRIPTION OF WORK**
Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 1. Planting (trees, shrubs, and grass)
 2. Bed preparation and fertilization
 3. Notification of sources
 4. Water and Maintenance until final acceptance
 5. Guarantee

- 1.3 REFERENCE STANDARDS**
 - A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
 - B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names
 - C. Texas Association of Nurserymen, Grades and Standards.
 - D. Hortis Third, 1976 - Cornell University

- 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS**
 - A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
 - B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
 - C. Product Data: Submit complete product data and specifications on all other specified materials.
 - D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
 - E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
 - F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation. General Contractor shall leave planting bed areas three (3) inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including lulls in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable discolorations, insect eggs and larvae and are to be of specimen quality.
- D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, body shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball.
Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at an additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: FertiLid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 1. Post: Sludded T-Post, #1 Armo-co with anchor plate, 6'-0" length; paint green.
 2. Wire: 12 gauge, single strand, galvanized wire.
 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Mirafil 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

F. Shrub and tree pits shall be no less than two (2) feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by wetting to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of root scoring.

J. Do not wrap trees.

K. Do not over prune.

L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least one (2") inches of specified mulch.

M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.

P. Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class 1 pruning standards provided by National Arborist Association.

1. Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.

2. Pruning shall be done with clean, sharp tools.

3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

Q. Steel Curbing Installation:

1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.

2. All steel curbing shall be free of kinks and abrupt bends.

3. Top of curbing shall be 3/4" maximum height above grade.

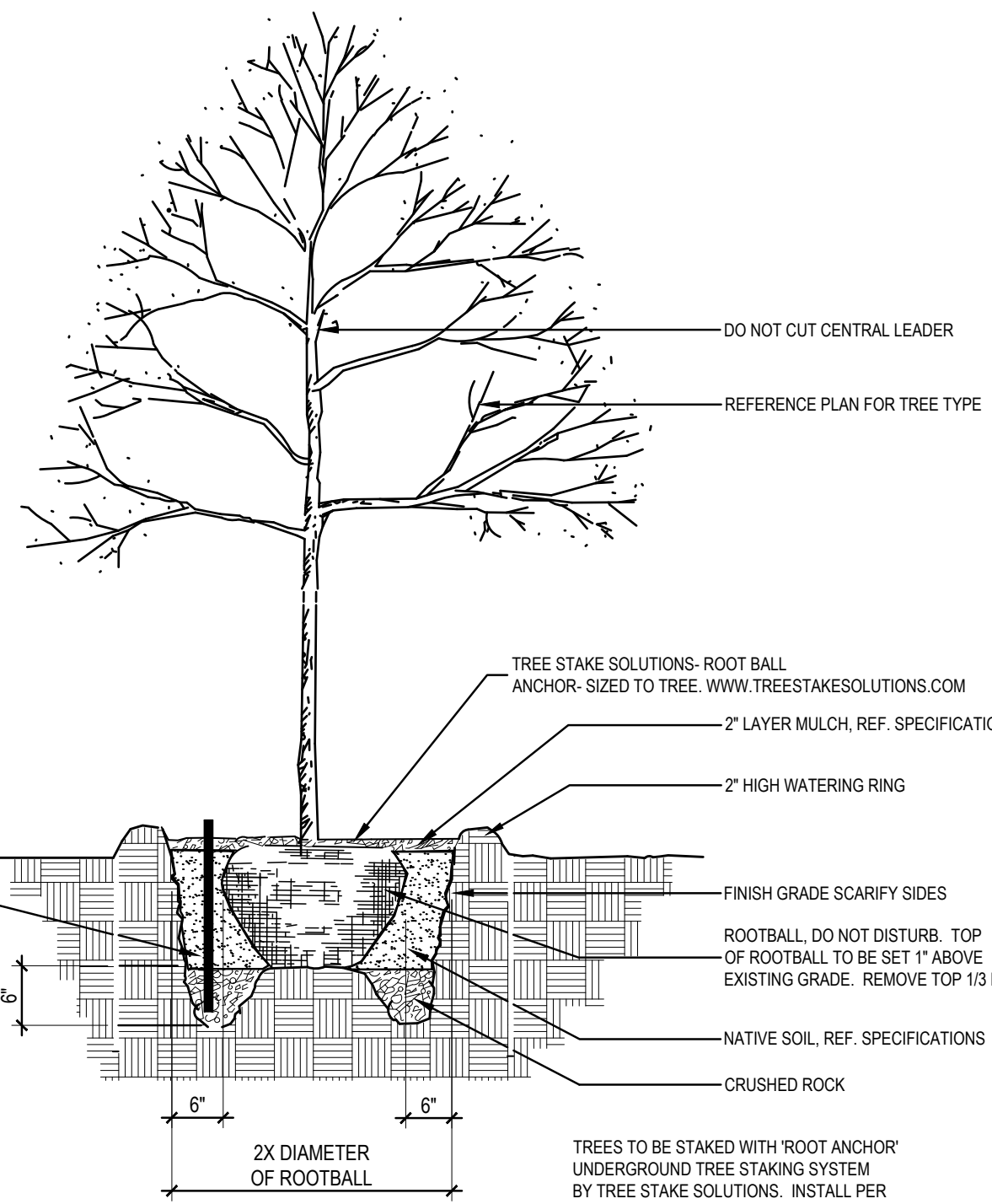
1. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.

2. Do not install steel edging along sidewalks.

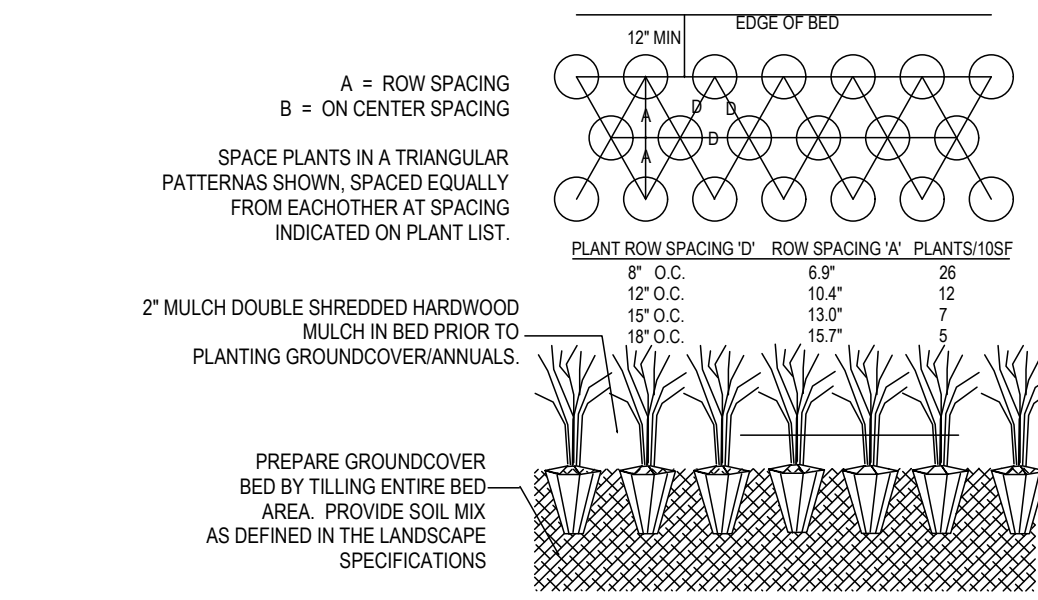
3. Cut steel edging at 45 degree angle where edging meets sidewalk.

3.3 CLEANUP AND ACCEPTANCE

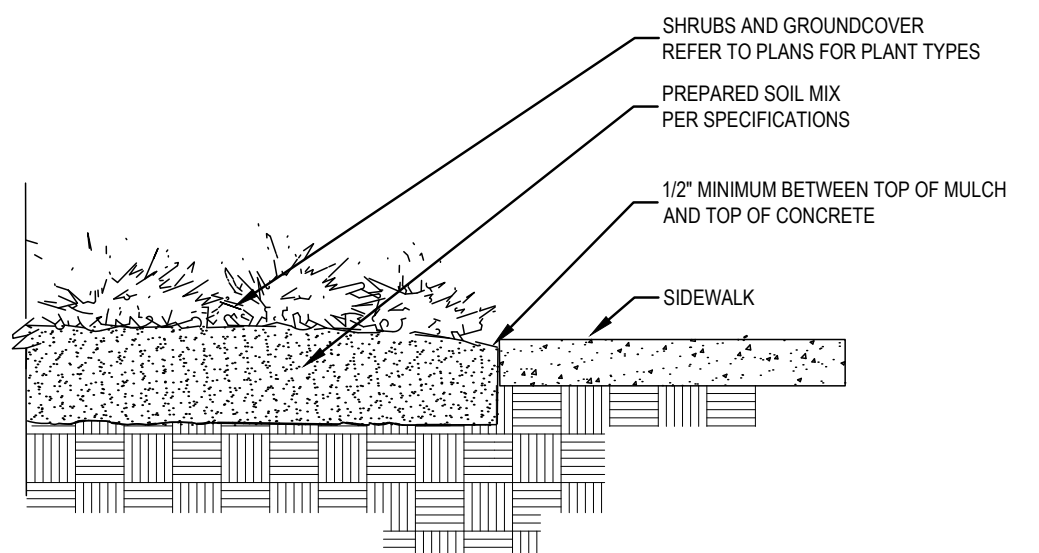
- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.



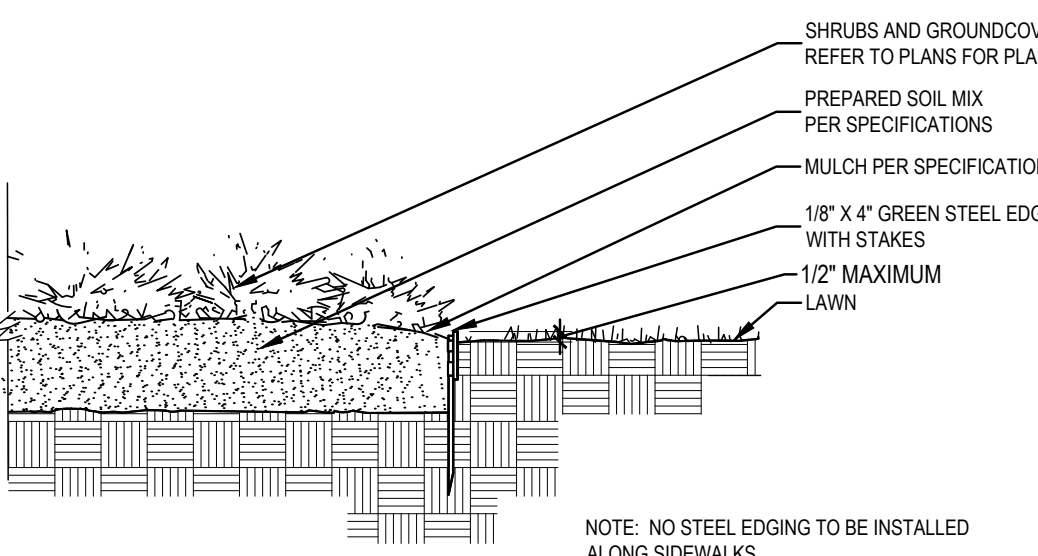
01 TREE PLANTING DETAIL
NOT TO SCALE



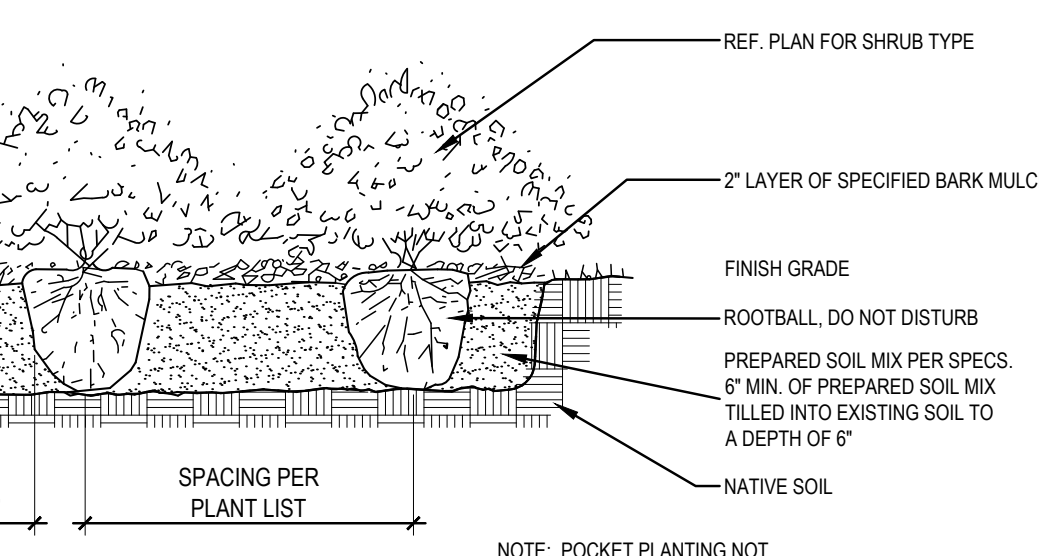
02 GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



03 SIDEWALK / MULCH DETAIL
NOT TO SCALE



04 STEEL EDGING DETAIL
NOT TO SCALE



05 SHRUB PLANTING DETAIL
NOT TO SCALE

PROJECT CONTACT LIST		
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	OWNER/DEVELOPER IBRAHIM BALLOUT 1910 OAK POINT DR ALLEN, TEXAS 75013 PH. 214-67-6777 EMAIL: IBHARIMBALOUT@HOTMAIL.COM	SURVEYOR WINDROSE LAND SURVEYING 1955 LAKEWAY STREET, SUITE 220 LEWISVILLE, TEXAS 75057 PHONE: 214-217-2544

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, THIS _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



LANDSCAPE ARCHITECT
 STUDIO GREEN SPOT, INC.
 1782 W. McDERMOTT DR.
 ALLEN, TEXAS 75013
 (469) 369-4448
 CHRIS@STUDIOGREENSPOT.COM



09.13.2024

GAS STATION WITH C-STORE
 STATE HIGHWAY NO. 276 & SOUTH JOHN KING BLVD
 ROCKWALL, TEXAS

ISSUE:
 FOR APPROVAL 09.13.2024

DATE:
 09.13.2024

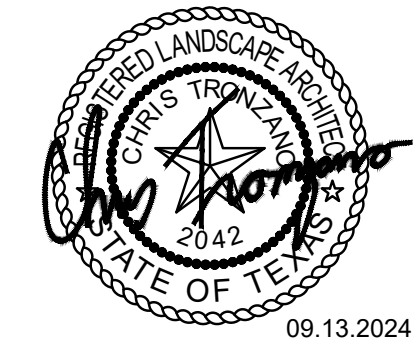
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 LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

L.3

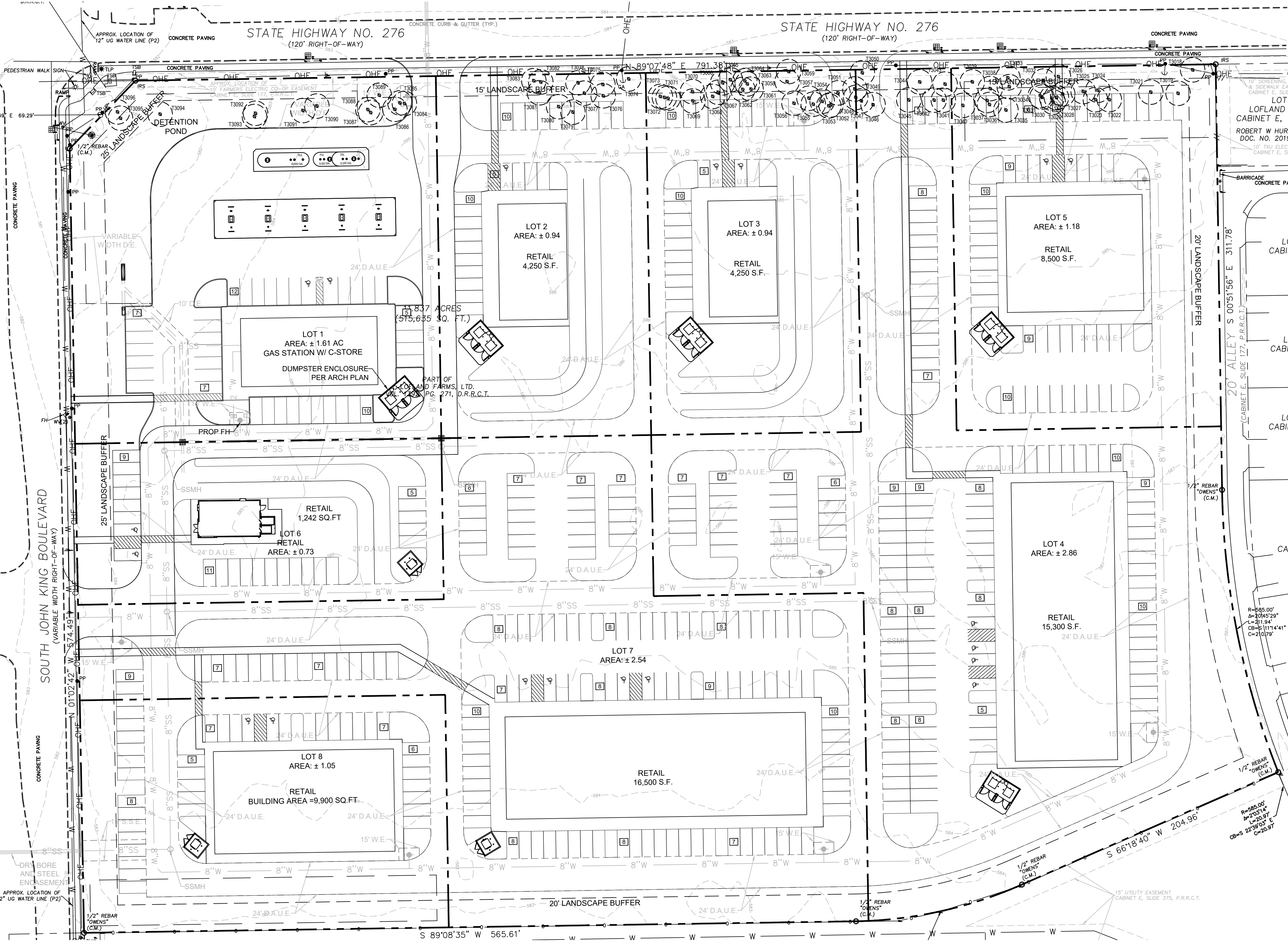
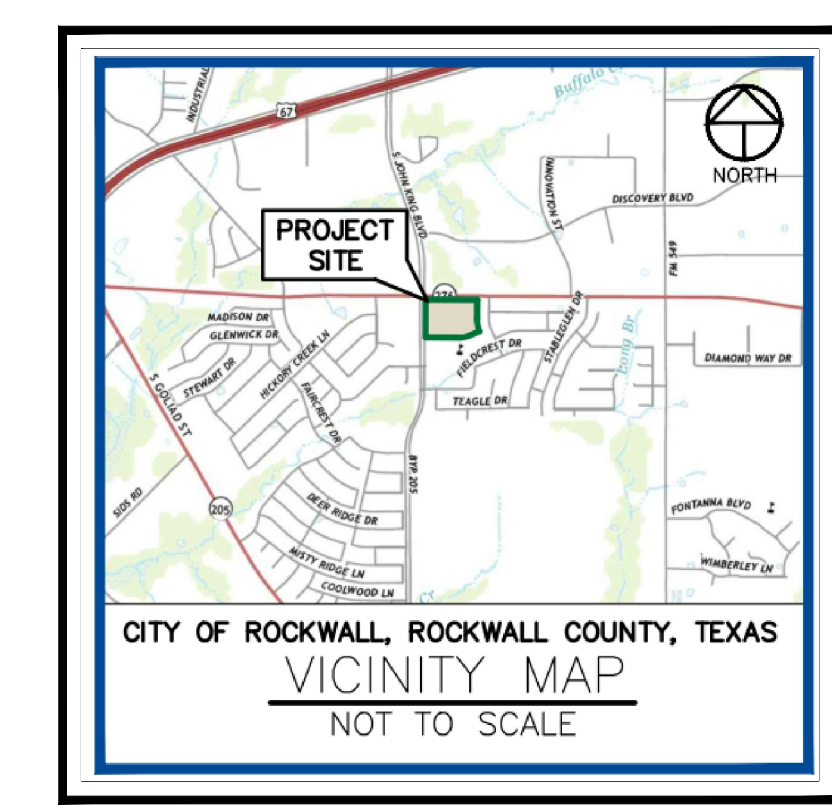


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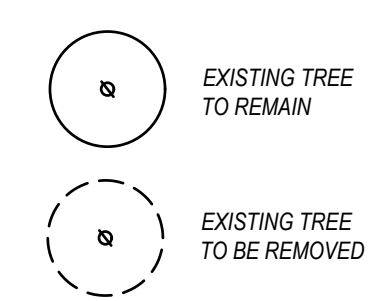


09.13.2024

MIXED-USE DEVELOPMENT
STATE HIGHWAY NO. 276 & SOUTH JOHN KING BLVD
ROCKWALL, TEXAS



EXISTING TREE LEGEND



EXISTING TREE NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIPLINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION/CONSTRUCTION, NOTIFY THE ARCHITECT IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIPLINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIPLINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOSCH OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIPLINE OF ANY TREE.
- EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT MAY BE CLEANED, TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIPLINE OF A TREE. THIS WOULD INCLUDE BUT NOT BE LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIPLINE OF TREES.
- BORING OF UTILITIES: MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48) INCHES.
- TRENCHING: ANY IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- TREE FLAGGING: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT WITH 72 HOUR NOTICE TO SCHEDULE ON-SITE MEETING.
- PROTECTIVE FENCING: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIPLINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL(S).
- BARK PROTECTION: IN SITUATIONS WHERE A TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, THE TREE SHALL BE PROTECTED BY ENCLOSED THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE. REFER TO TREE PROTECTION DETAIL(S).
- CONSTRUCTION PRUNING: IN A CASE WHERE A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. IN NO INSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.

TREE SURVEY FIELD DATA- LOT 5

NO.	SIZE (HEIGHT)	SPECIES (COMMON NAME)	PROTECTED / UNPROTECTED	REMARKS	MITIGATION REQUIRED
T3018	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3019	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3020	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3021	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3022	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3023	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3024	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3025	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3026	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3027	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3028	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3029	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3030	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3031	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3032	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3033	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3034	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3035	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3036	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3037	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3038	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3039	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3040	10'	CEDAR	PROTECTED	TO BE REMOVED	4"

MITIGATION BALANCE = 92"

TREE SURVEY FIELD DATA- LOT 1

NO.	SIZE (HEIGHT)	SPECIES (COMMON NAME)	PROTECTED / UNPROTECTED	REMARKS	MITIGATION REQUIRED
T3084	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3085	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3086	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3087	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3088	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3089	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3090	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3091	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3092	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3093	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3094	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3095	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3096	10'	CEDAR	PROTECTED	TO BE REMOVED	4"

MITIGATION REQUIRED = 52"

TREE SURVEY FIELD DATA- LOT 2

NO.	SIZE (HEIGHT)	SPECIES (COMMON NAME)	PROTECTED / UNPROTECTED	REMARKS	MITIGATION REQUIRED
T3074	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3075	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3076	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3077	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3078	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3079	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3080	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3081	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3082	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3083	10'	CEDAR	PROTECTED	TO BE REMOVED	4"

MITIGATION BALANCE = 40"

TREE SURVEY FIELD DATA- LOT 3

NO.	SIZE (HEIGHT)	SPECIES (COMMON NAME)	PROTECTED / UNPROTECTED	REMARKS	MITIGATION REQUIRED
T3048	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3049	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3051	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3052	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3053	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3054	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3055	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3056	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3057	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3058	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3059	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3060	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3061	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3062	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3063	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3064	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3065	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3066	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3067	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3068	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3069	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3070	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3071	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3072	10'	CEDAR	PROTECTED	TO BE REMOVED	4"

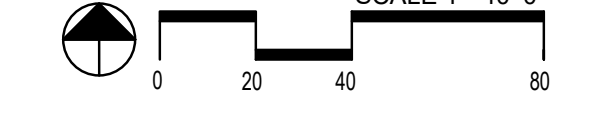
MITIGATION BALANCE = 96"

TREE SURVEY FIELD DATA- LOT 4

NO.	SIZE (HT/CAL)	SPECIES (COMMON NAME)	PROTECTED / UNPROTECTED	REMARKS	MITIGATION REQUIRED
T3041	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3042	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3043	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3044	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3045	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3046	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3047	10'	CEDAR	PROTECTED	TO BE REMOVED	4"
T3050	8'	HACKBERRY	UNPROTECTED	TO BE REMOVED	4"

MITIGATION BALANCE = 28"

01 TREE PRESERVATION PLAN
SCALE: 1"=40'-0"



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, THIS _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ISSUE:
FOR APPROVAL 09.13.2024

DATE:
09.13.2024

SHEET NAME:
TREE PRESERVATION PLAN

SHEET NUMBER:

L.1

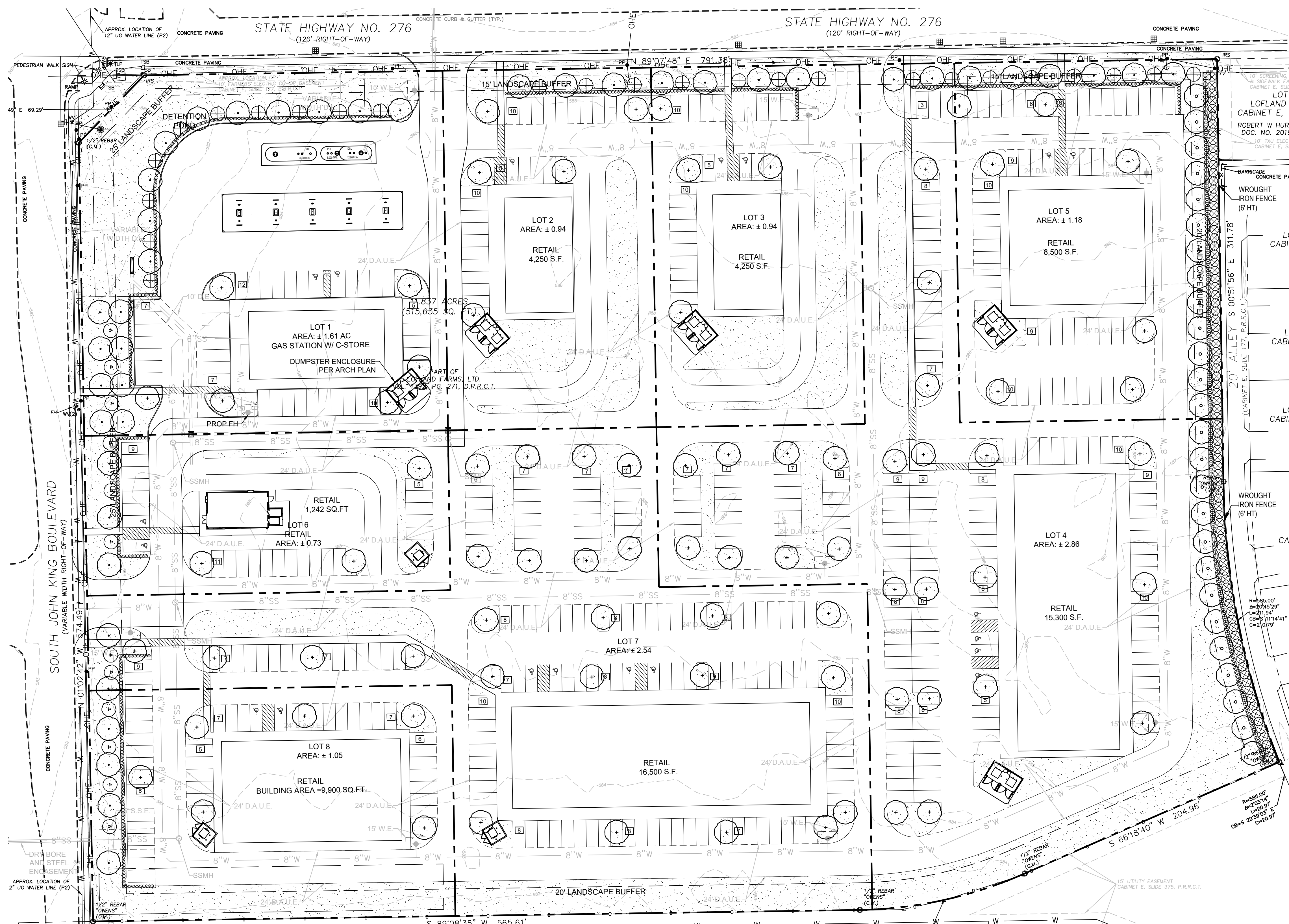


LANDSCAPE ARCHITECT
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09.13.2024

MIXED-USE DEVELOPMENT
STATE HIGHWAY NO. 276 & SOUTH JOHN KING BLVD
ROCKWALL, TEXAS



LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

PLANT MATERIAL SYMBOLS

- ⊕ - CEDAR ELM, 4" CAL.
- ⊕ - LIVE OAK, 4" CAL.
- ⊕ - LIVE OAK, 4" CAL.
- ⊕ - YAUPOH HOLLY - 2" CAL.
- ⊕ - RED BUD TREE, 2" CAL.
- ⊕ - NELLIE R. STEVENS HOLLY, 7 GAL.
- ⊕ - DWARF WAX MYRTLE, 3" GAL.
- ⊕ - DWARF BURFORD HOLLY, 7 GAL.

PLANT MATERIAL SCHEDULE

TREES				
TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	B&B, 12' ht., 5' spread, 6' clear straight trunk
LO	Live Oak	<i>Live Oak</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
RO	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12' ht., 5' spread, 6' clear straight trunk
YH	Yaupeh Holly	<i>Ilex vomitoria</i>	2" cal.	container, 6' ht., 3' spread, tree form
RB	Red Bud	<i>Cercis canadensis</i>	2" cal.	container, 6' ht., 3' spread, tree form
SHRUBS				
TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DBH	Dwarf Burford Holly	<i>Ilex cornuta nana</i>	7 gal.	container, 36" ht., 24" spread
DWM	Dwarf Wax Myrtle	<i>Myrica caroliniana</i>	3 gal.	container, 24" ht., 20" spread
NRS	Nellie R. Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 24" spread
GROUNDCOVERS				
TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	'419' Bermudagrass	<i>Cynodon dactylon '419'</i>		solid sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE TABULATIONS- LOT 1

SITE REQUIREMENTS (Total Site Area 70,084 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
10,513 s.f. (15%)	22,164 s.f. (32%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
5,257 s.f. (50%)	21,635 s.f. (206%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 50 l.f. of frontage

Required	Provided
(5) canopy trees (5) accent trees	(5) canopy trees (3) accent trees

STATE HIGHWAY NO. 276 (255 l.f.)

Required	Provided
(5) canopy trees (5) accent trees	(5) canopy trees (5) accent trees

SOUTH JOHN KING BLVD (251 l.f.)

Required	Provided
(5) canopy trees (2) accent trees	(5) canopy trees (2) canopy trees

PARKING LOT REQUIREMENTS (41 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(2) canopy trees	(2) canopy trees

LANDSCAPE TABULATIONS- LOT 2

SITE REQUIREMENTS (Total Site Area 40,788 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
6,119 s.f. (15%)	9,169 s.f. (23%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,060 s.f. (50%)	3,962 s.f. (65%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 50 l.f. of frontage

Required	Provided
(3) canopy trees (3) accent trees	(3) canopy trees (3) accent trees

STATE HIGHWAY NO. 276 (154 l.f.)

Required	Provided
(3) canopy trees (3) accent trees	(3) canopy trees (3) accent trees

SOUTH JOHN KING BLVD (251 l.f.)

Required	Provided
(2) canopy trees	(2) canopy trees

PARKING LOT REQUIREMENTS (25 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(2) canopy trees	(2) canopy trees

LANDSCAPE TABULATIONS- LOT 3

SITE REQUIREMENTS (Total Site Area 40,788 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
6,119 s.f. (15%)	9,083 s.f. (22%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,060 s.f. (50%)	3,887 s.f. (64%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 50 l.f. of frontage

Required	Provided
(3) canopy trees (3) accent trees	(4) canopy trees (4) accent trees

STATE HIGHWAY NO. 276 (154 l.f.)

Required	Provided
(3) canopy trees (3) accent trees	(3) canopy trees (3) accent trees

SOUTH JOHN KING BLVD (251 l.f.)

Required	Provided
(2) canopy trees	(2) canopy trees

PARKING LOT REQUIREMENTS (25 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(2) canopy trees	(2) canopy trees

LANDSCAPE TABULATIONS- LOT 4

SITE REQUIREMENTS (Total Site Area 125,889 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
18,884 s.f. (15%)	32,986 s.f. (27%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
9,442 s.f. (50%)	11,259 s.f. (60%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 50 l.f. of frontage

Required	Provided
(4) canopy trees (2) accent trees	(4) canopy trees (2) accent trees

STATE HIGHWAY NO. 276 (70 l.f.)

Required	Provided
(4) canopy trees (3) accent trees	(4) canopy trees (3) accent trees

SOUTH JOHN KING BLVD (118 l.f.)

Required	Provided
(4) canopy trees (3) accent trees	(4) canopy trees (3) accent trees

PARKING LOT REQUIREMENTS (140 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(7) canopy trees	(25) canopy trees

LANDSCAPE TABULATIONS- LOT 5

SITE REQUIREMENTS (Total Site Area 51,413 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
7,712 s.f. (15%)	11,536 s.f. (22%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,856 s.f. (50%)	5,805 s.f. (75%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 50 l.f. of frontage

Required	Provided
(4) canopy trees (4) accent trees	(4) canopy trees (4) accent trees

STATE HIGHWAY NO. 276 (70 l.f.)

Required	Provided
(4) canopy trees (3) accent trees	(4) canopy trees (3) accent trees

SOUTH JOHN KING BLVD (118 l.f.)

Required	Provided
(4) canopy trees (3) accent trees	(4) canopy trees (3) accent trees

PARKING LOT REQUIREMENTS (54 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(3) canopy trees	(3) canopy trees

LANDSCAPE TABULATIONS- LOT 6

SITE REQUIREMENTS (Total Site Area 31,633 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
4,745 s.f. (15%)	5,745 s.f. (19%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
2,373 s.f. (50%)	3,650 s.f. (77%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 50 l.f. of frontage

Required	Provided
(3) canopy trees (3) accent trees	(3) canopy trees (3) accent trees

STATE HIGHWAY NO. 276 (118 l.f.)

Required	Provided
(3) canopy trees (3) accent trees	(3) canopy trees (3) accent trees

SOUTH JOHN KING BLVD (118 l.f.)

Required	Provided
(6) canopy trees	(21) canopy trees

PARKING LOT REQUIREMENTS (116 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(6) canopy trees	(21) canopy trees

LANDSCAPE TABULATIONS- LOT 7

SITE REQUIREMENTS (Total Site Area 45,560 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
6,834 s.f. (15%)	18,116 s.f. (32%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,418 s.f. (50%)	7,944 s.f. (116%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 50 l.f. of frontage

Required	Provided
(4) canopy trees (3) accent trees	(4) canopy trees (3) accent trees

STATE HIGHWAY NO. 276 (118 l.f.)

Required	Provided
(4) canopy trees (3) accent trees	(4) canopy trees (3) accent trees

SOUTH JOHN KING BLVD (118 l.f.)

Required	Provided
(6) canopy trees	(21) canopy trees

PARKING LOT REQUIREMENTS (116 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(6) canopy trees	(21) canopy trees

LANDSCAPE TABULATIONS- LOT 8

SITE REQUIREMENTS (Total Site Area 45,562 s.f.)
Requirements: 15% site area to be landscaped

Required	Provided
6,835 s.f. (15%)	12,519 s.f. (32%)

FRONT YARD REQUIREMENTS
Requirements: 50% of required landscape must be located in front yard

Required	Provided
3,418 s.f. (50%)	6,021 s.f. (88%)

STREET REQUIREMENTS
Requirements: (1) canopy tree, 4" cal. & (1) accent tree, 4" ht. per 50 l.f. of frontage

Required	Provided
(4) canopy trees (4) accent trees	(4) canopy trees (4) accent trees

STATE HIGHWAY NO. 276 (170 l.f.)

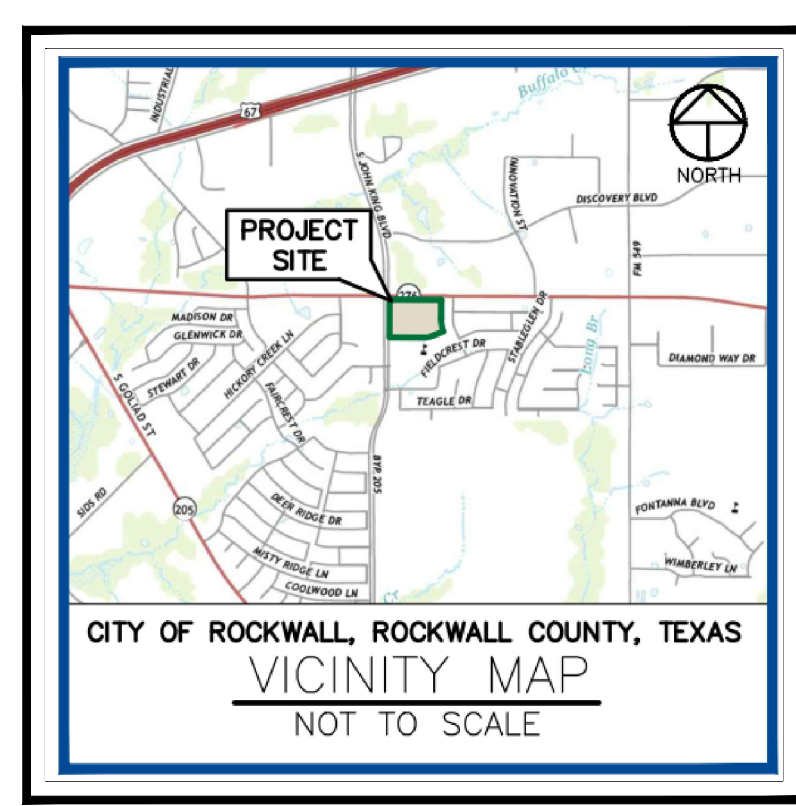
Required	Provided
(4) canopy trees (4) accent trees	(4) canopy trees (4) accent trees

SOUTH JOHN KING BLVD (170 l.f.)

Required	Provided
(4) canopy trees (4) accent trees	(4) canopy trees (4) accent trees

PARKING LOT REQUIREMENTS (40 spaces)
Requirements: (1) canopy tree, 4" cal. per 20 parking spaces

Required	Provided
(2) canopy trees	(2) canopy trees



SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

01 LANDSCAPE PLAN
SCALE 1"=40'-0"



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2024.

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

- 1.1 REFERENCED DOCUMENTS**
Refer to bidding requirements, special provisions, and schedules for additional requirements.
- 1.2 DESCRIPTION OF WORK**
Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
 1. Planting (trees, shrubs, and grass)
 2. Bed preparation and fertilization
 3. Notification of sources
 4. Water and Maintenance until final acceptance
 5. Guarantee

- 1.3 REFERENCE STANDARDS**
 - A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
 - B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names
 - C. Texas Association of Nurserymen, Grades and Standards.
 - D. Hortis Third, 1976 - Cornell University

- 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS**
 - A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
 - B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
 - C. Product Data: Submit complete product data and specifications on all other specified materials.
 - D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
 - E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
 - F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3) inches below final grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including lulls in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable discolorations, insect eggs and larvae and are to be of specimen quality.
- D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, body shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball.
Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at an additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
Clay – between 7-27 percent
Silt – between 15-25 percent
Sand – less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: FertiLid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

- A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
 1. Post: Sludded T-Post, #1 Armo-co with anchor plate, 6'-0" length; paint green.
 2. Wire: 12 gauge, single strand, galvanized wire.
 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Miraf 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

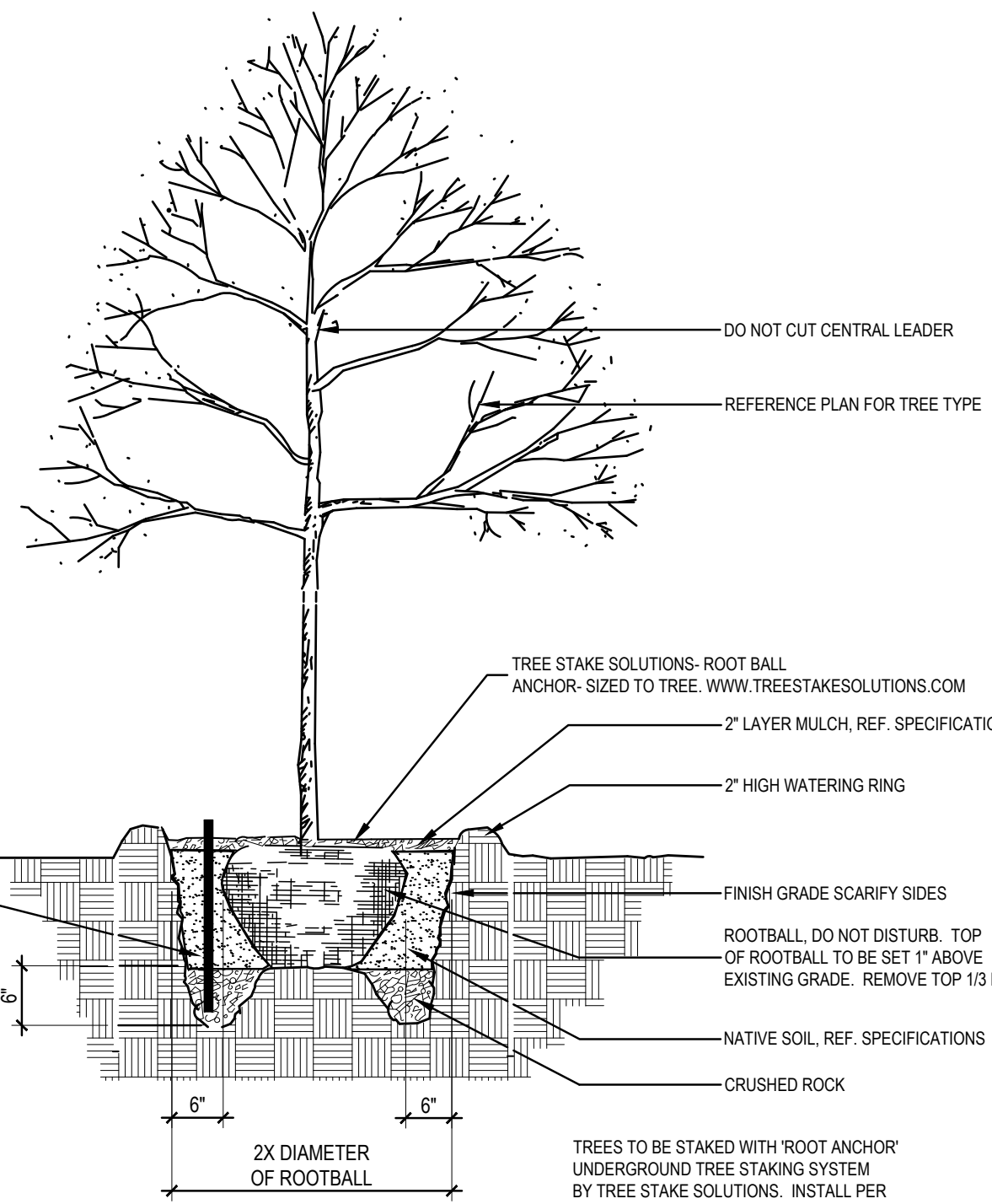
3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

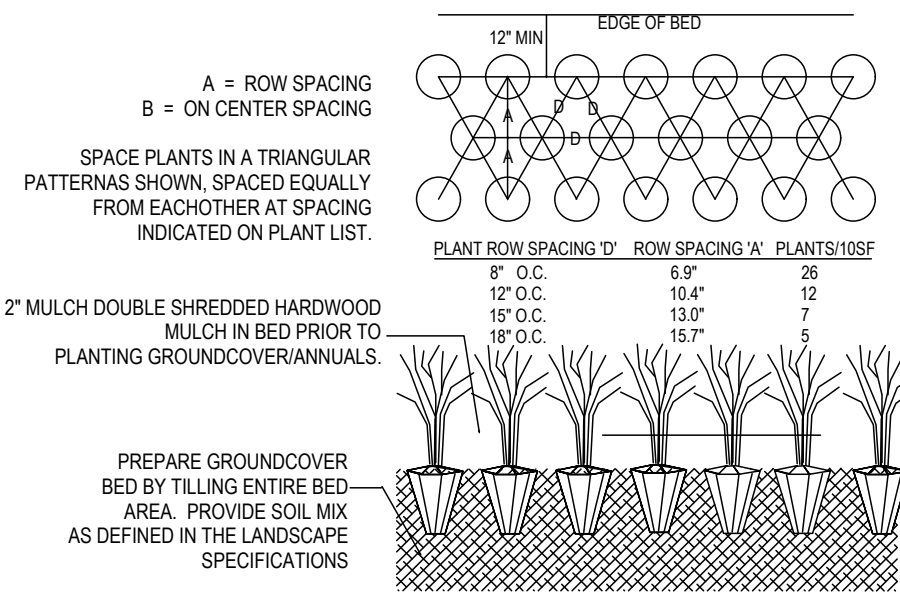
3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

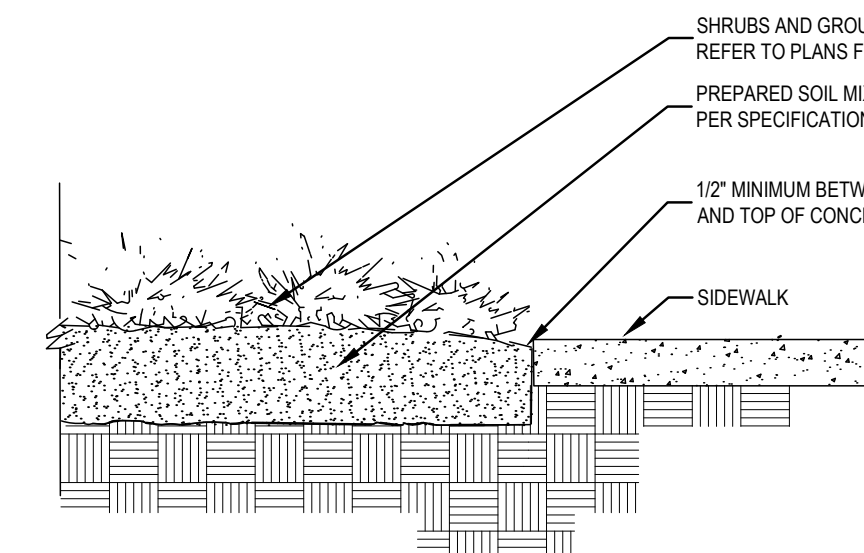
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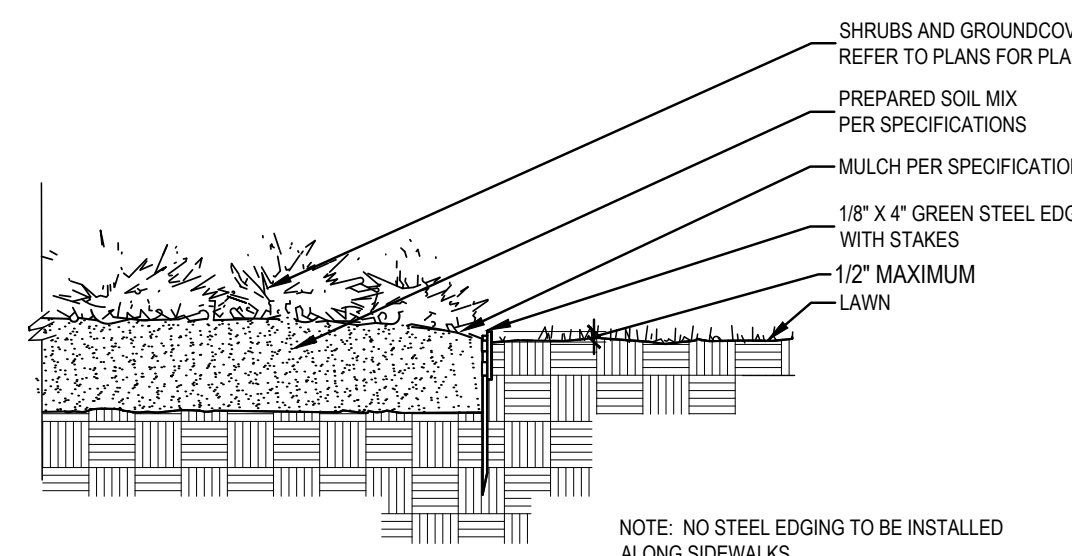
01 TREE PLANTING DETAIL
NOT TO SCALE



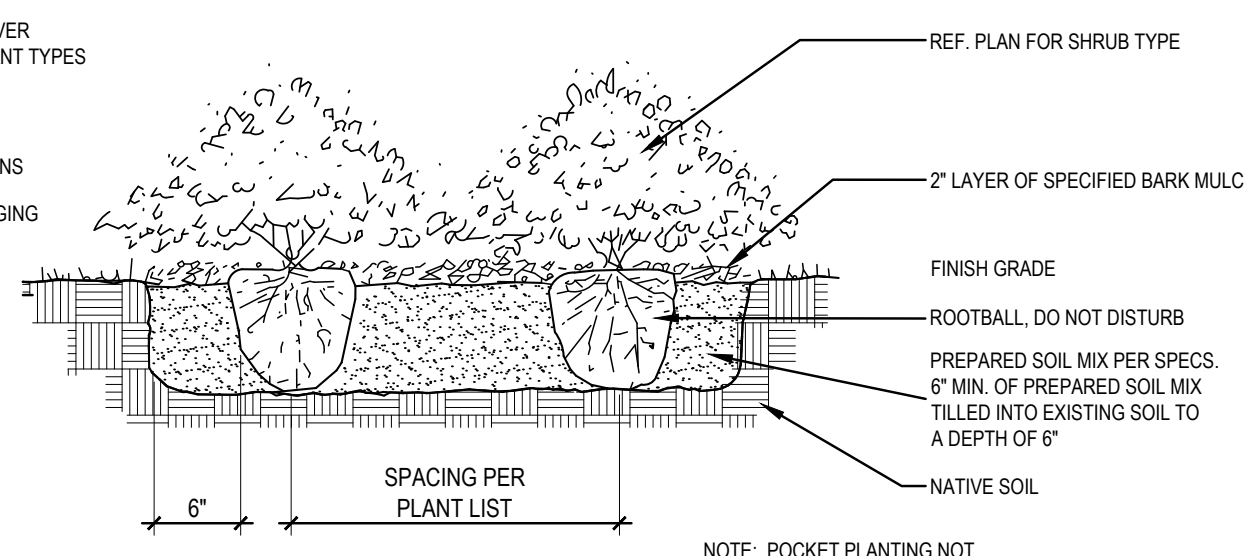
02 GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



03 SIDEWALK / MULCH DETAIL
no steel along sidewalks NOT TO SCALE



04 STEEL EDGING DETAIL
NOT TO SCALE



05 SHRUB PLANTING DETAIL
NOT TO SCALE

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2024.

WITNESS OUR HANDS, THIS _____ day of _____, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



09.13.2024

MIXED-USE DEVELOPMENT

STATE HIGHWAY NO. 276 & SOUTH JOHN KING BLVD
ROCKWALL, TEXAS

ISSUE:
FOR APPROVAL 09.13.2024

DATE:
09.13.2024

SHEET NAME:
LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

L.3

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/18/2024

PROJECT NUMBER: SP2024-040
PROJECT NAME: Site Plan for 5543 Horizon Road
SITE ADDRESS/LOCATIONS: 5543 HORIZON RD

CASE CAPTION: Discuss and consider a request by Mckenzie Joseck of BGE, Inc. on behalf of Shawn Valk of Saro Partners, LLC for the approval of a Site Plan for two (2) Office Buildings on a 2.72-acre tract of land identified as Tract 26-4 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 5543 Horizon Road [FM-3097], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/18/2024	Needs Review

09/18/2024: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for two (2) Office Buildings on a 2.72-acre tract of land identified as Tract 26-4 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 5543 Horizon Road [FM-3097].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2024-040) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 The subject property will be required to be plat in order to establish lot lines, and establish or abandoned easements.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan.

- (1) Please provide the total site area in acres and square feet. (Subsection 03.04.B, of Article 11, UDC)
- (2) The front building setback is 15-feet, and the side yard setback adjacent to the residentially used property is 23-feet. (Subsection 03.04.B, of Article 11, UDC)
- (3) Please indicate the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04.B, of Article 11, UDC)

- (4) The fire lane that is utilized to access both properties, as well as the portion of the fire lane in Lot 2 that is utilized by Lot 1 must be indicated as Cross Access as well. (Subsection 03.04.B, of Article 11, UDC)
- (5) Shared parking between lots must be done through a Shared Parking Agreement and not a parking Easement. This Agreement must be reviewed by staff, and then filed with Rockwall County before the issuance of a Certificate of Occupancy (CO). (Subsection 05.03, of Article 06, UDC)
- (6) Please indicate the type and depth of the paving materials, and provide a detail or cut-sheet. (Subsection 03.02, of Article 06, UDC)
- (7) Will there be any new fencing associated with this development? If so, please delineate and label it on the site plan, and provide a detail. (Subsection 08.02.F, of Article 08, UDC)
- (8) Will there be any ground mounted or roof mounted utility equipment? If ground mounted, please indicate it on the site plan and provide the required evergreen shrub screening. If roof mounted, please crosshatch it on the building elevations. (Subsection 01.05.C, of Article 05, UDC)
- (9) Please provide a note that there will be no outside storage or above ground storage tanks. (Subsection 01.05.D, of Article 05, UDC)
- (10) Will there be any dumpster enclosures associated with this development? If so, please have it meet the dumpster enclosure requirements. (Subsection 01.05.B, of Article 05, UDC)
- (11) All signage will be reviewed through a separate permitting process. Please remove all signage from the site plan/landscape plan and the building elevations. In addition, signage may not be located within ROW or future ROW. (06.02. F, of Article 05, UDC)

M.7 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please indicate the impervious vs. pervious area. (Subsection 01.01.B, of Article 05, UDC)
- (3) Please indicate the planting size of all landscaping within the landscape table. All canopy trees shall be four (4) caliper inches, all accent trees shall be four (4) feet in height, and all shrubs shall be five (5) gallon. (Subsection 05.03.B, of Article 08, UDC)
- (4) There is residential adjacency on a portion of the northwest side of the property. This must incorporate screening along this portion of the property. The screening can take form of a masonry wall with canopy trees on 20-foot centers, or three (3) tiered landscaping (i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees) and a wrought iron fence. (Subsection 05.02, of Article 08, UDC)
- (5) All parking spaces shall be within 80-feet of a canopy tree. Please show conformance to this requirement. (Subsection 05.03, of Article 08, UDC)

M.8 Treescap Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Sugarberry/Hackberry do not require mitigation, and Hercules Club requires mitigation. Based on this, the total mitigation is 15 caliper inches. The mitigation balance is satisfied by the number of planting on site. (Article 09, UDC)

M.9 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Light levels must not exceed 0.2 FC at the property lines. (Subsection 03.03.G, of Article 07, UDC)

M.10 Building Elevations

- (1) Please provide a table indicating the percentage surface area for each of the proposed materials on each building. This does not include doors or glazing. (Subsection 04.01, of Article 05, UDC)
- (2) Please indicate on each building that the backside of the parapet will be finished in the same material as the front facing façade. (Subsection 04.01, of Article 05, UDC)
- (3) Please indicate the parapet wall height on each building. (Subsection 04.01, of Article 05, UDC)
- (4) Please crosshatch any RTUs on the building elevations. (Subsection 01.05.C, of Article 05, UDC)
- (5) Please indicate any architectural elements (such as cornice, arcades, and covered walkways/windows). (Subsection 04.01, of Article 05, UDC)
- (6) Both buildings do not meet the minimum articulation standards for buildings located within a Commercial (C) District. More specifically, both buildings do not meet items 3-6 on the primary facades, and items 3-5 on the secondary facades as described and depicted in Figure 7: Commercial Building Articulation Standards within the UDC. (Figure 7, of Article 05, UDC)

M.11 At this time, based on the materials submitted, staff has identified the following Exception(s)/Variance(s) for this project:

(1) Articulation. The proposed building does not meet the primary and secondary articulation requirements outlined within the General Commercial District Standards. (Subsection 04.01, of Article 05, UDC)

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on October 1, 2024 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on September 24, 2024.
- (2) Planning & Zoning meeting/public hearing meeting will be held on October 15, 2024.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	09/17/2024	Approved w/ Comments

- 09/17/2024:
- 1. Min. 64'x15' hammerhead striped as "No Parking" Make need to be a fire lane turn around.
 - 2. All FHs and meters will also require a 20' water easement. All FHs must be min 5' from parking areas.
 - 3. Trash enclosure will require oil/water separator to drain to storm sewer system.
 - 4. All FHs and meters will also require a 20' water easement. All FHs must be min 5' from parking areas.
 - 5. Show proposed TXDOT ROW
 - 6. Must be 24' wide reinforced concrete to meet fire lane requirements. If using the ex. driveway and adding onto it, you must core and test the existing paving to make sure it meets fire lane strength and standards.
 - 7. See next sheet for proposed ROW
 - 8. You will need water easement for this area as well.
 - 9. Min 10' wide.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required for the removal of any existing trees on site.
- No structures or fences with easements.
- The site will need to be platted.
- All utilities must be underground.
- Additional comments may be provided at the time of Engineering review.

- Trees must be a minimum of 5' from water lines.

Drainage Items:

- Detention is required.
- Detention is not allowed within the 100yr floodplain.
- Detention is based on zoning, not specific land area use.
- Detention system will require a drainage easement located at free board elevation.
- The 100-year WSEL must be called out for detention systems and for the 100-year Floodplain.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No vertical walls allowed in detention easement. 4:1 maximum side slopes for detention pond.
- No public water or sanitary sewer allowed in detention easement.
- FFE for all buildings must be called out when adjacent to a detention system or the 100yr floodplain. FEE must be a minimum 2' above the 100-year WSEL for the detention system and the floodplain.
- Existing site flow patterns must be maintained.
- Grate inlets are not allowed.
- Dumpster areas to drain to oil/water separator and then to the storm lines.
- Must have a wetland and WOTUS determination
- See Engineering Standards of Design for the required erosion hazard setback for all floodplain/creeks.

Water and Wastewater Items:

- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Stub out 8" water and sewer to the northern property line.
- Any utility connection made underneath of an existing roadway must be completed by dry bore. Opening cutting will not be allowed for utility connection not under paving.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in easement.
- Water line must have 10' either side of the water line in an easement.
- \$94.41/acre sewer pro-rata due
- Minimum 10' separation between water, sanitary sewer, and storm sewer lines.

Roadway Paving Items:

- Must meet City driveway spacing requirements. Driveway spacing is 100ft.
- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane (if needed) to be 24' wide and in a platted easement.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	09/18/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/17/2024	Needs Review

09/17/2024: For buildings 30 feet or more in height, a minimum interior turning radius of 30 feet shall be provided.

The fire lane will need to extend to the public roadway. If using the off-site access easement, it shall be improved to a width of 24 feet and platted as a fire lane.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/16/2024	Approved w/ Comments

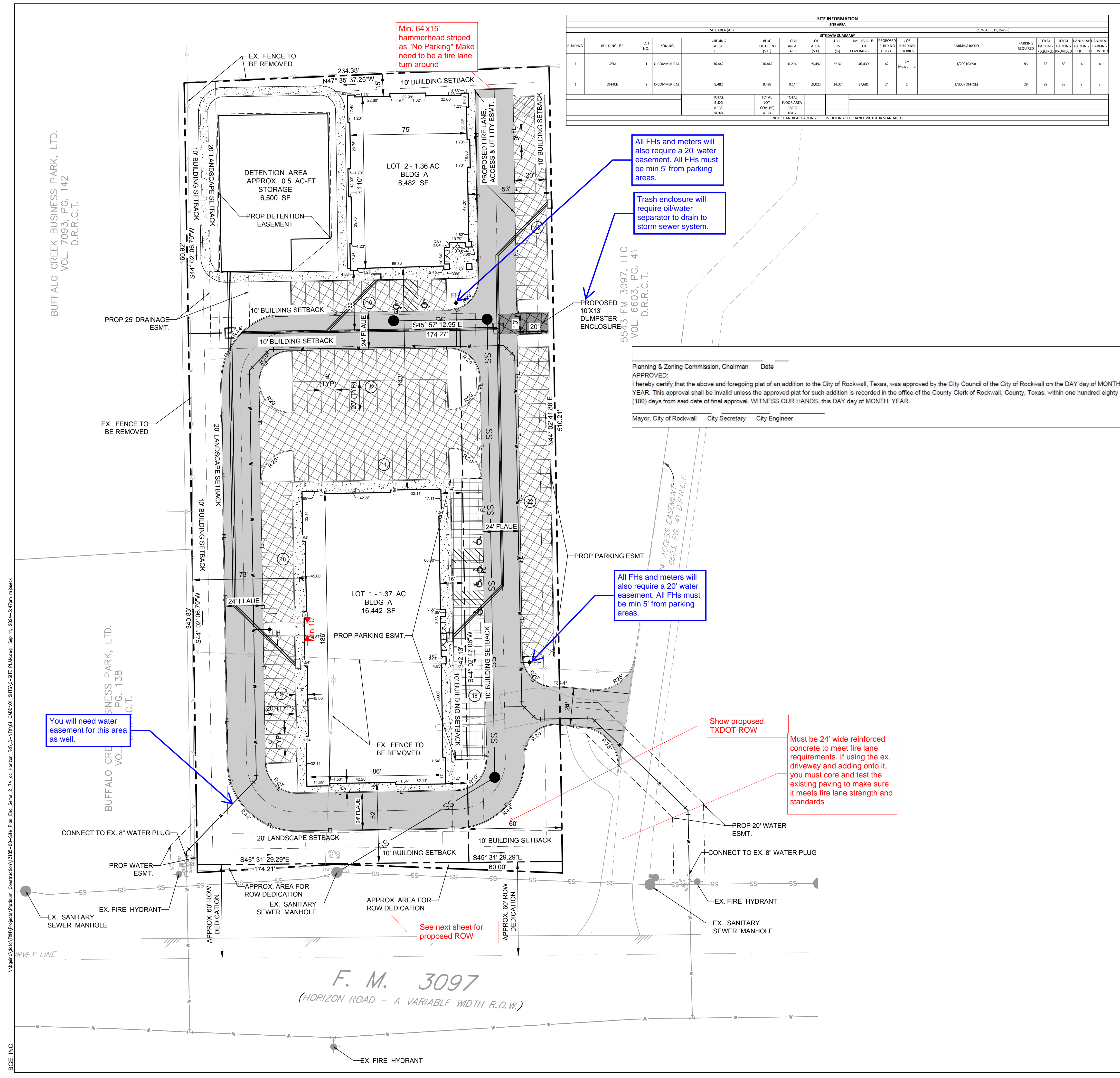
09/16/2024: Building 1 will be 5543 Horizon Rd, Rockwall, TX 75032
Building 2 will be 5551 Horizon Rd, Rockwall, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/13/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/16/2024	Approved

- 09/16/2024:
1. Please refer to the new legend required for reporting tree mitigation
 2. You may have difficult time finding Caddo Maples
 3. Recommendation only as there are many turfgrass varieties available that are more drought, cold, shade and wear tolerant such as Tif Tuf, Tahoma 31, Latitude 36.
 4. Make sure all parking spaces are within 80' of tree canopy
 5. Please provide seed specifications for the (2) mixes
 6. Make sure that all trees are planted 5 and 10 feet from utilities based on line size.



SITE INFORMATION												
SITE AREA (AC)		SITE AREA										
2.74 AC (119,24.51)												
BUILDING	BUILDING USE	LOT NO.	ZONING	BUILDING AREA (S.F.)	FLOOR FOOTPRINT (S.F.)	FLOOR AREA RATIO	LOT AREA (S.F.)	LOT COV. (%)	IMPERVIOUS LOT COVERAGE (S.F.)	PROPOSED LOT BUILDING HEIGHT	# OF BUILDING STORES	PARKING RATIO
1	GHM	1	C-COMMERCIAL	16,442	16,442	0.234	99,497	27.37	46,630	47	1+ Mezzanine	1/300 (9PM)
1	OFFICE	2	C-COMMERCIAL	8,482	8,482	0.14	99,025	14.37	37,681	24	1	1/300 (OFFICE)
TOTAL				24,924	24,924		198,522		84,311			
TOTAL BLDG AREA				24,924	24,924		198,522		84,311			
TOTAL LOT AREA				24,924	24,924		198,522		84,311			
TOTAL FLOOR AREA				24,924	24,924		198,522		84,311			
TOTAL COV. (%)				12.51	12.51		12.51		12.51			
TOTAL IMPERVIOUS COV. (%)				42.37	42.37		42.37		42.37			

- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements. No structures, including walls, allowed in easements.
 - Retaining walls 3' and over must be engineered.
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 - The site will need to be platted.
 - All utilities must be underground.
 - Additional comments may be provided at the time of Engineering review.
 - Trees must be a minimum of 5' from water lines.

- Drainage Items:**
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- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

- NOTES:**
1. CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS VARY FROM THOSE SHOWN.
 2. ALL WORK AND MATERIALS SHALL COMPLY WITH CITY AND COUNTY REGULATIONS AS WELL AS O.S.H.A STANDARDS.
 3. ALL DIMENSIONS ARE TO THE FACE OR CURB UNLESS OTHERWISE NOTED.
 4. ALL FIRE LANE RADI ARE 20- FEET MINIMUM.
 5. ALL FIRE LANES ARE 24- FEET WIDE MINIMUM.
 6. HANDICAP PARKING AND MARKING SHALL BE IN ACCORDANCE WITH ADA STANDARDS.
 7. REFER TO CITY OF ROCKWALL CONSTRUCTION DETAILS AND SPECIFICATIONS.
 8. ALL SCREENING SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS.
 9. CONTRACTOR TO COORDINATE WITH CITY TRAFFIC ENGINEER PRIOR TO INSTALLING ROAD SIGNS OR PAVEMENT MARKINGS.
 10. ALL WALLS (1.5' AND GREATER) TO BE ROCK OR STONE. NO WALLS IN EASEMENTS OR RIGHT-OF-WAYS.
 11. WALLS 3' OR TALLER WILL REQUIRE TO BE ENGINEERED.

All FHs and meters will also require a 20' water easement. All FHs must be min 5' from parking areas.

Trash enclosure will require oil/water separator to drain to storm sewer system.

PROPOSED 10'x13' DUMPSTER ENCLOSURE

Planning & Zoning Commission, Chairman Date
 APPROVED:
 I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the DAY day of MONTH, YEAR. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this DAY day of MONTH, YEAR.

Mayor, City of Rockwall City Secretary City Engineer

All FHs and meters will also require a 20' water easement. All FHs must be min 5' from parking areas.

Show proposed TXDOT ROW

Must be 24' wide reinforced concrete to meet fire lane requirements. If using the ex. driveway and adding onto it, you must core and test the existing paving to make sure it meets fire lane strength and standards

Min. 64'x15' hammerhead striped as "No Parking" Make need to be a fire lane turn around

You will need water easement for this area as well.

See next sheet for proposed ROW

BUFFALO CREEK BUSINESS PARK, LTD.
 VOL. 7093, PG. 142
 D.R.R.C.T.

BUFFALO CREEK BUSINESS PARK, LTD.
 VOL. 7093, PG. 138
 D.R.R.C.T.

BGE, INC.



BGE, Inc.
 2595 Dallas Parkway, Suite 101
 Frisco, TX 75034
 Tel: 972-464-4800 • www.bgeinc.com
 TBPE Registration No. F-1046
 Copyright 2020

DEVELOPER
PLATINUM CONSTRUCTION
 1450 TL TOWNSEND DR. STE 100
 ROCKWALL, TX 75032
 TEL: (469) 222-1597
 CONTACT: SHAWN WALK

OWNER
SARO PARTNERS LLC
 1450 S. T L TOWNSEND
 ROCKWALL, TX 75032
 TEL: (469) 222-1597
 CONTACT: SHAWN WALK

PLATINUM CONSTRUCTION
SITE PLAN
HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 MCKENZIE L. JOSECK P.E.
 TEXAS REGISTRATION NO. 149338
 SEPTEMBER 11, 2024

!CAUTION !
 Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION !
 CONTACT: 1-800-DIG-TESS
 48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: MLJ
 DESIGNED BY: JM
 DATE: September 2024
 PROJECT NUMBER: 13185-00

SHEET NO
SP-1

SITE PLAN
HORIZON ROAD
 2.7391 ACRES BEING SITUATED IN THE W.W FORD SURVEY, ABSTRACT NO. 80
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 SUBMITTED: SEPTEMBER 13, 2024



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 5573 FM 3097, Rockwall, TX 75032

SUBDIVISION N/A

LOT

BLOCK

GENERAL LOCATION NE side of Horizon Rd approximately 1000ft south of County Line Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C CURRENT USE Undeveloped/Agricultural

PROPOSED ZONING No Change PROPOSED USE Commercial Office/Retail

ACREAGE 2.72 AC LOTS [CURRENT] 1 LOTS [PROPOSED] 2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Saro Partners, LLC

APPLICANT BGE Inc.

CONTACT PERSON Shawn Valk

CONTACT PERSON Mckenzie Joseck

ADDRESS 1450 S. T L Townsend, Suite 100

ADDRESS 700 N Pearl St.

Suite 2100

CITY, STATE & ZIP Rockwall, TX 75032

CITY, STATE & ZIP Dallas, TX 75201

PHONE 469-222-1597

PHONE 972-372-9423

E-MAIL Shawnavalk@gmail.com

E-MAIL mjoseck@bgeinc.com

NOTARY VERIFICATION [REQUIRED]

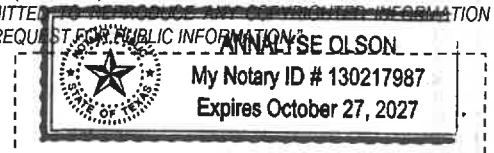
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shawn Valk [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ September TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF September, 20 24 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND DISSEMINATE INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

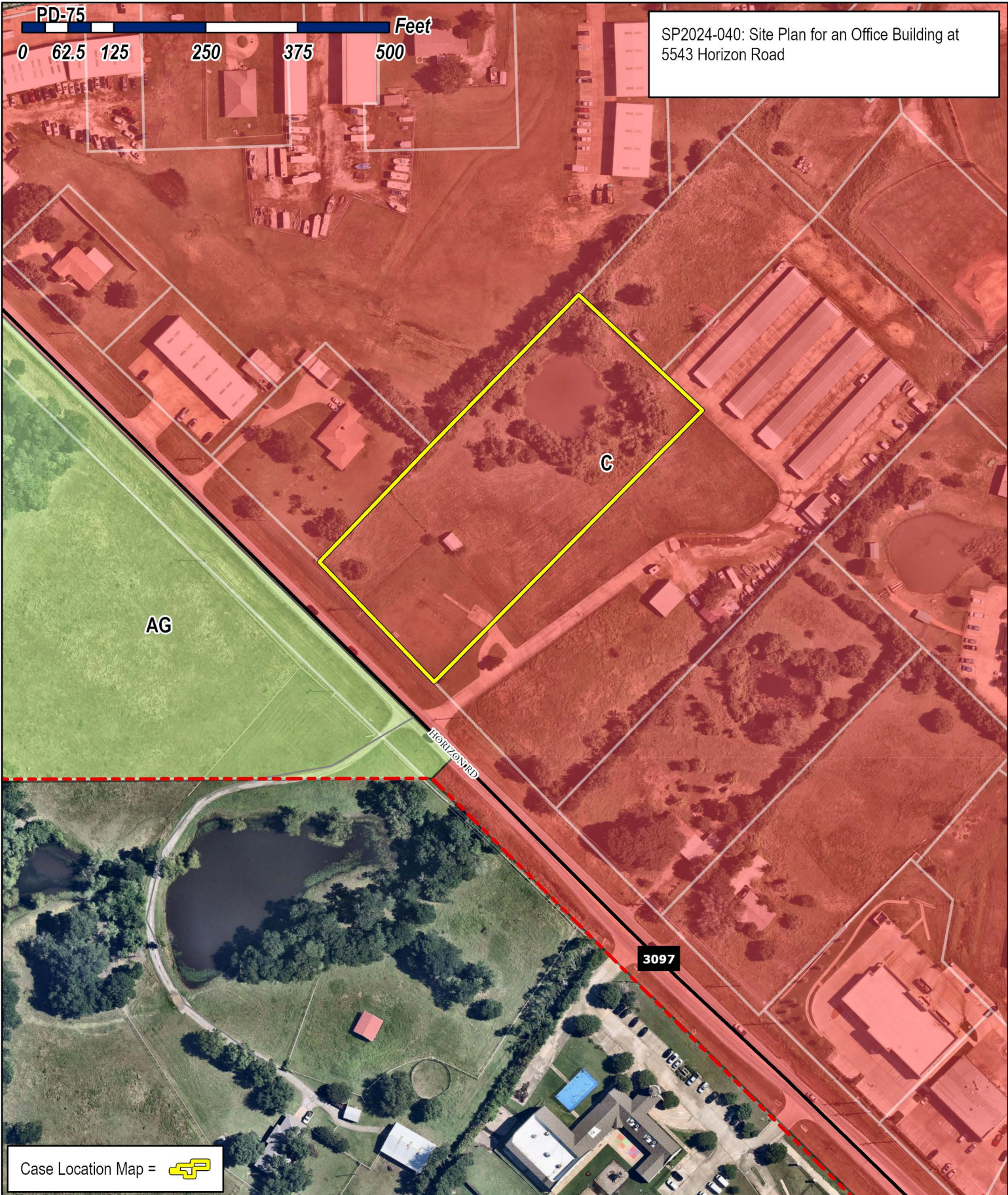
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF September, 20 24

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES October 27, 2027



SP2024-040: Site Plan for an Office Building at 5543 Horizon Road


PD-75
0 62.5 125 250 375 500 Feet

AG

C

HORIZON RD

3097

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



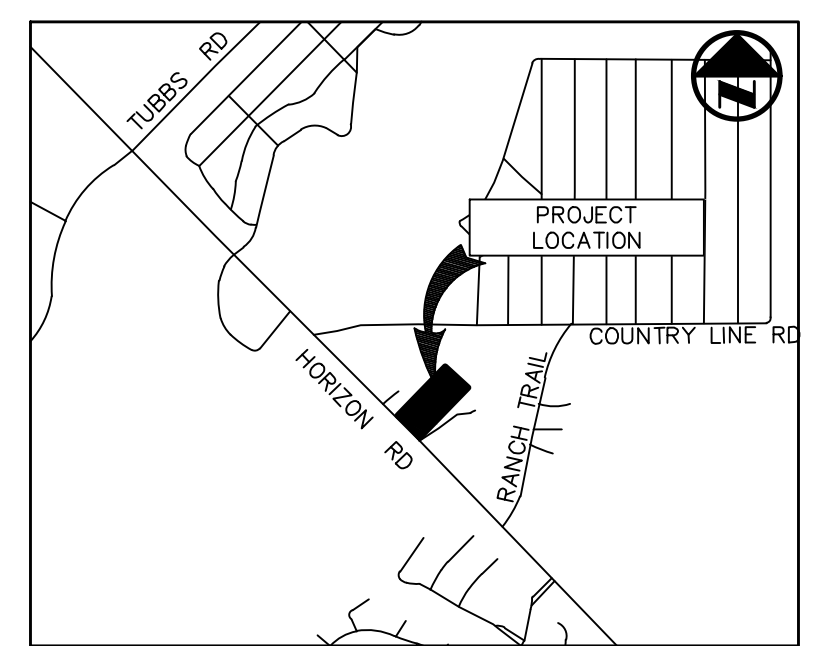
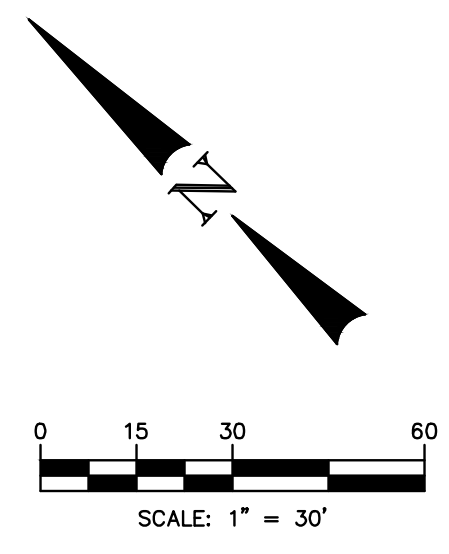
BGE, INC. \\bge\apps\tdm\Projects\Platinum_Construction\13185-00-Site_Plan_Eng_Serv_2_14_24_Horizon_Rd\13185-00-SITE_PLAN.dwg Sep 11, 2024 3:47pm rjpkoc

BUFFALO CREEK BUSINESS PARK, LTD.
VOL. 7093, PG. 142
D.R.R.C.T.

BUFFALO CREEK BUSINESS PARK, LTD.
VOL. 7093, PG. 138
D.R.R.C.T.

SITE INFORMATION												
SITE AREA (AC)		SITE AREA										
2.74 AC (119,245.51)												
BUILDING	BUILDING USE	LOT NO.	ZONING	BUILDING AREA (S.F.)	FLOOR FOOTPRINT (S.F.)	FLOOR AREA RATIO	LOT AREA (S.F.)	LOT COV. (%)	IMPERVIOUS LOT COVERAGE (S.F.)	PROPOSED BUILDING HEIGHT	# OF BUILDING STORES	PARKING RATIO
1	GHM	1	C-COMMERCIAL	16,442	16,442	0.234	99,497	27.37	46,430	42'	1+	1/100 (GHM)
1	OFFICE	2	C-COMMERCIAL	8,482	8,482	0.14	99,025	14.37	37,681	24'	1	1/300 (OFFICE)
TOTAL				24,924	24,924	0.174	198,522	21.74	84,111	66'	2	
TOTAL BLDG AREA				24,924	24,924	0.174	198,522	21.74	84,111	66'	2	

NOTE: HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS



VICINITY MAP
(NOT TO SCALE)

LEGEND

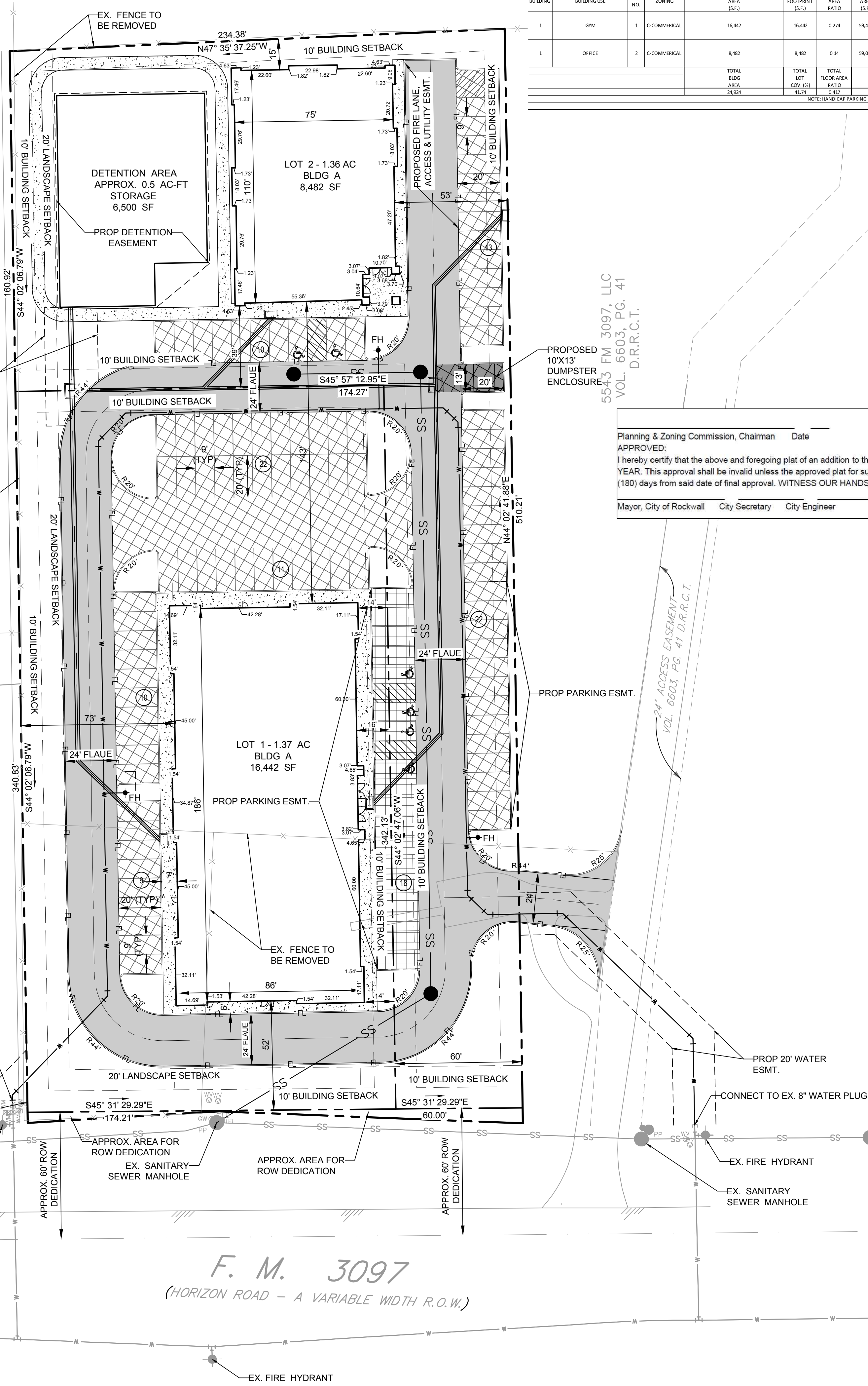
- PROPERTY LINE
- EASEMENT LINE
- PROP. CONCRETE SIDEWALK (TYP.)
- PROP. FIRE LANE, ACCESS & UTILITY ESMT.
- 5' LIGHT DUTY CONCRETE PAVEMENT
- 6' MEDIUM DUTY CONCRETE PAVEMENT
- 7' DUMPSTER CONCRETE PAVEMENT
- EXISTING FENCE
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPOSED STORM SEWER LINE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED MANHOLE
- PROPOSED IRRIGATION METER
- PROPOSED DOMESTIC METER
- PROPOSED GATE VALVE
- FIRE DEPARTMENT CONNECTION
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED WYE INLET
- PROPOSED CURB INLET

KEY

- TYP TYPICAL
- BFR BARRIER FREE RAMP
- FH FIRE HYDRANT
- SSMH SEWER MANHOLE
- LP LIGHT POLE
- CI CURB INLET
- WM WATER METER
- EB ELECTRICAL BOX
- TEL TELEPHONE PEDESTAL
- PP POWER POLE
- ESMT EASEMENT
- (N) NUMBER OF PARKING SPACES
- STMH STORM MANHOLE
- WYE WYE INLET
- FDC FIRE DEPARTMENT CONNECTION
- WV WATER VALVE
- GW GUY WIRE
- FLAUE FIRE LANE, ACCESS & UTILITY ESMT.

NOTES:

1. CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS VARY FROM THOSE SHOWN.
2. ALL WORK AND MATERIALS SHALL COMPLY WITH CITY AND COUNTY REGULATIONS AS WELL AS O.S.H.A STANDARDS.
3. ALL DIMENSIONS ARE TO THE FACE OR CURB UNLESS OTHERWISE NOTED.
4. ALL FIRE LANE RADII ARE 20-FOOT MINIMUM.
5. ALL FIRE LANES ARE 24-FOOT WIDE MINIMUM.
6. HANDICAP PARKING AND MARKING SHALL BE IN ACCORDANCE WITH ADA STANDARDS.
7. REFER TO CITY OF ROCKWALL CONSTRUCTION DETAILS AND SPECIFICATIONS.
8. ALL SCREENING SHALL BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS.
9. CONTRACTOR TO COORDINATE WITH CITY TRAFFIC ENGINEER PRIOR TO INSTALLING ROAD SIGNS OR PAVEMENT MARKINGS.
10. ALL WALLS (1.5' AND GREATER) TO BE ROCK OR STONE. NO WALLS IN EASEMENTS OR RIGHT-OF-WAYS.
11. WALLS 3' OR TALLER WILL REQUIRE TO BE ENGINEERED.



5543 FM 3097, LLC
VOL. 6603, PG. 41
D.R.R.C.T.

Planning & Zoning Commission, Chairman Date
APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the DAY day of MONTH, YEAR. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this DAY day of MONTH, YEAR.

Mayor, City of Rockwall City Secretary City Engineer

F. M. 3097
(HORIZON ROAD - A VARIABLE WIDTH R.O.W.)

SITE PLAN
HORIZON ROAD
2.7391 ACRES BEING SITUATED IN THE W.W FORD SURVEY, ABSTRACT NO. 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
SUBMITTED: SEPTEMBER 13, 2024

PLATINUM CONSTRUCTION
SITE PLAN

DEVELOPER
PLATINUM CONSTRUCTION
1450 T L TOWNSEND DR. STE 100
ROCKWALL, TX 75032
TEL: (469) 222-1597
CONTACT: SHAWN WALK

OWNER
SARO PARTNERS LLC
1450 S. T L TOWNSEND
ROCKWALL, TX 75032
TEL: (469) 222-1597
CONTACT: SHAWN WALK

HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
BGE INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
MCKENZIE L. JOSECK P.E.
TEXAS REGISTRATION NO. 149338
SEPTEMBER 11, 2024

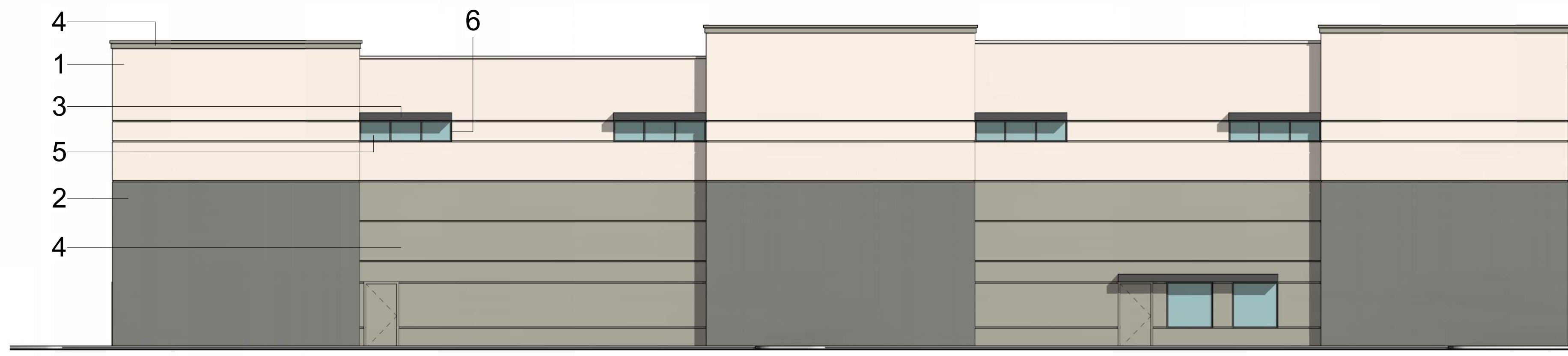
!CAUTION !
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION !
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: MLJ
DESIGNED BY: JM
DATE: September 2024
PROJECT NUMBER: 13185-00

SHEET NO
SP-1



NORTH ELEVATION

3/32" = 1'-0"



EAST ELEVATION

3/32" = 1'-0"



SOUTH ELEVATION

3/32" = 1'-0"

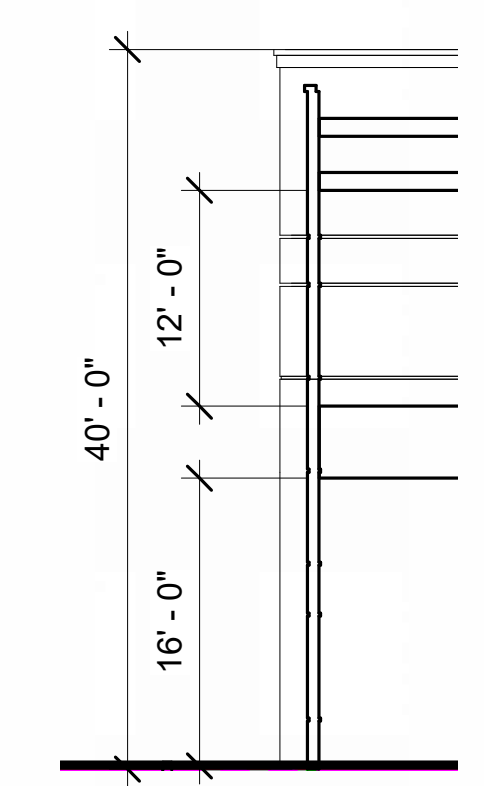


WEST ELEVATION

3/32" = 1'-0"

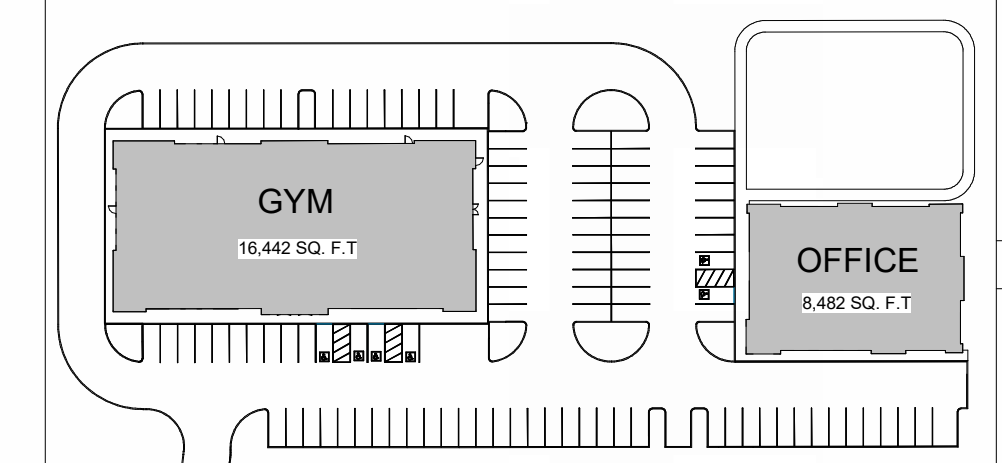
MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
- 4 - **PAINTED STUCCO:**
MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT: 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE



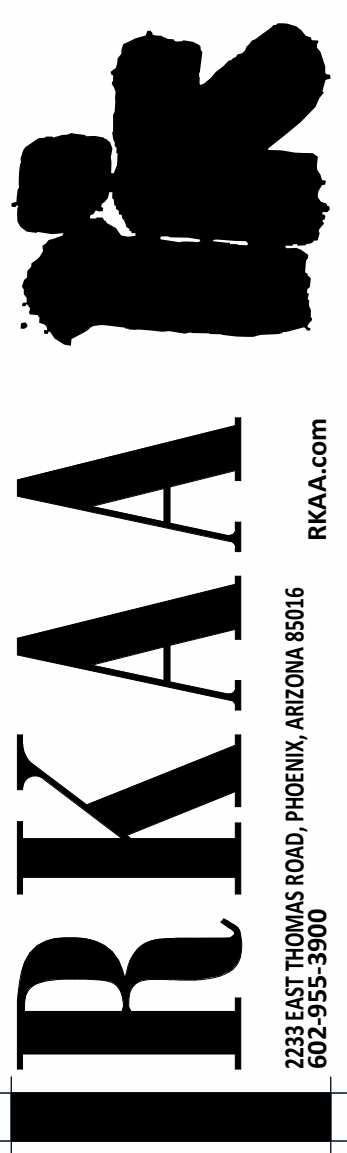
GYM

3/32" = 1'-0"



KEYPLAN

1" = 100'-0"



2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900

DATE: 09-11-2024

GYM - ELEVATIONS

NOTICE OF ACCURATE BILLING OR PAYMENT CYCLE:
THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
THE SUBMISSION OF BILLING OR PAYMENT IN
BILLING CYCLES OTHER THAN THIRTY DAYS. THIS
CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT
ON SOME ALTERNATE SCHEDULE AFTER
CONSTRUCTION AND APPROVAL OF BILLING AND
ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER
BILLING CYCLE APPLICABLE TO THE PROJECT IS
AVAILABLE FROM OWNER OR DESIGNATED AGENT.
NAME:
ADDRESS:
CONTACT:
PHONE:

5543 HORIZON ROAD ROCKWALL, TEXAS
(SCHEMATIC DESIGN)

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PERMISSION OF THE CORPORATION.

DESIGN BY: KR
DRAWN BY: KR
CHECKED BY: NF

A1.1
PROJECT #: 24216.50



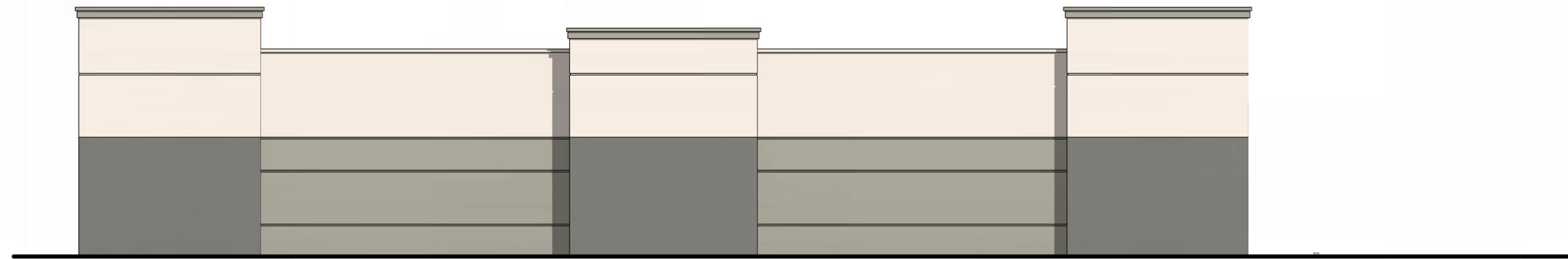
NOTICE OF ACCURATE BILLING OR PAYMENT CYCLE:
 THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
 THE SUBMISSION OF BILLING OR PAYMENTS BY
 BILLING CYCLES OTHER THAN THIRTY DAYS. THIS
 CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT
 ON SOME ALTERNATIVE SCHEDULE AFTER
 CONSULTATION AND APPROVAL OF BILLING AND
 ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER
 BILLING CYCLE APPLICABLE TO THE PROJECT IS
 AVAILABLE FROM OWNER OR DESIGNATED AGENT.
 NAME:
 ADDRESS:
 CONTACT:
 PHONE:

5543 HORIZON ROAD ROCKWALL, TEXAS
 (SCHEMATIC DESIGN)

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DESIGN BY: KR
 DRAWN BY: KR
 CHECKED BY: NF

A1.2
 PROJECT #: 24216.50



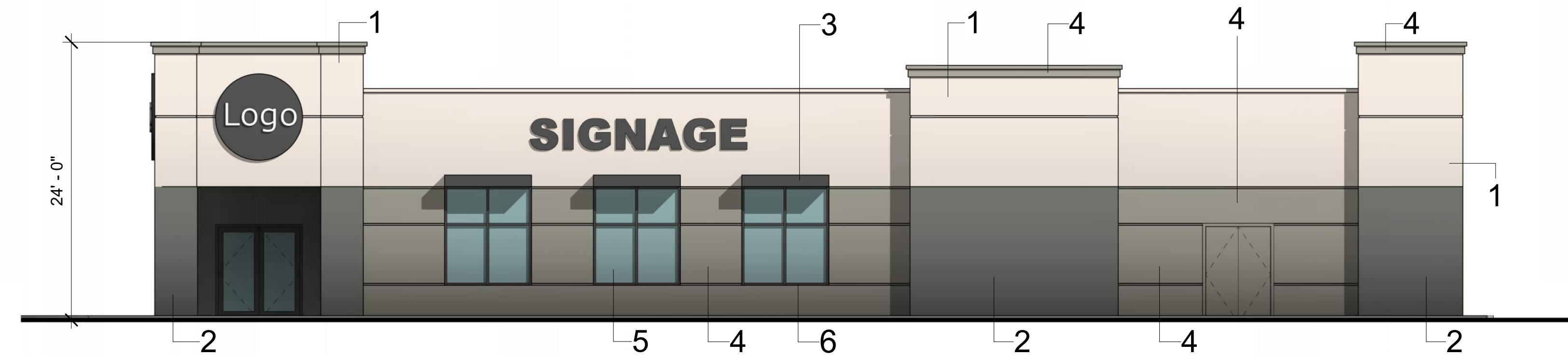
NORTH OFFICE BUILDING ELEVATION

1/8" = 1'-0"



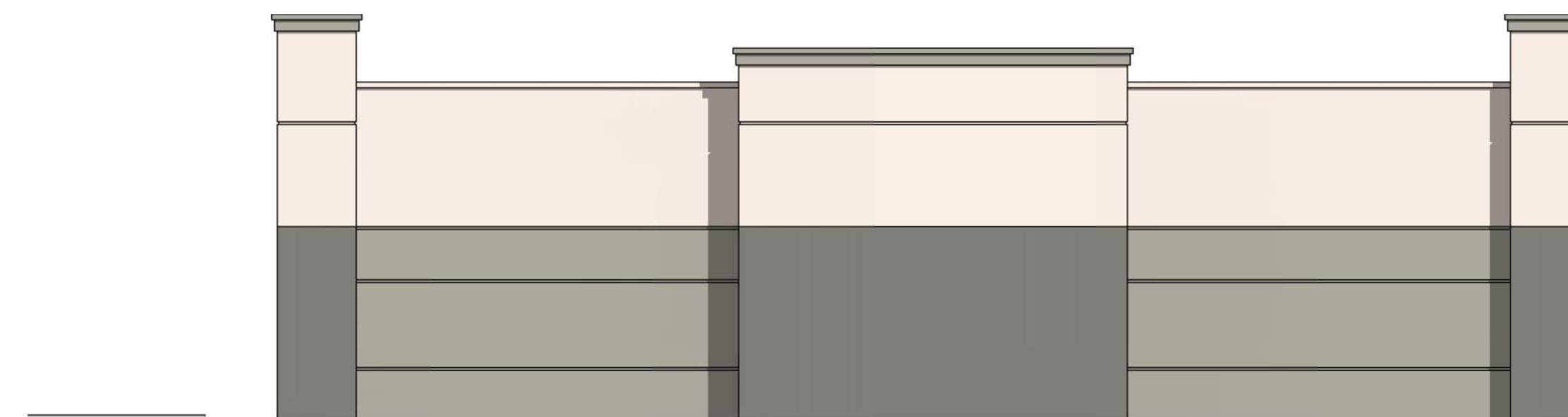
WEST OFFICE BUILDING ELEVATION

1/8" = 1'-0"



SOUTH OFFICE BUILDING ELEVATION

1/8" = 1'-0"



EAST OFFICE BUILDING ELEVATION

1/8" = 1'-0"

MATERIALS & COLORS:

- 1 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: FRENCH WHITE
SPEC: DEW311
- 2 - **STUCCO-PAINTED:**
MFG: DUNN-EDWARDS
COLOR: STONE MASON
SPEC: DET615
- 3 - **PAINTED METAL:**
MFG: DUNN-EDWARDS
COLOR: CAVERNOUS
SPEC: DE6364
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MFG: DUNN-EDWARDS
COLOR: WHALE WATCHING
SPEC: DET512
- 5 - **GLAZING:**
MFG: SOLARBAN
COLOR: SOLARBAN 90(2) SOLARGRAY + CLEAR
VLT 26%
- 6 - **STOREFRONT MULLIONS:**
MFG: KAWNEER
COLOR: DARK BRONZE



RKAA
2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016
602-955-3900
rkaa.com

DATE: 09-11-2024

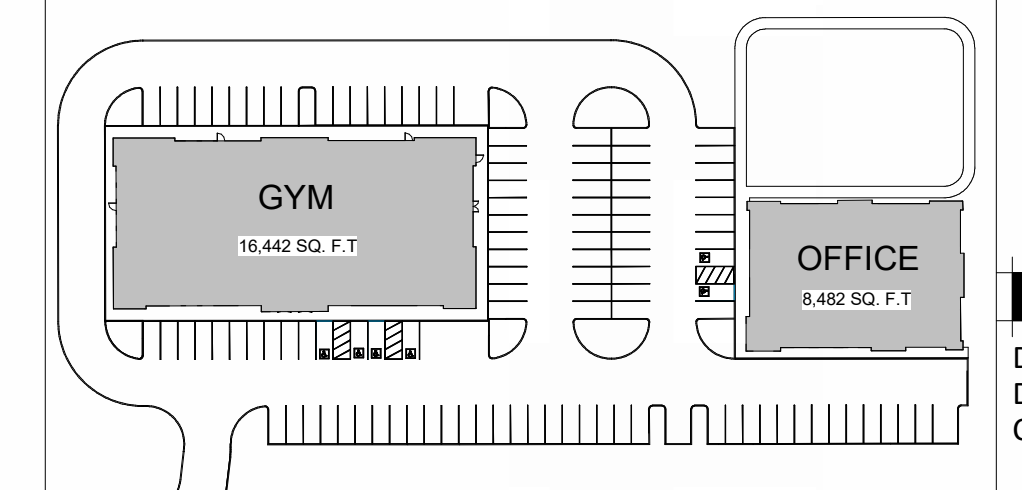
OFFICE - ELEVATIONS

NOTICE OF ACCURATE BILLING OR PAYMENT CYCLE: THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE THE SUBMISSION OF BILLING OR PAYMENTS IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACTOR MAY ALLOW OWNER TO MAKE PAYMENT ON SOME ALTERNATE SCHEDULE AFTER CONSULTATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.

NAME:
ADDRESS:
CONTACT:
PHONE:

5543 HORIZON ROAD ROCKWALL, TEXAS

(SCHEMATIC DESIGN)



KEYPLAN.

1" = 100'-0"

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DESIGN BY: KR
DRAWN BY: KR
CHECKED BY: NF

A2.1
PROJECT #: 24216.50



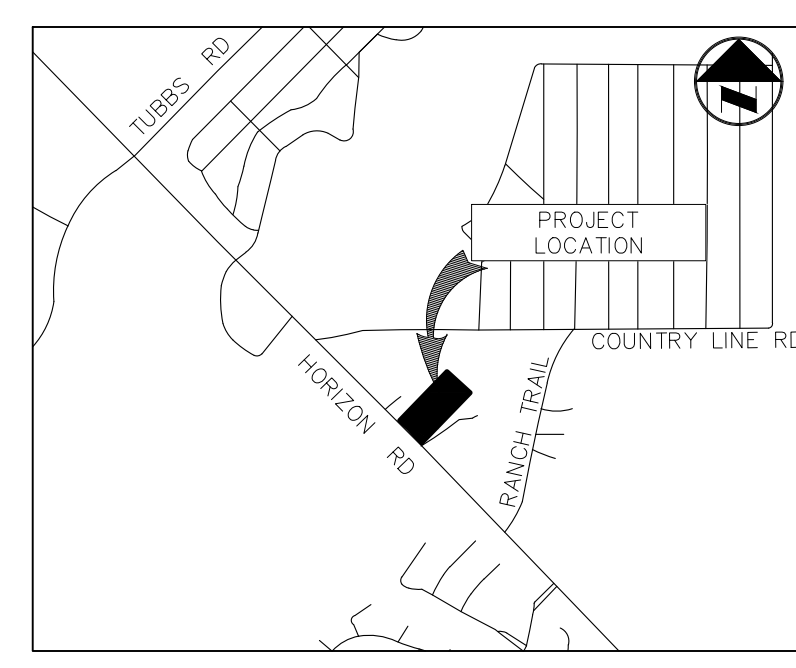
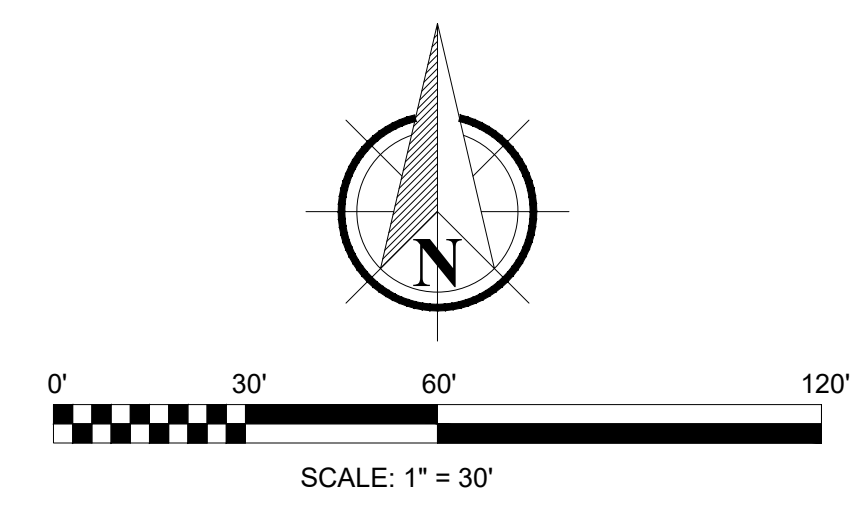
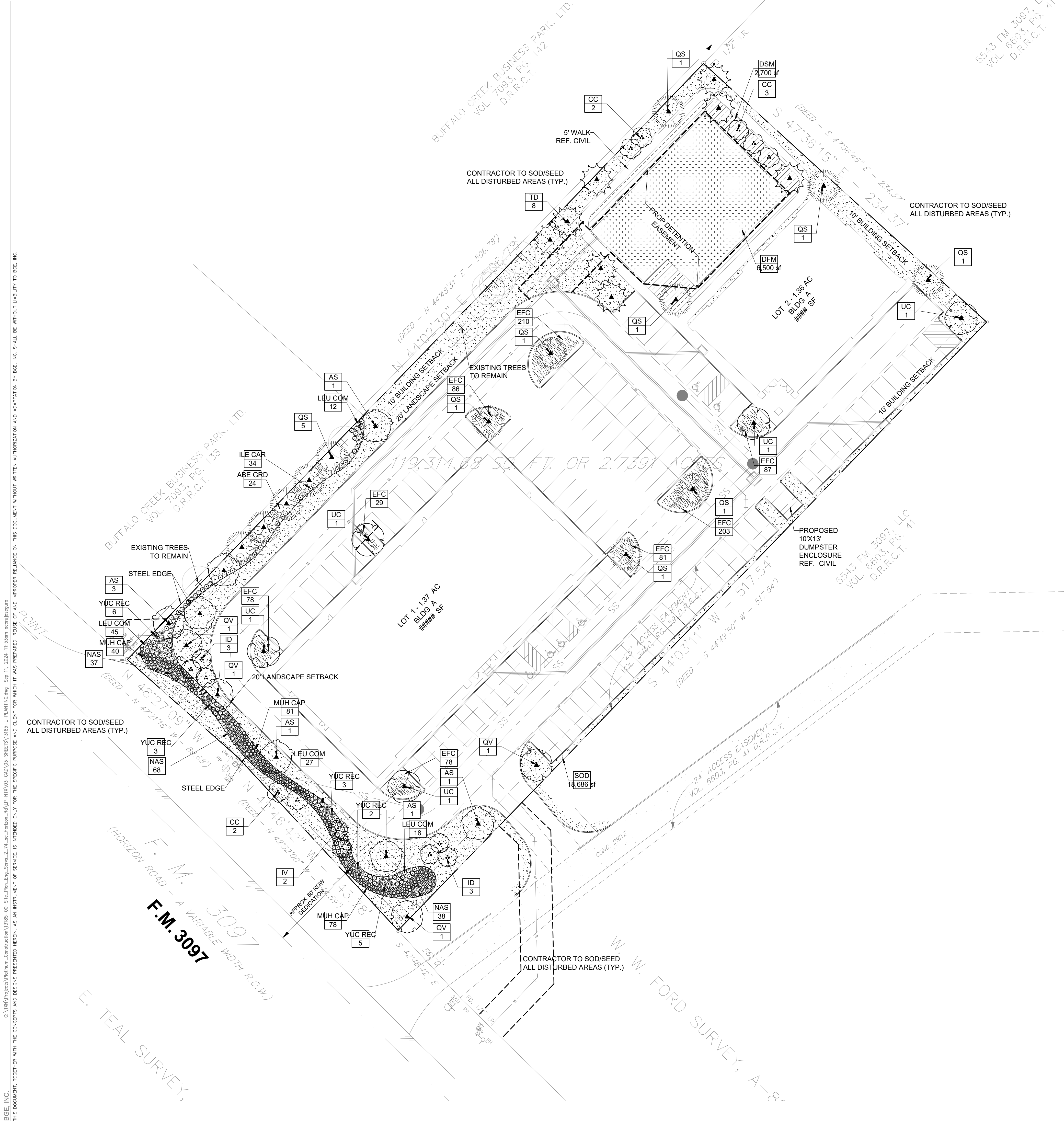
NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:
 THIS CONTRACTOR MAY ALLOW THE OWNER TO REQUIRE
 THE SUBMISSION OF BILLING OR ESTIMATES BY
 BILLING CYCLES OTHER THAN THIRTY DAYS. THIS
 CONTRACTOR MAY ALLOW OTHER TO MAKE PAYMENT
 ON SOME ALTERNATE SCHEDULE AFTER
 CONSULTATION AND APPROVAL OF BILLING AND
 ESTIMATES. A WRITTEN DESCRIPTION OF SUCH OTHER
 BILLING CYCLE APPLICABLE TO THE PROJECT IS
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 NAME:
 ADDRESS:
 CONTACT:
 PHONE:

5543 HORIZON ROAD ROCKWALL, TEXAS
 (SCHEMATIC DESIGN)

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DESIGN BY: KR
 DRAWN BY: KR
 CHECKED BY: NF

A2.2
 PROJECT #: 24216.50



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
CANOPY TREES			
	AS	Acer saccharum caddo	Caddo Sugar Maple
	QS	Quercus shumardii	Shumard Red Oak
	QV	Quercus virginiana	Southern Live Oak
	TD	Taxodium distichum	Bald Cypress
	UC	Ulmus crassifolia	Cedar Elm
ORNAMENTAL TREES			
	CC	Cercis canadensis	Eastern Redbud
	ID	Ilex decidua	Possumhaw Holly
	IV	Ilex vomitoria	Yaupon Holly
SHRUBS			
	ABE GRD	Abelia x grandiflora	Glossy Abelia
	ILE CAR	Ilex cornuta 'Carissa'	Carissa Holly
	LEU COM	Leucophyllum frutescens 'Compacta'	Compact Texas Sage
	YUC REC	Yucca recurvifolia	Soft Leaf Yucca
GRASSES			
	MUH CAP	Muhlenbergia capillaris	Pink Muhly
	NAS	Nassella tenuissima	Mexican Feather Grass
GROUND COVER			
	EFC	Euonymus fortunei 'Coloratus'	Purple-leaf Winter Creeper
SEED			
	DSM		Dam Slope Mix
	DFM		Drainfield Mix
SOD			
	SOD	Cynodon dactylon	Common Bermuda Grass
MISC			
	STEEL EDGE	TBD	Steel Edging
	MULCH	TBD	Shredded Hardwood Mulch

BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPE Registration No. F-1046
Copyright 2024

DEVELOPER
PLATINUM CONSTRUCTION
1450 TOWNSEND DR. STE 100
ROCKWALL, TX 75032
TEL: (469) 222-1597
CONTACT: SHAWN VALK

OWNER
SARO PARTNERS LLC
1450 S. T L TOWNSEND
ROCKWALL, TX 75032
TEL: (000) 000-0000
CONTACT: JAY KANTER

CITY SUBMITTAL SET

PLANTING PLAN

HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
MICHAEL STOTTLER, PLA
TEXAS REGISTRATION NO. 3743
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
9/11/2024

!CAUTION!
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION!!!
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: MLS
DESIGNED BY: NPS
DATE: 9/11/2024
PROJECT NUMBER: 13185-00

SHEET NO
L2.02
PLANTING PLAN

Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)

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 2595 Dallas Parkway, Suite 101
 Frisco, TX 75034
 Tel: 972-464-4800 • www.bgeinc.com
 TBPE Registration No. F-1046
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DEVELOPER
PLATINUM CONSTRUCTION
 1450 T L TOWNSEND DR. STE 100
 ROCKWALL, TX 75032
 TEL: (469) 222-1597
 CONTACT: SHAWN VALK

OWNER
SARO PARTNERS LLC
 1450 S. T L TOWNSEND
 ROCKWALL, TX 75032
 TEL: (000) 000-0000
 CONTACT: JAY KANTER

HORIZON RD. COMMERCIAL OFFICES
 W.W FORD SURVEY, ABSTRACT NO. 80, TRACT
 26-4
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CITY SUBMITTAL SET
PLANTING DETAILS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
 MICHAEL STOTTILER, P.L.A.
 TEXAS REGISTRATION NO. 3743
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 9/11/2024

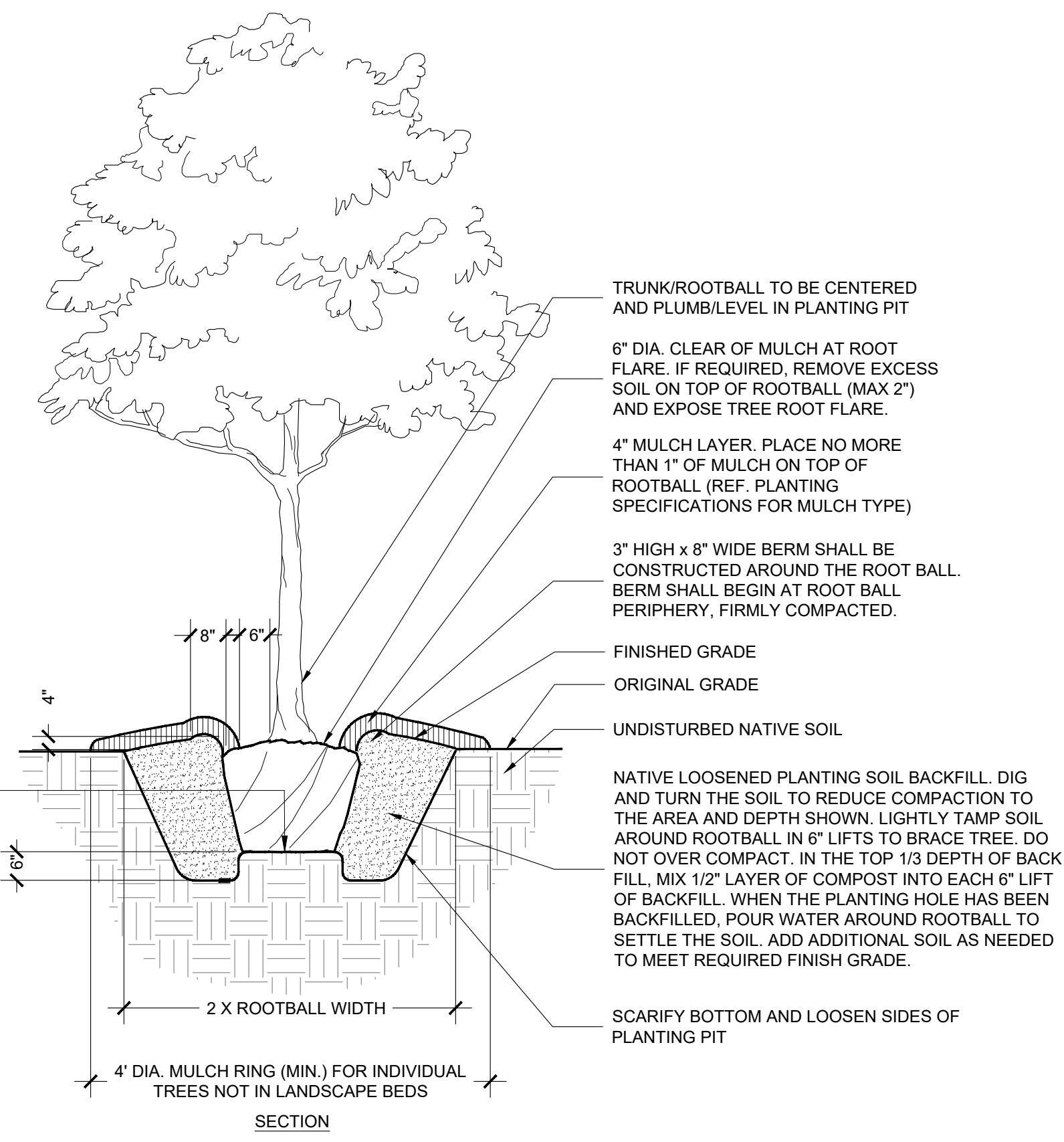
!CAUTION!
 Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

!CAUTION!
 CONTACT: 1-800-DIG-TESS
 48 HOURS PRIOR TO CONSTRUCTION

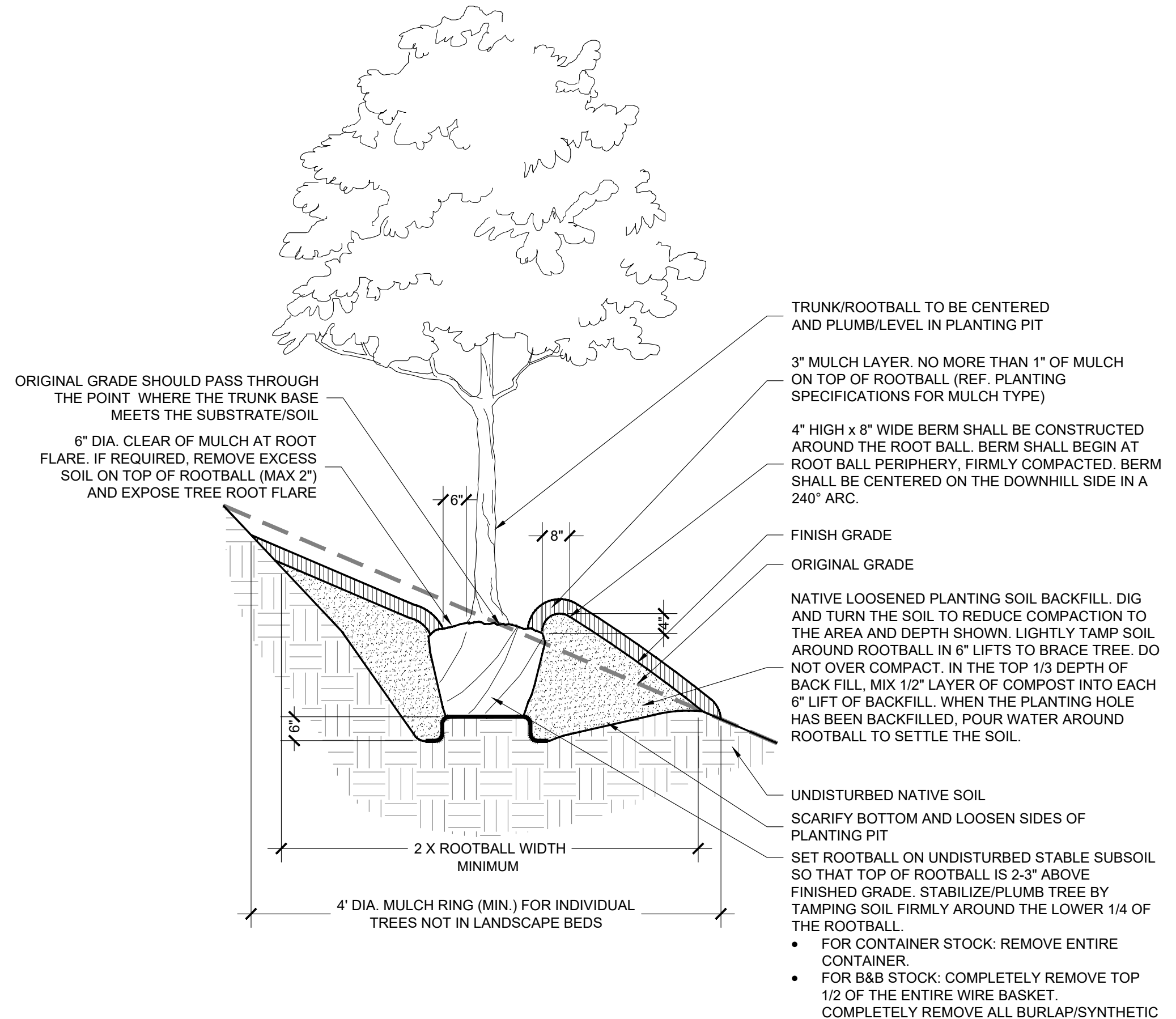
REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: MLS
 DESIGNED BY: NPS
 DATE: 9/11/2024
 PROJECT NUMBER: 13185-00

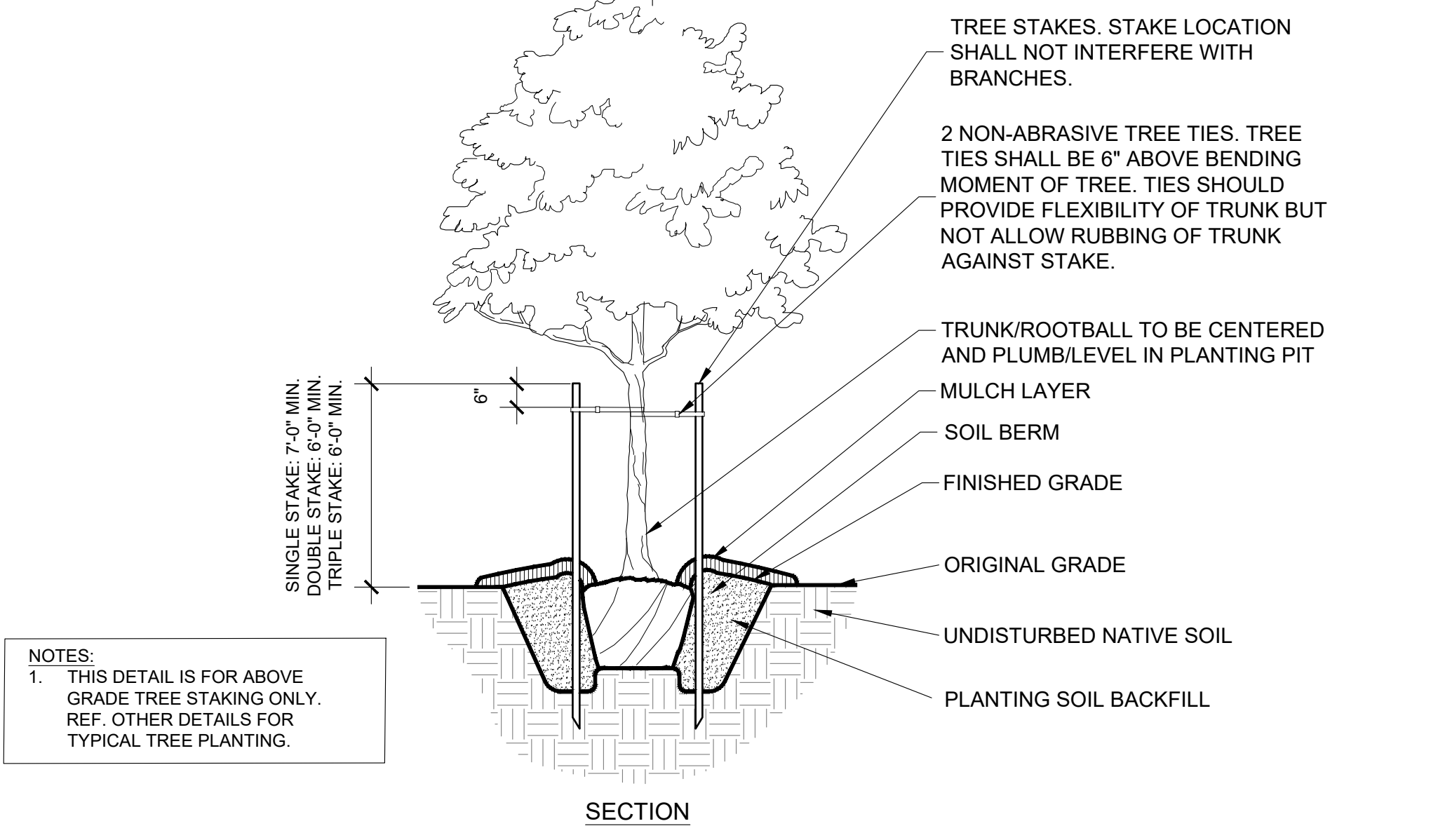
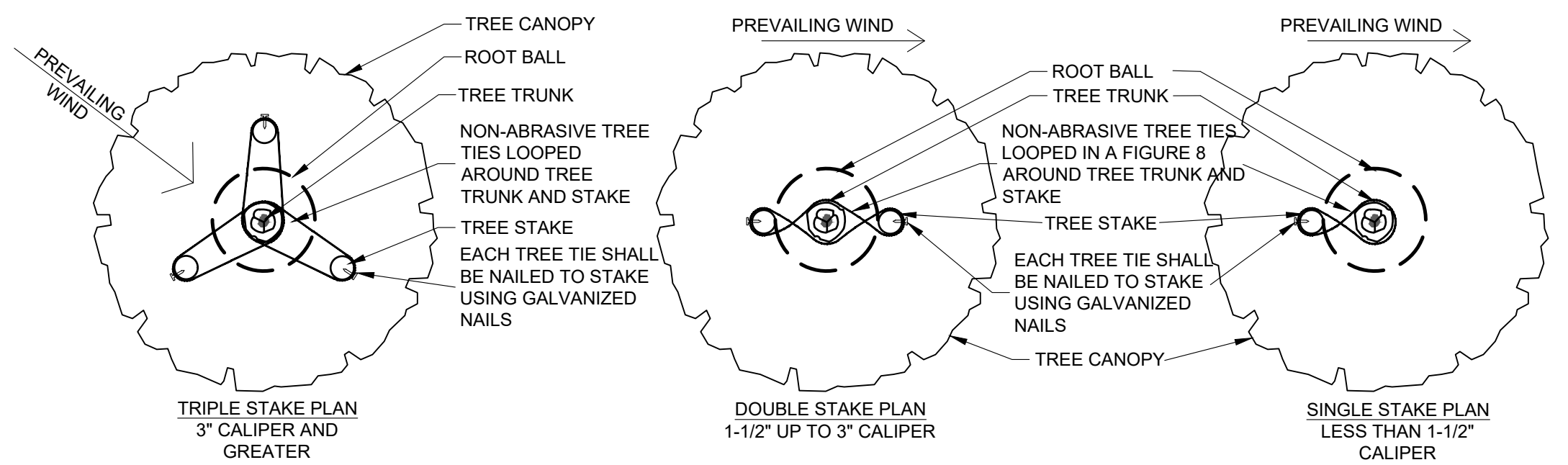
SHEET NO
L2.03
 PLANTING DETAILS



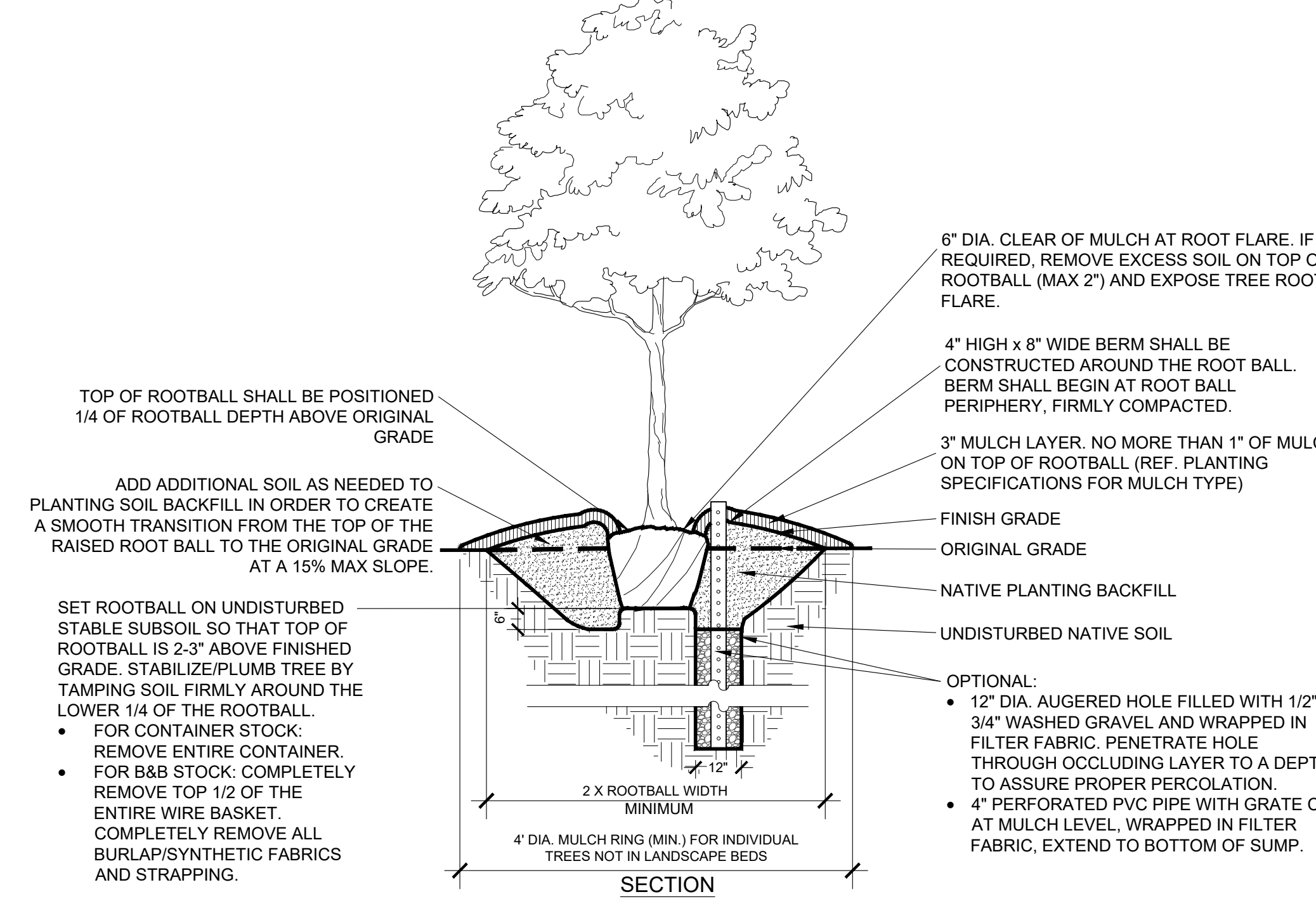
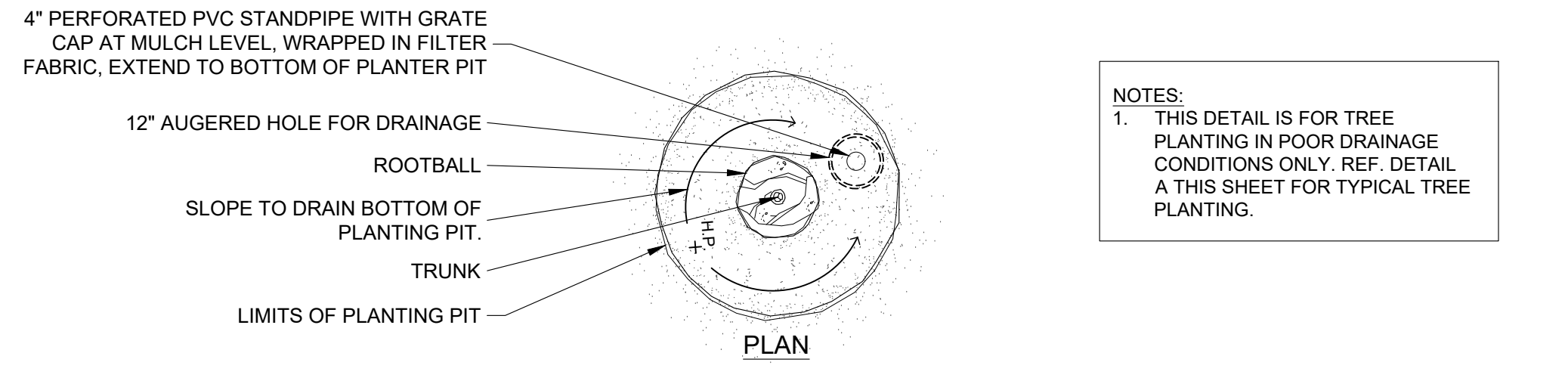
A TYPICAL TREE PLANTING (UP TO 3" CALIPER)
 SECTION NOT TO SCALE



C TREE PLANTING ON 5-25% SLOPES (20:1 TO 4:1 SLOPES)
 SECTION NOT TO SCALE



B TYPICAL TREE STAKING
 SECTION/PLAN NOT TO SCALE



D PLANTING IN WET CONDITIONS
 SECTION/PLAN NOT TO SCALE



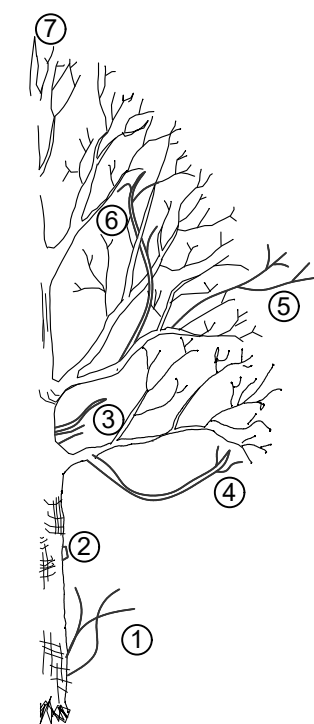
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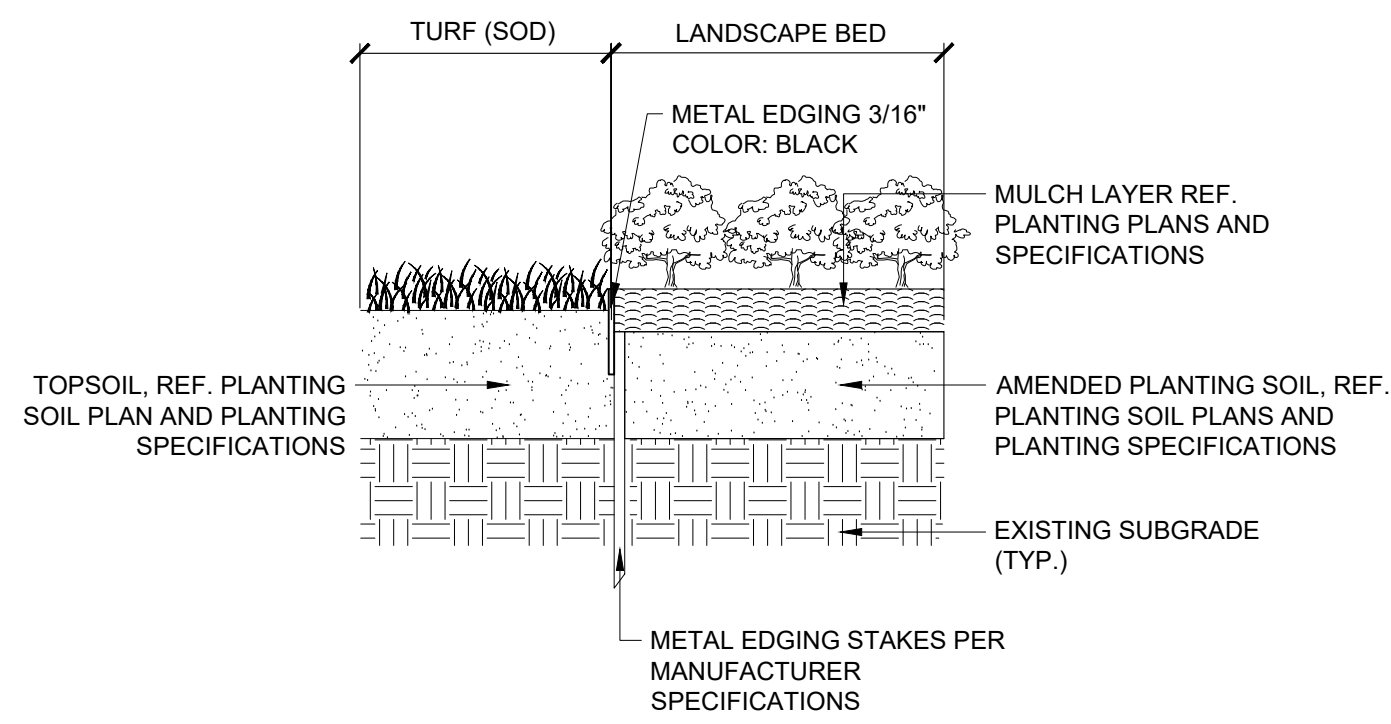
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1. REMOVE SUCKER SHOOTS AT BASE OF TREE.
2. MAKE CLEAN CUTS ON OLD STUNDS IF PRESENT.
3. REMOVE ENTIRE SUPPLY OF TWIGS AND BUDS ON TRUNK.
4. REMOVE LOWER BRANCH WHERE AN OVERLYING BRANCH OCCUPIES APPROX. SAME AREA.
5. SHAPE TREE BY REMOVING INJURED AND MISSHAPED BRANCHES.
6. REMOVE CROSS BRANCHES AND THOSE DEVELOPING INTO SECONDARY LEADERS.
7. DO NOT REMOVE LEADER.

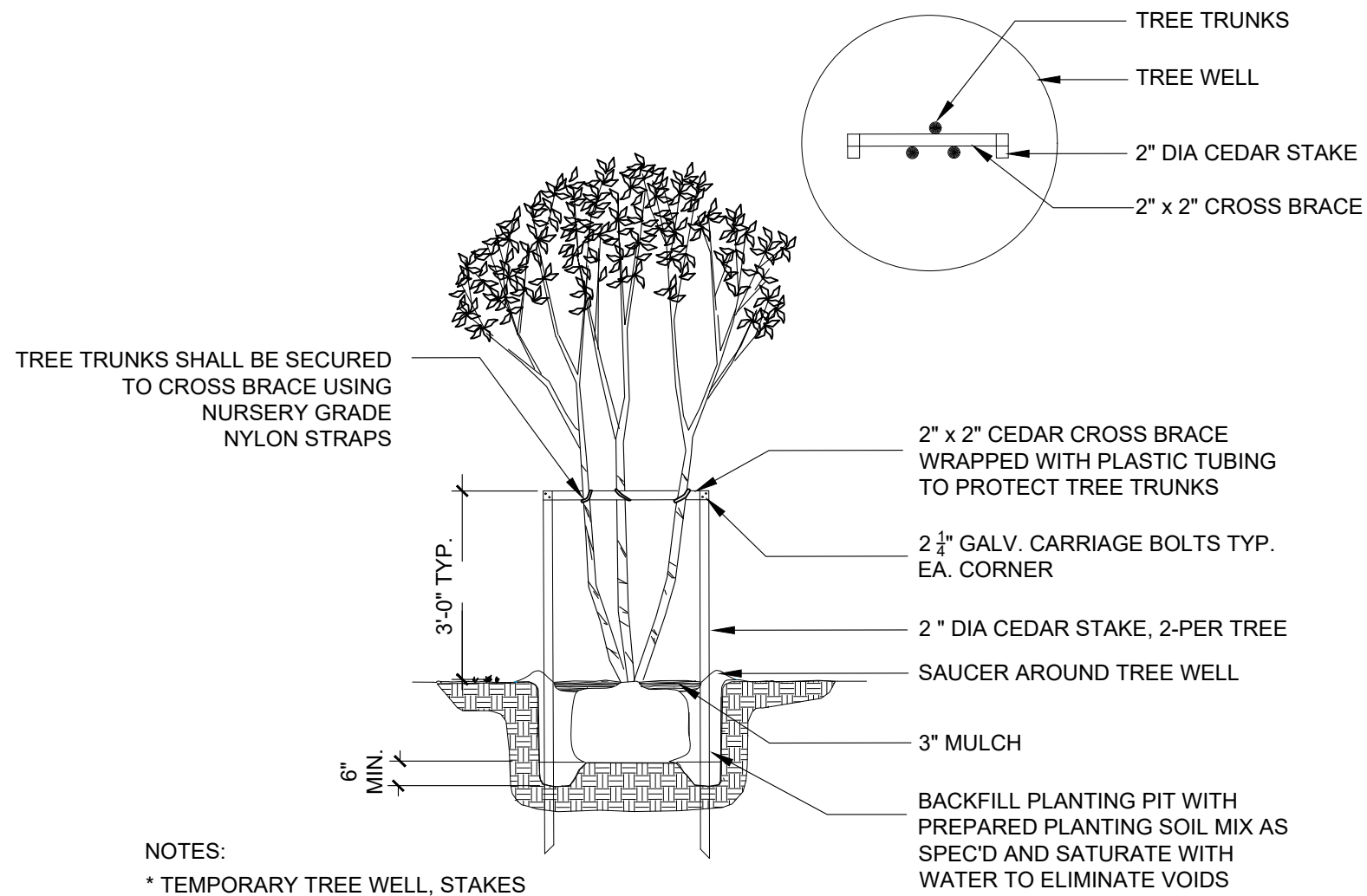
NOTE: DASHED LINES INDICATE BRANCHES TO BE REMOVED. NO MORE THAN 20 PERCENT OF LIMBS, FOLIAGE, ETC., TO BE REMOVED, UNLESS NOTED OTHERWISE.



A SHADE TREE PRUNING
SECTION NOT TO SCALE

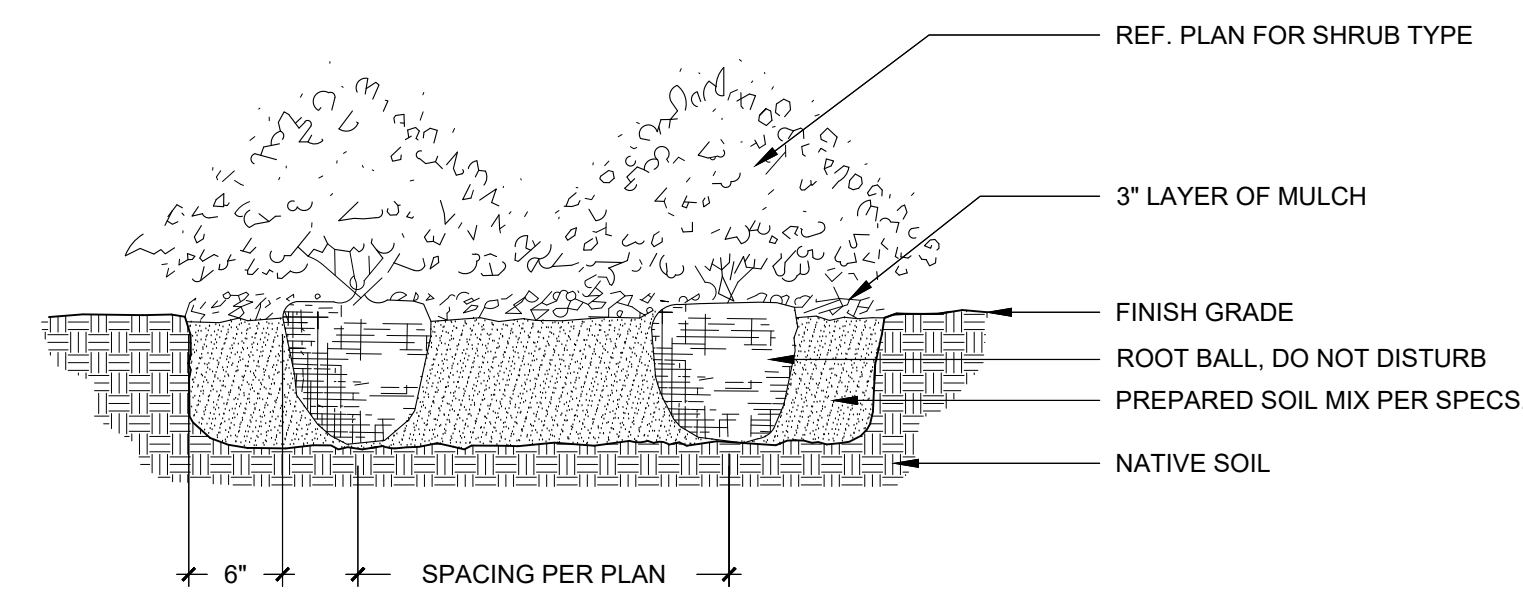


E STEEL EDGE
SECTION NOT TO SCALE

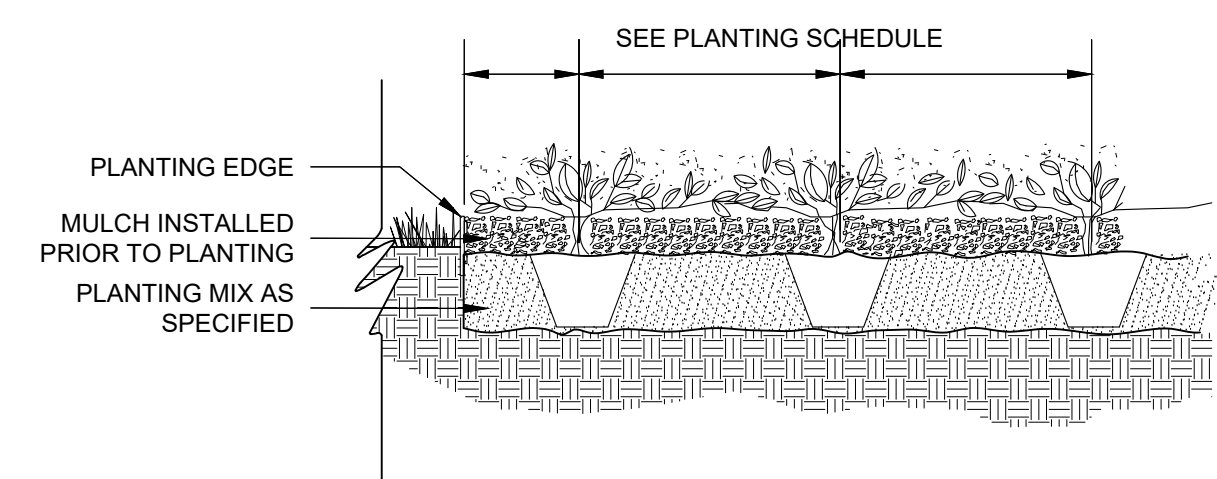


NOTES:
 * TEMPORARY TREE WELL, STAKES AND CROSS BRACE TO BE REMOVED AFTER ONE FULL GROWING SEASON.
 OF THE BRANCH STRUCTURE SHALL BE REMOVED BY THINNING BUT THE NATURAL CHARACTER AND GENERAL SHAPE OF THE TREE SHALL BE PRESERVED.

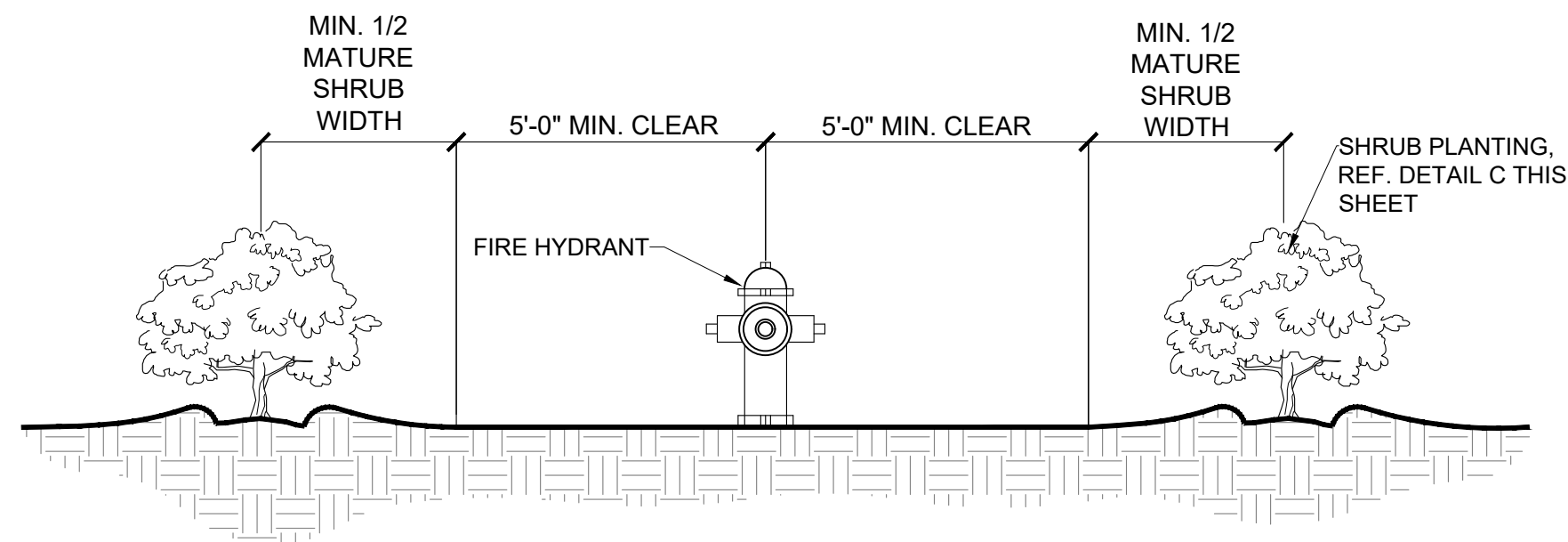
B ORNAMENTAL / MULTI-TRUNK TREE PLANTING
SECTION / ELEVATION NOT TO SCALE



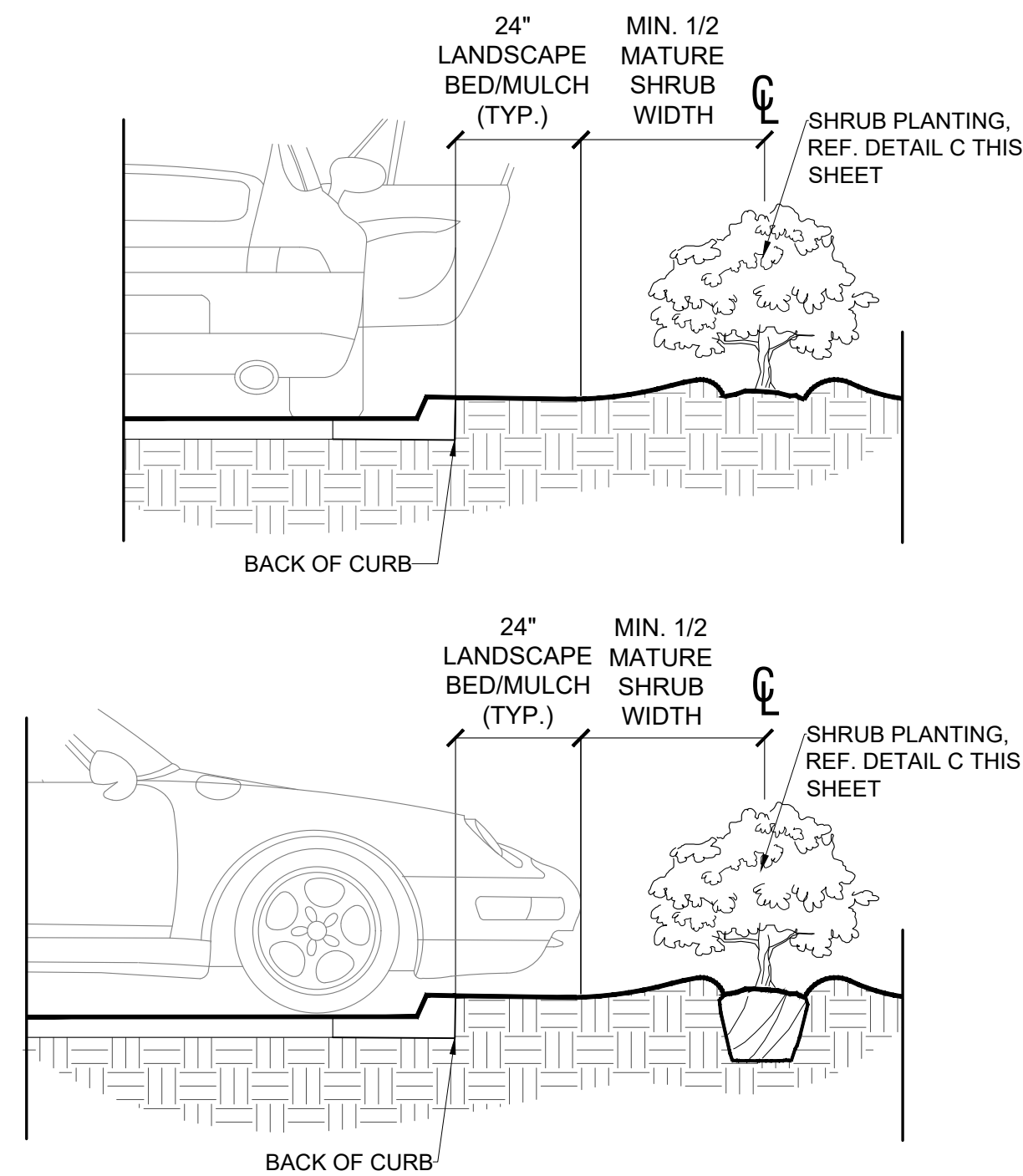
C SHRUB PLANTING
SECTION NOT TO SCALE



D GROUNDCOVER PLANTING
SECTION NOT TO SCALE



F PLANTING AT FIRE HYDRANT
SECTION NOT TO SCALE



G PLANTING AT CURB
SECTION NOT TO SCALE



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OWNER
SARO PARTNERS LLC
 1450 S. T L TOWNSEND
 ROCKWALL, TX 75302
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 CONTACT: JAY KANTER

CITY SUBMITTAL SET
PLANTING DETAILS
HORIZON RD. COMMERCIAL OFFICES
 W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
 MICHAEL STOTTLER, PLA
 TEXAS REGISTRATION NO. 3743
 BGE, INC.
 REGISTERED ENGINEERING FIRM F-1046
 9/11/2024

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 Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

CAUTION!!!
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 48 HOURS PRIOR TO CONSTRUCTION

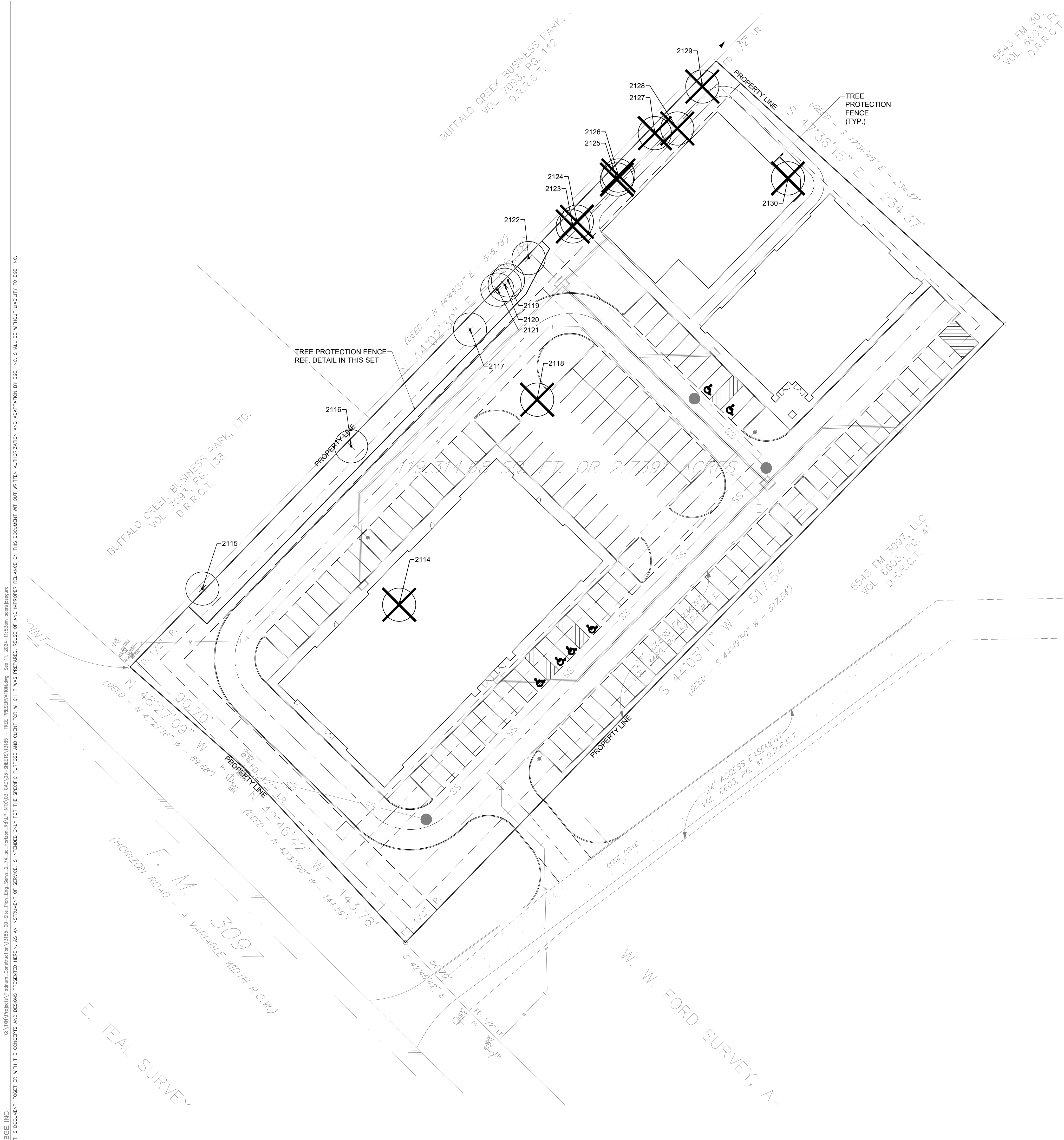
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REV. NO.	DATE	DESCRIPTION

CHECKED BY: MLS
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 DATE: 9/11/2024
 PROJECT NUMBER: 13185-00

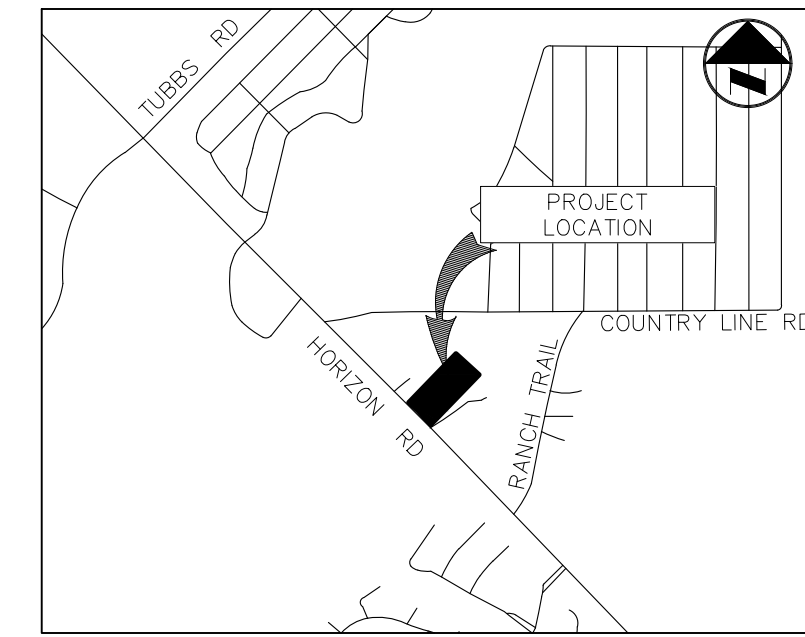
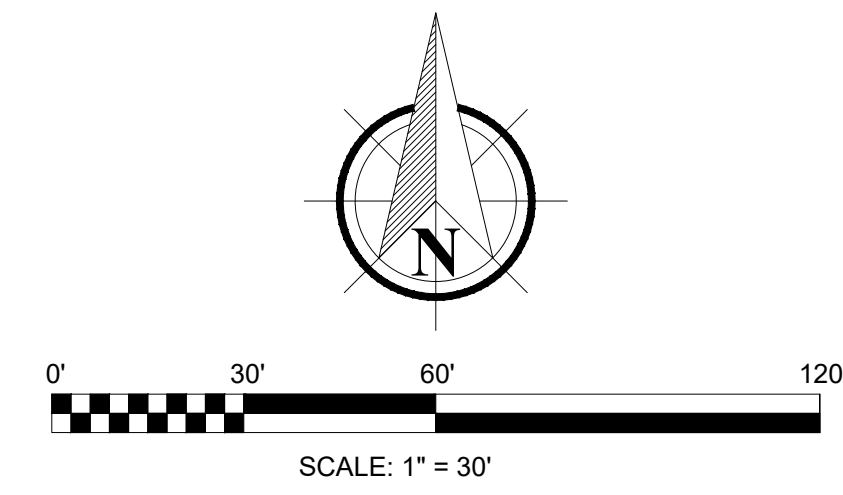
SHEET NO
L2.04
 PLANTING DETAILS



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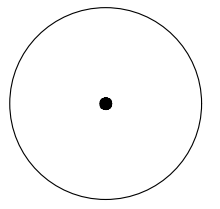
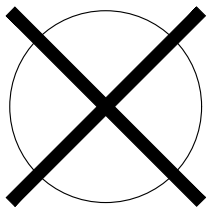



5543 FM 3097
VOL. 6603, PG. 41
D.R.R.C.T.



VICINITY MAP
(NOT TO SCALE)

LEGEND

-  PRESERVED TREE
-  TREE TO BE REMOVED
-  TREE PROTECTION FENCE

TAG#	DBH	COMMON NAME	SCIENTIFIC NAME	STATUS	MITIGATION INCHES
2114	4"	Hercules Club	<i>Zanthoxylum clava-herculis</i>	Demo	0
2115	11"	Sugarberry	<i>Celtis laevigata</i>	Remain	0
2116	14.5"	Sugarberry	<i>Celtis laevigata</i>	Remain	0
2117	18"	Sugarberry	<i>Celtis laevigata</i>	Remain	0
2118	25"	Sugarberry	<i>Celtis laevigata</i>	Demo	12.5
2119	16.5"	Sugarberry	<i>Celtis laevigata</i>	Remain	0
2120	11.5"	Sugarberry	<i>Celtis laevigata</i>	Remain	0
2121	16"	Sugarberry	<i>Celtis laevigata</i>	Remain	0
2122	16.5"	Sugarberry	<i>Celtis laevigata</i>	Remain	0
2123	23"	Sugarberry	<i>Celtis laevigata</i>	Demo	11.5
2124	15"	Sugarberry	<i>Celtis laevigata</i>	Demo	7.5
2125	14"	Sugarberry	<i>Celtis laevigata</i>	Demo	7
2126	11"	Eastern Red Cedar	<i>Juniperus virginiana</i>	Demo	5.5
2127	23"	Sugarberry	<i>Celtis laevigata</i>	Demo	11.5
2128	13"	Sugarberry	<i>Celtis laevigata</i>	Demo	6.5
2129	22"	Sugarberry	<i>Celtis laevigata</i>	Demo	11
2130	7"	Hercules Club	<i>Zanthoxylum clava-herculis</i>	Demo	0
TOTAL MITIGATION INCHES					73

CITY SUBMITTAL SET
TREE PRESERVATION PLAN
HORIZON RD. COMMERCIAL OFFICES
W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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RESPONSIBLE LANDSCAPE ARCHITECT:
MICHAEL STOTTLER, P.L.A.
TEXAS REGISTRATION NO. 3743
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
9/11/2024

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REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: MLS
DESIGNED BY: NPS
DATE: 9/11/2024
PROJECT NUMBER: 13185-00

SHEET NO
L1.00

TREE PRESERVATION PLAN



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CITY SUBMITTAL SET

TREE PRESERVATION DETAILS

HORIZON RD. COMMERCIAL OFFICES
 W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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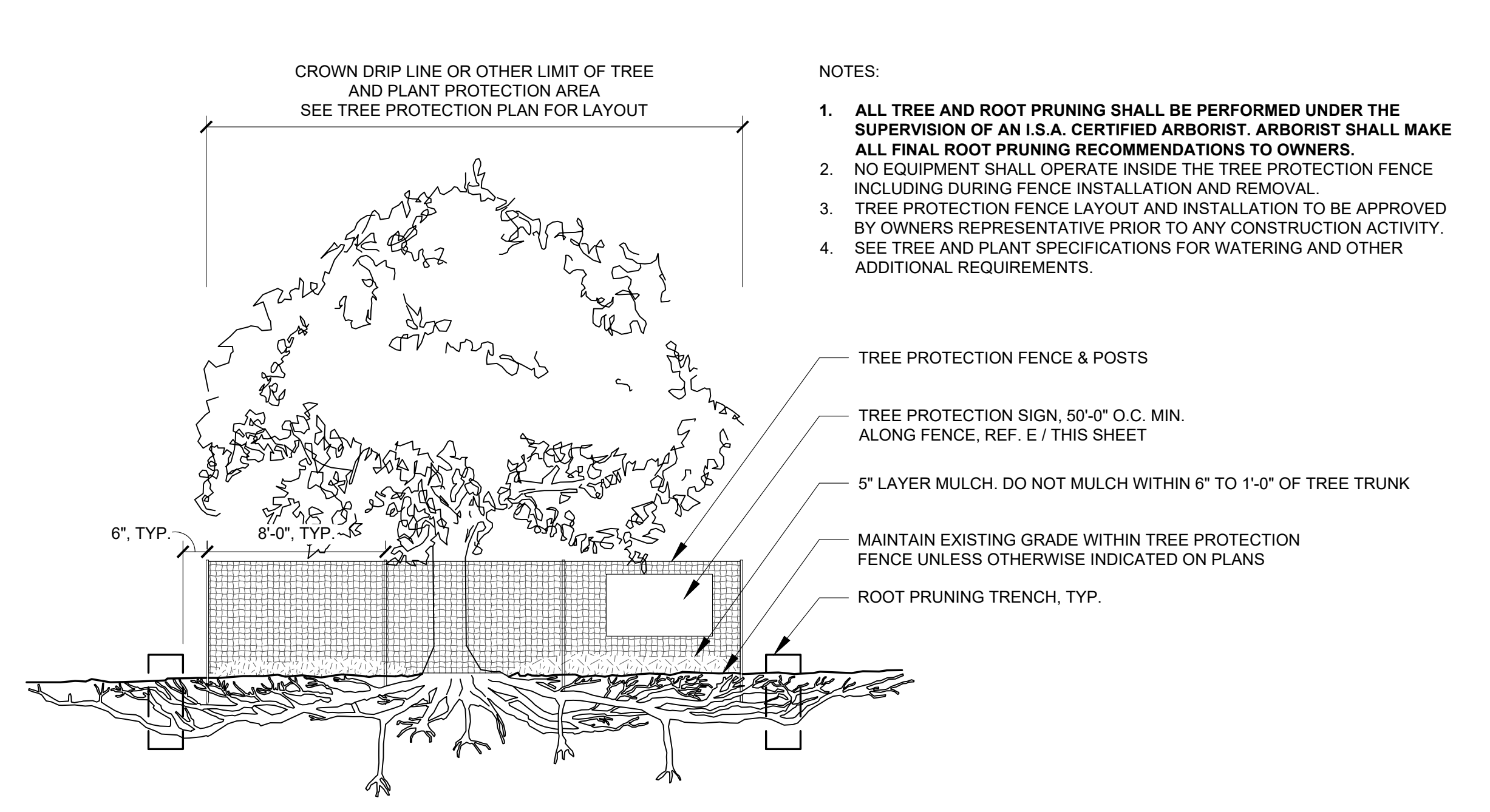
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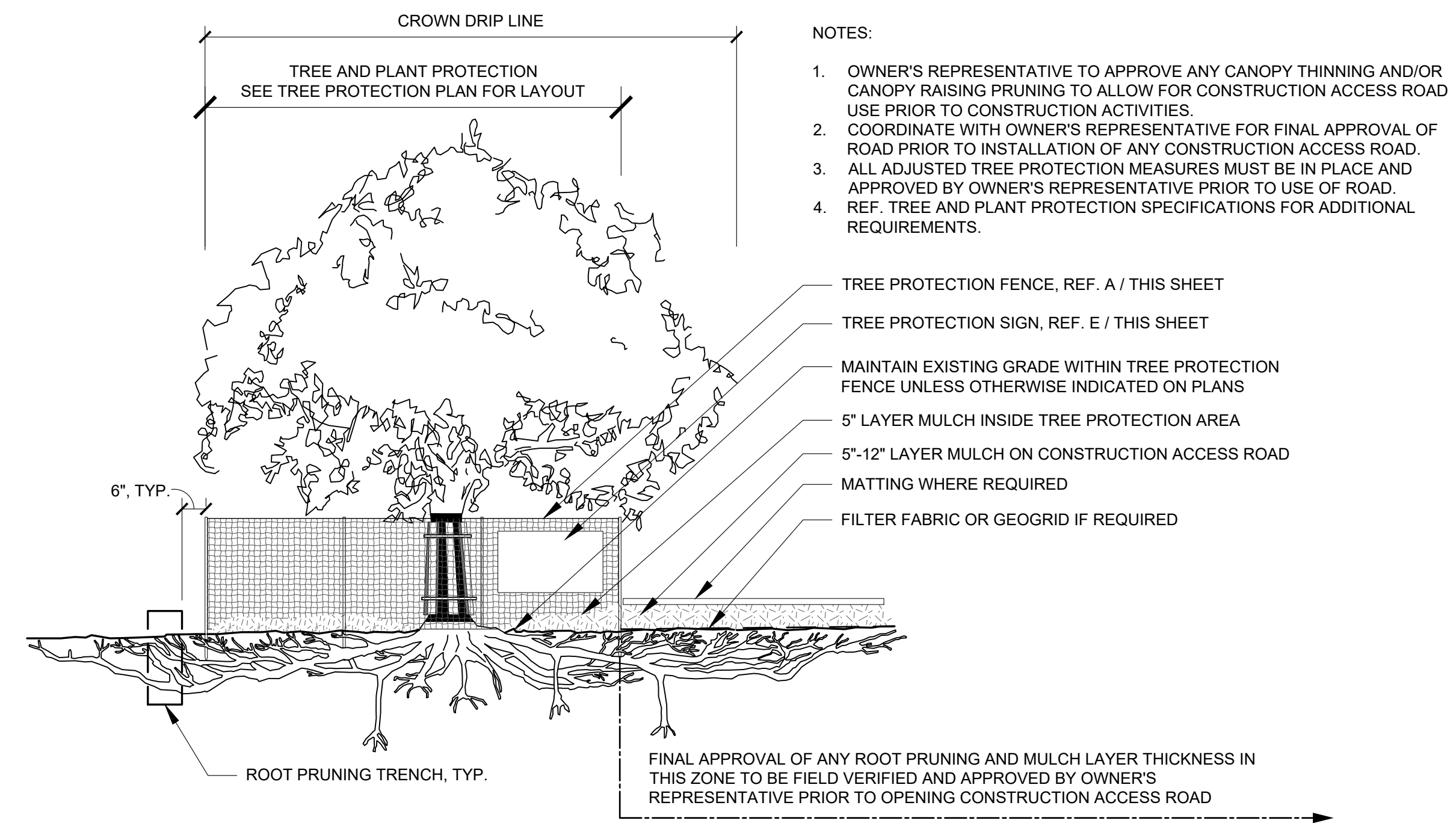
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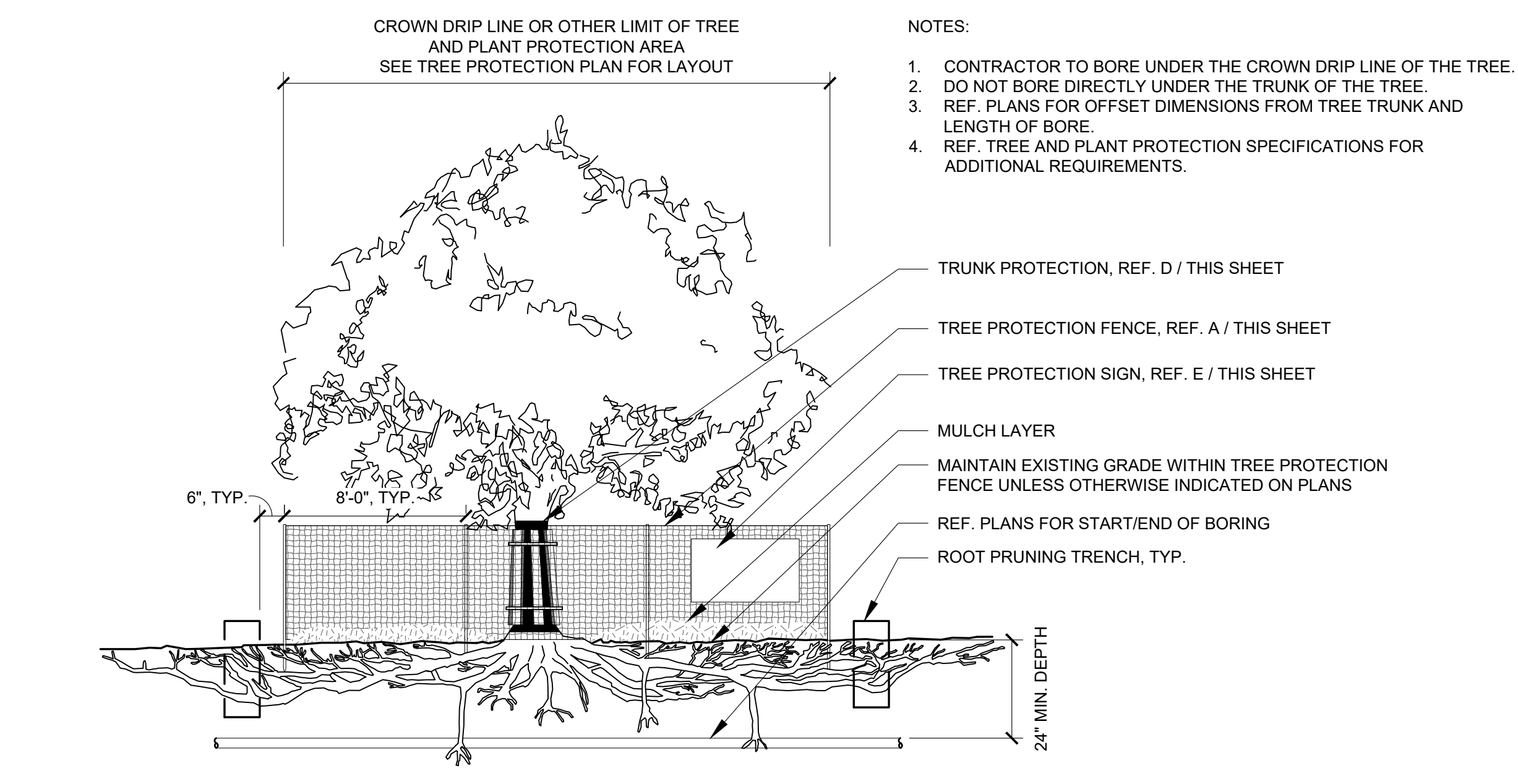
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L1.01
 TREE PRESERVATION
 DETAILS



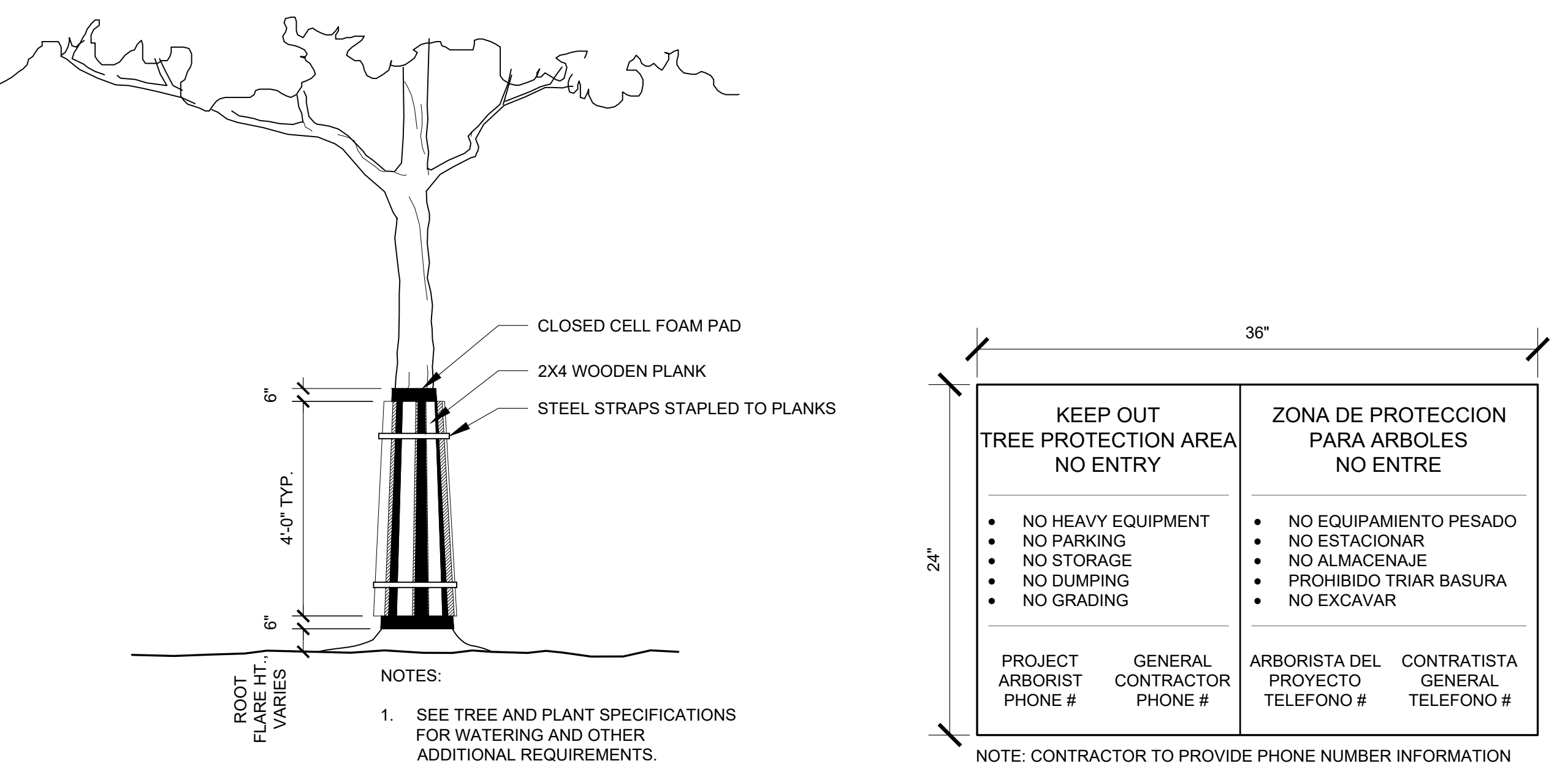
A TYPICAL TREE PROTECTION FENCING
 SECTION NOT TO SCALE



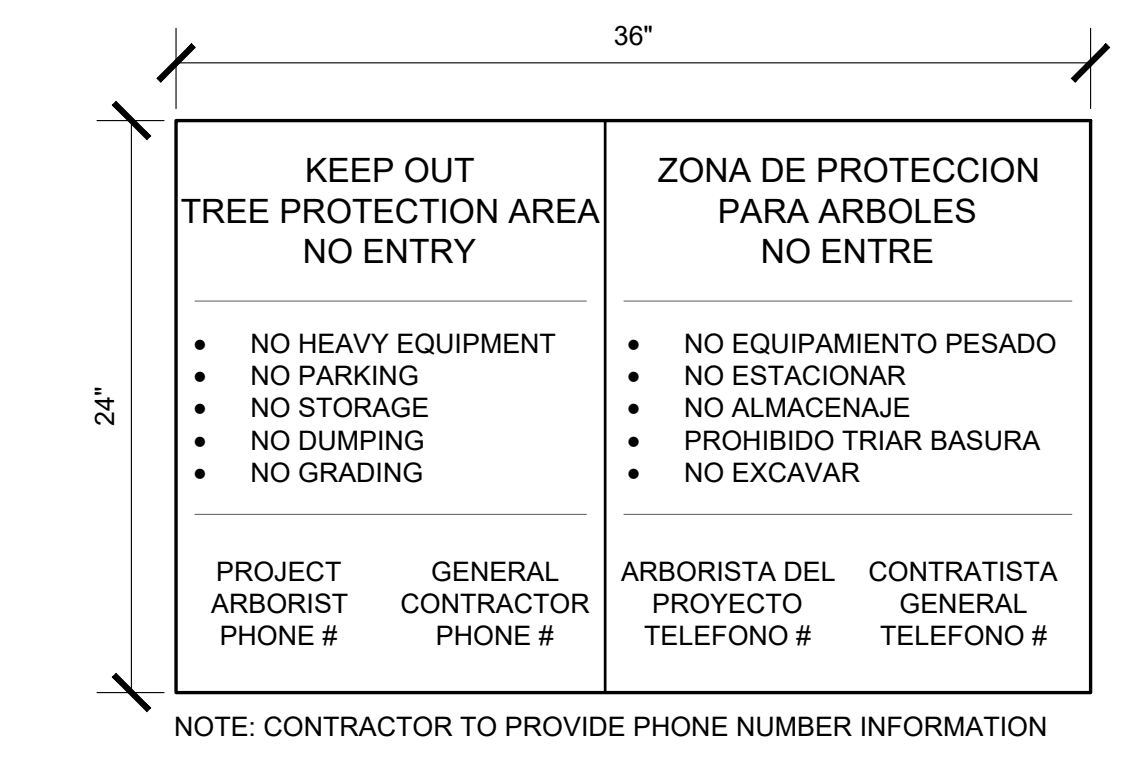
C TREE PROTECTION: CONSTRUCTION ACCESS ROAD
 SECTION NOT TO SCALE



B TREE PROTECTION: UTILITY BORING UNDER DROWN DRIP LINE
 SECTION NOT TO SCALE



D TRUNK PROTECTION
 ELEVATION NOT TO SCALE



E TRUNK PROTECTION
 ENLARGEMENT NOT TO SCALE

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GENERAL NOTES:

- VERIFY SITE INFORMATION, INCLUDING PROPERTY LINES, EASEMENTS, BUILDINGS, ROADWAY CURBS AND GUTTERS, UTILITIES AND OTHER INFORMATION AFFECTING THE SCOPE OF WORK INCLUDED ON THESE DRAWINGS. MORE SPECIFIC UTILITY INFORMATION IS INDICATED ON THE OTHER CONSULTANTS DRAWINGS, THE CIVIL DRAWINGS, AND SITE RECORD DRAWINGS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL CONTACT THE OWNER AND THE LANDSCAPE ARCHITECT FOR DIRECTION ON HOW TO PROCEED IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S PLANS.
- THE CONTRACTOR SHALL NOTIFY LOCAL AUTHORITIES AND THE GENERAL CONTRACTOR FOR LOCATION OF EXISTING UNDERGROUND UTILITIES. EXCAVATE AS NECESSARY TO CONFIRM LOCATIONS PRIOR TO EXCAVATION.
- EXCAVATION IN THE VICINITY OF UTILITIES SHALL BE UNDERTAKEN WITH CARE. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SITE UTILITIES PRIOR TO BEGINNING EXCAVATION. ANY DAMAGE TO UTILITIES THAT ARE TO REMAIN CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT, OR TOOL RELATED TO THE EXECUTION OF THE CONTRACT SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- CONTRACTOR TO VERIFY CONSTRUCTION COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) OF 1990, AS AMENDED, THE ADA ACCESSIBILITY GUIDELINES (ADAAG) OF 2004, AS AMENDED, AND THE TEXAS ACCESSIBILITY STANDARDS, AS AMENDED. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR TO PROVIDE NECESSARY EROSION CONTROL MEASURES AS NEEDED.
- ALL CONSTRUCTION WILL CONFORM TO THESE PLANS AND SPECIFICATIONS. ALL CONSTRUCTION WILL ALSO CONFORM TO ALL RELEVANT CITY STANDARDS AND SPECIFICATIONS.

DEMOLITION NOTES:

- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES AND UNLESS NOTED OTHERWISE, MAINTAIN THEM IN OPERATION DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.
- REFERENCE CIVIL DRAWINGS FOR LIMITS OF REQUIRED DEMOLITION.
- CONTRACTOR SHALL TAKE CARE TO MINIMIZE DISTURBANCE TO EXISTING TREE TRUNKS AND ROOT SYSTEMS. ALL DEMOLITION ADJACENT TO EXISTING TREES SHALL BE COMPLETED USING HAND TOOLS, NO LARGE EQUIPMENT OR ANY EQUIPMENT WITH TRACKS SHALL BE ALLOWED TO WORK UNDER THE DRIP LINE OF ANY EXISTING TREES TO REMAIN. THERE SHALL BE NO STORAGE OF MATERIAL OR PARKING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
- SITE BASE INFORMATION (BOUNDARIES, UTILITIES, TOPOGRAPHY & STRUCTURES) ARE SHOWN AS PROVIDED BY SURVEYOR. CONTRACTOR SHALL VERIFY GRADES, UTILITIES AND SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. BGE, INC ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS SURVEY INFORMATION.
- DURING DEMOLITION THE CONTRACTOR SHALL EXERCISE CAUTION NOT TO DAMAGE THE EXISTING FEATURES THAT ARE TO REMAIN INSIDE AND OUTSIDE OF THE PROJECT CONSTRUCTION AREA. DAMAGE RESULTING FROM CONTRACTOR'S WORK SHALL BE REPAIRED AND RESTORED TO THE COMPLETE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR. UTILITIES AND THEIR CONTINUATION THROUGH DEMOLISHED AREAS ARE TO REMAIN IN PLACE. PROTECT AS REQUIRED. DEMOLISH UTILITIES ONLY IF SHOWN ON THESE OR ARCHITECT/ENGINEERS DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL AREAS TO BE DEMOLISHED AS A PART OF THIS CONTRACT. CONDITIONS VARYING FROM THESE PLANS & SPECIFICATIONS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT. CLEARLY MARK ALL ITEMS FOR DEMOLITION FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO BEGINNING DEMOLITION WORK.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL DESIGNATED TREES, SHRUBS & GROUND COVER PRIOR TO THE START OF NEW CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR CAPPING & ABANDONING ALL IRRIGATION LINES IN THE DEMOLITION AREA.

PLANTING NOTES:

- CONTRACTOR SHALL STAKE OUT ALL INFORMAL TREE LOCATIONS IN FIELD USING COLORED FLAGS FOR EACH DIFFERENT TREE SPECIES FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- SHRUB, GROUND COVER & SEASONAL COLOR BED LAYOUTS SHALL BE STAKED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO EXCAVATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL SHRUB & GROUND COVER BEDS SHALL HAVE A MINIMUM THREE (3) INCH LAYER OF HARDWOOD MULCH. CONTRACTOR TO SUPPLY OWNER WITH SAMPLE FOR APPROVAL. CONTRACTOR TO SUPPLY A BID ALTERNATE FOR ROCK MULCH FOR ALL BEDS.
- ANNUAL BEDS TO RECEIVE MINIMUM 3" HARDWOOD MULCH. CONTRACTOR TO SUPPLY OWNER WITH SAMPLE FOR APPROVAL.
- TREES SHALL BE PLANTED AS LEAST FOUR (4) FEET FROM ANY UTILITY LINE, CURB, SIDEWALK OR FIRE CONNECTION AND OUTSIDE ALL UTILITY EASEMENTS.
- TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN (7) FEET.
- TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE (9) FEET.
- TREES OVERHANGING PUBLIC STREET PAVEMENT WILL HAVE A MINIMUM CLEAR TRUNK OF FOURTEEN (14) FEET.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING, REMOVAL OF MISCELLANEOUS DEBRIS AND ANY ADDITIONAL FILL REQUIRED TO CREATE A SMOOTH FINISHED GRADE PRIOR TO PLANTING IN ALL AREAS.
- FINAL GRADING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING.
- PLANT SPACING IS AS INDICATED ON 'PLANT SCHEDULE' UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE REMARKS.
- CONTRACTOR SHALL PROVIDE THE PROJECT AGRONOMIST SOIL SAMPLES. A MINIMUM OF TWO SAMPLES FROM EACH DIFFERENT SOIL AREA AND FROM EACH IMPORT SOIL SOURCE IS REQUIRED. VERIFY APPROPRIATE QUANTITY OF SAMPLES WITH THE LANDSCAPE ARCHITECT AND AGRONOMIST. SAMPLES SHALL THEN BE TESTED AND ANALYZED FOR AGRICULTURAL SUITABILITY AND FERTILITY BY AN ACCREDITED SOIL TESTING LABORATORY. ANALYSIS SHALL INCLUDE REVIEW AND COORDINATION WITH SPECIFICATIONS AND RECOMMENDATIONS FOR SOIL PREPARATION AND BACK FILL MIX. SUBMIT SOILS ANALYSES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PREPARATION. THIS REQUIREMENT APPLIES TO ALL SOILS AND CONDITIONS WITHIN THIS PROJECT INCLUDING IMPORT SOILS, ON GRADE SOILS AND/OR ON-STRUCTURE SOILS. VERIFYING ON-STRUCTURE FILTER FABRIC/SOIL COMPATIBILITY SHALL BE PART OF THE OVERALL ANALYSIS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO IRRIGATE ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND WALKS IS PROHIBITED.
- TOPSOIL SHALL BE A MINIMUM OF 4" IN DEPTH. SOIL SHALL BE FREE OF STONES, ROOTS AND ANY OTHER FOREIGN MATERIAL THAT IS NOT BENEFICIAL FOR PLANT GROWTH.
- REF. SHEET L3.12 FOR PLANTING DETAILS.
- REFER TO CIVIL FOR OVERALL SITE GRADING AND SHEET L3.5 FOR POOL AREA GRADING.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
CANOPY TREES									
	AS	7	Acer saccharum caddo	Caddo Sugar Maple	3" cal	B&B	14' ht	6' spr	Full, Straight, Single Trunk
	QS	13	Quercus shumardii	Shumard Red Oak	3" cal	B&B	12' ht	5' spr	Full, Straight, Single Trunk
	QV	4	Quercus virginiana	Southern Live Oak	3" cal	B&B	12' ht	6' spr	Full, Straight, Single Trunk
	TD	8	Taxodium distichum	Bald Cypress	3" cal	B&B	12' ht	5' spr	Full, Straight, Single Trunk
	UC	5	Ulmus crassifolia	Cedar Elm	3" cal	B&B	14' ht	5' spr	Full, Straight, Single Trunk
ORNAMENTAL TREES									
	CC	7	Cercis canadensis	Eastern Redbud	2" cal	B&B	8' ht	4' spr	Full, Multi-Trunk
	ID	6	Ilex decidua	Possumhaw Holly	2" cal	B&B	8' ht	4' spr	Full, Multi-Trunk
	IV	2	Ilex vomitoria	Yaupon Holly	2" cal	B&B	10' ht	4' spr	Full, Multi-Trunk
SHRUBS									
	ABE GRD	24	Abelia x grandiflora	Glossy Abelia	3 gal	CONT	24" ht	--	Full, Matching,
	ILE CAR	34	Ilex cornuta 'Carissa'	Carissa Holly	3 gal	CONT	18" ht	--	Full, Matching,
	LEU COM	102	Leucophyllum frutescens 'Compacta'	Compact Texas Sage	5 gal	CONT	24" ht	--	Full, Matching,
	YUC REC	19	Yucca recurvifolia	Soft Leaf Yucca	3 gal	CONT	24" ht	--	Full, Matching, 24" o.c. spacing
GRASSES									
	MUH CAP	199	Muhlenbergia capillaris	Pink Muhly	3 gal	CONT	24" ht	--	Full, Matching, 30" o.c. spacing
	NAS	143	Nassella tenuissima	Mexican Feather Grass	3 gal	CONT	18" ht	--	Full, Matching, 24" o.c. spacing
GROUND COVER									
	EFC	852	Euonymus fortunei 'Coloratus'	Purple-leaf Winter Creeper	1 gal	CONT	6" ht	6' spr	Full, 1 gallon min., 18" o.c. spacing
SEED									
	DSM	2,700 sf		Dam Slope Mix	---	---	---	---	Drill seed, Native American Seed Mix #2809, Ref. Planting Specs
	DFM	6,500 sf		Drainfield Mix	---	---	---	---	Drill seed, Native American Seed Mix #2861, Ref. Planting Specs
SOD									
	SOD	18,686 sf	Cynodon dactylon	Common Bermuda Grass	---	---	---	---	Solid Sod, tight sand filled joints, 100% weed, disease and pest free
MISC									
	STEEL EDGE	TBD		Steel Edging	---	---	---	---	3/8" x 6", black
	MULCH	TBD		Shredded Hardwood Mulch	---	---	---	---	Min. 3" depth, trees in sod to receive 4' dia. ring

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

IRRIGATION NOTES:

- LINE LAYOUT IS DIAGRAMMATIC-ADJUST HEAD AND LINE LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE COMPLETE COVERAGE.
- ALL MAIN LINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 18". ALL LATERAL PIPING DOWNSTREAM OF THE MAIN LINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12".
- ALL MAINS ARE TO DRAIN TO LOW POINTS AT A MINIMUM ONE HALF (1/2%) PERCENT SLOPE. AT LOW POINTS, INSTALL GATE VALVE TO FACILITATE DRAINAGE OF SYSTEM DURING FREEZING TEMPERATURES.
- CONTRACTOR SHALL INSTALL AUTOMATIC DRAIN VALVES AT LOW POINTS IN THE IRRIGATION LINES AS REQUIRED TO PREVENT FREEZE DAMAGE.
- ALL VALVE BOXES SHALL BE BLACK IN COLOR (BODY AND LID). SIZES SHALL BE TEN (10") INCHES BY FOURTEEN (14") INCHES (RECTANGULAR) FOR REMOTE CONTROL VALVES AND NINE (9") INCHES (ROUND) FOR GATE AND QUICK COUPLER VALVES.
- CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO SYSTEM LAYOUT IN FIELD TO INSURE POSITIVE DRAINAGE OF LATERAL LINES AND MAIN LINES.
- ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIAL CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAINBIRD SNAP-TITE CONNECTORS AND SEALANT. PROVIDE SLEEVES FOR WIRE UNDER PAVED AREAS AS REQUIRED.
- ALL IRRIGATION INSTALLATION SHALL CONFORM TO THE LOCAL CODE REGULATIONS AND TCEQ REQUIREMENTS.
- IRRIGATION SYSTEM SHALL BE INSTALLED AND FULLY OPERATIONAL BEFORE INSTALLATION OF LANDSCAPE PLANTINGS.
- IRRIGATION HEADS SHALL BE PLACED AND ADJUSTED SO AS NOT TO SPRAY ON THE BUILDING.
- IRRIGATION HEADS SHALL BE PLACED AND SIZED SO AS NOT TO BE SUSCEPTIBLE TO DAMAGE BY AUTOMOBILE OVERHANGS.
- IRRIGATION CONTRACTOR SHALL PLACE ADJUSTABLE ARC NOZZLES IN PLACE OF FIXED ARC NOZZLE AS NEEDED TO ELIMINATE OVER SPRAY ON TO PAVEMENT.
- ALL IRRIGATION HEADS SHALL HAVE FACTORY INSTALLED CHECK VALVES.

MAINTENANCE NOTES:

- LANDSCAPE CONTRACT SHALL INCLUDE, AS AN ALTERNATE BID, A LANDSCAPE MAINTENANCE AGREEMENT. THE LANDSCAPE MAINTENANCE PERIOD SHALL BEGIN ONCE OWNER'S ACCEPTANCE OF IMPROVEMENTS HAS BEEN GIVEN IN WRITING AND EXTEND FOR A PERIOD OF TWO YEARS.
- MAINTENANCE AGREEMENT SHALL GENERALLY CONFORM TO LANDSCAPE MAINTENANCE GUIDELINES PROVIDED BY OWNER AND MODIFIED TO MEET THE BEST MANAGEMENT PRACTICES OF THE LOCAL CLIMATE AND SITE SPECIFIC CONDITIONS.
- AT A MINIMUM, THE AGREEMENT SHALL INCLUDE, ALL LABOR AND MATERIALS TO PERFORM THE PROFESSIONAL MAINTENANCE OF THE SITE'S LANDSCAPE IMPROVEMENTS. THE AGREEMENT SHALL BE WRITTEN TO INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:
 - A. LAWN CARE
 - B. FERTILIZATION
 - C. INTEGRATED PEST MANAGEMENT
 - D. IRRIGATION
 - E. PLANTING BEDS
 - F. TREES AND SHRUBS
- THE PROGRAM FOR THE MAINTENANCE AGREEMENT SHALL BE BASED ON A COMPLETE SOILS ANALYSIS TO ADDRESS SPECIFIC SITE CONDITIONS AND TO ENSURE THE HEALTHY AND VIGOROUS GROWTH OF THE PLANT MATERIALS.

CITY OF ROCKWALL - CODE REQUIREMENTS

LANDSCAPE AREA	REQUIRED	PROVIDED
20% OF SITE 119,354 SF X 20% = 23,871 SF IMPERVIOUS AREA= 84,969 SF	23,871 SF 28%	34,385 SF 28%
SITE TREES 12 TREES PER ACRE 2.74 AC X 12 = 32.88 TREES	33 TREES	37 TREES
DETENTION BASIN DETENTION BASIN = 6500 SF 1 CANOPY TREE PER 750 SF = 9 TREES	9 TREES	9 TREES
1 ACCENT TREE PER 1500 SF = 5	5 TREES	5 TREES
F.M. 3097 LANDSCAPE BUFFER: 20' DEPTH	REQUIRED YES	PROVIDED YES
MIN. 30" HT SHRUBS	YES	YES
CANOPY TREES 2 TREES PER 100 LF (234.5 LF / 100) x 2 = 5 TREES	5 TREES	5 TREES
ACCENT TREES 4 TREE PER 100 LF (234.5 LF / 100) x 4 = 10 TREES	10 TREES	10 TREES
SCREENING FROM RESIDENTIAL SCREENING TREES	REQUIRED 11 TREES	PROVIDED 10 PROPOSED, 1 EXISTING
SCREENING SHRUBS	YES	YES
20' BUFFER	YES	YES
HEADLIGHT SCREENING MIN. 2' HT BERM	REQUIRED YES	PROVIDED YES
EVERGREEN SHRUBS	YES	YES
PARKING REQUIREMENTS MIN. 5% INTERIOR LANDSCAPING TOTAL PARKING= 21,469 SF	REQUIRED 1,073 SF	PROVIDED 1,772 SF
PARKING TREES 1 TREE PER 10 SPACES 115 SPACES / 10 = 12 TREES	12 TREES	12 TREES
1 TREE WITHIN 80 LF OF EACH SPACE	YES	YES
TREE MITIGATION TREE MITIGATION	REQUIRED 73"	PROVIDED YES, PROVIDED BY REQUIRED TREES

IRRIGATION NOTE:
ALL PLANT MATERIAL TO BE IRRIGATED IN COMPLIANCE TO CITY OF ROCKWALL, UNIFIED DEVELOPMENT CODE ARTICLE 8.05.04



BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPE Registration No. F-1046
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DEVELOPER
PLATINUM CONSTRUCTION
1450 TL TOWNSEND DR. STE 100
ROCKWALL, TX 75032
TEL: (469) 222-1597
CONTACT: SHAWN VALK

OWNER
SARO PARTNERS LLC
1450 S. T L TOWNSEND
ROCKWALL, TX 75302
TEL: (000) 000-0000
CONTACT: JAY KANTER

CITY SUBMITTAL SET
PLANTING SCHEDULE AND NOTES
 HORIZON RD. COMMERCIAL OFFICES
 W.W FORD SURVEY, ABSTRACT NO. 80, TRACT 26-4
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
MICHAEL STOTTILER, PLA
TEXAS REGISTRATION NO. 3743
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
9/11/2024

!CAUTION !
Contractor to Verify exact location & Depth of Exist Facilities Prior to any Construction Activities

!CAUTION !
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

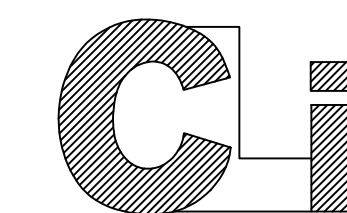
REVISIONS		
REV. NO.	DATE	DESCRIPTION

CHECKED BY: MLS
DESIGNED BY: NPS
DATE: 9/11/2024
PROJECT NUMBER: 13185-00

SHEET NO
L2.01
PLANTING SCHEDULE AND NOTES

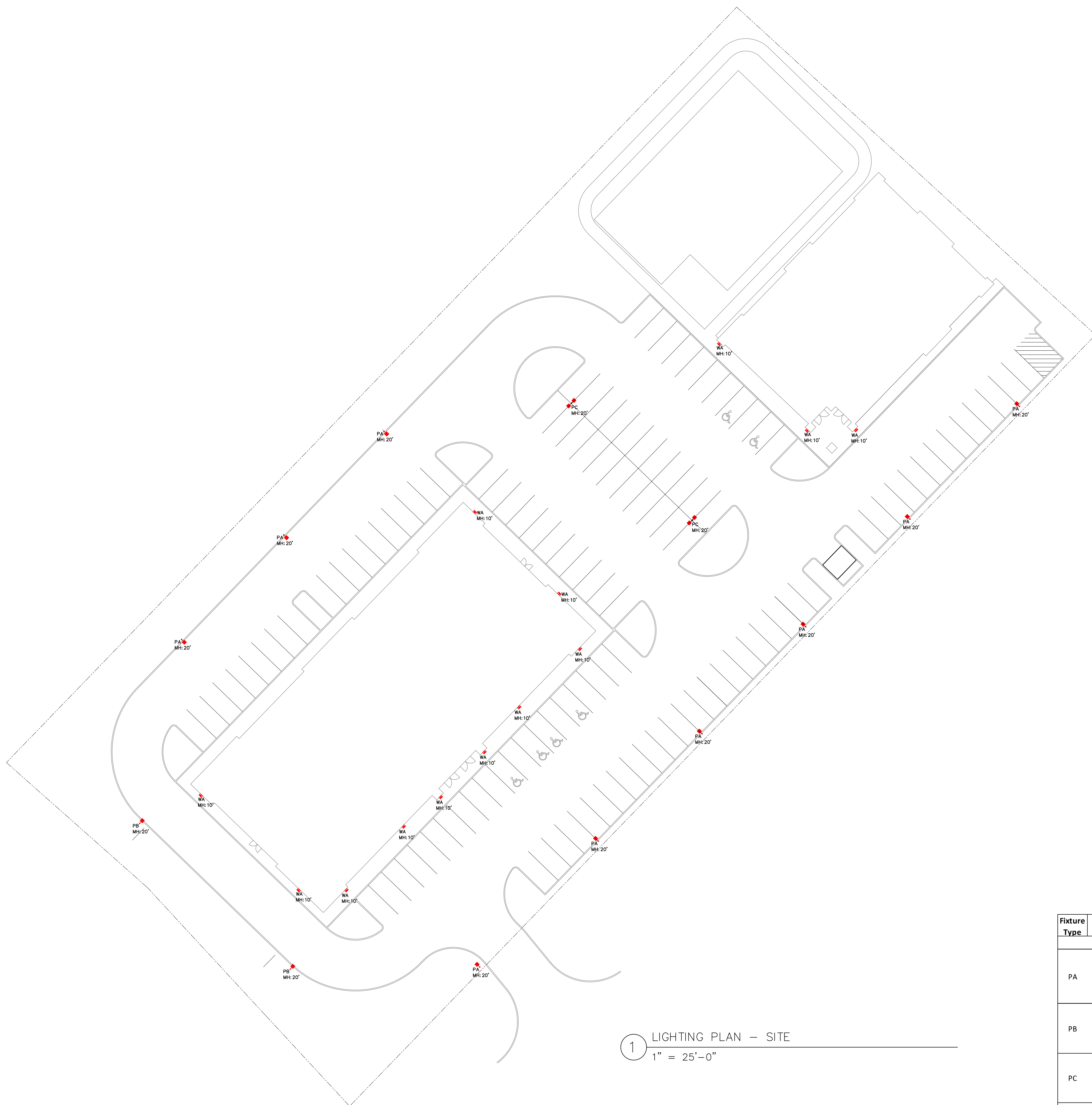


Know what's below.
Call before you dig.
(@ least 48 hours prior to digging)

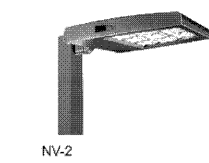
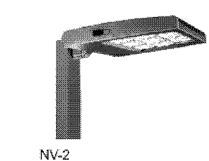
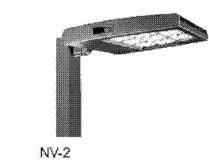
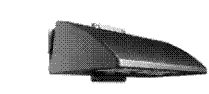


CLI Design
Los Angeles, Miami & New York
Tel: 800-755-0155 | Fax: 760-262-3940

No.	Issue	Date
0.		08.16.2024



1 LIGHTING PLAN – SITE
1" = 25'-0"

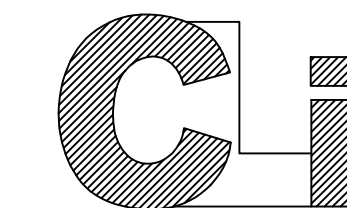
Fixture Type	Reference Image	Description	Dimming Interface	Product Registration ID	Lamps, CCT, Lumen, Optics, CRI	Input Voltage	Fixture Wattage	Mounting, Finishes, Remarks & Other Notes
EXTERIOR FIXTURE TYPES								
PA		Single-Head Area New Pole, Type IV Distribution with House Side Shield	N/A	CLI-NV-2-T4-128L-1-40K7-UNV-XX-XX-XX-HSS	Integrated LED Module, 4000k, 32,950lm, Type IV Distribution, w/Backlite Control, 70CRI	UNI-VAC	409	Single-head Mounted to 20'-0" Existing pole. Engineer to determine required base/pole size/height. Finish TBD.
PB		Single-Head Area New Pole, Type III Distribution	N/A	CLI-NV-2-T3-128L-1-40K7-UNV-XX-XX-XX-HSS	Integrated LED Module, 4000k, 32,782lm, Type III Distribution, w/Backlite Control, 70CRI	UNI-VAC	409	Single-head Mounted to 20'-0" Existing pole. Engineer to determine required base/pole size/height. Finish TBD.
PC		Double-Head Area New Pole, Type V Distribution	N/A	CLI-NV-2-T3-128L-1-40K7-UNV-XX-XX-XX	2-Integrated LED Module, 4000k, (2)48,671lm, Type V Distribution, 70CRI	UNI-VAC	818	Double-heads Mounted to 20'-0" New pole. Engineer to determine required base/pole size/height. Finish TBD.
WA		Wall pack	TBD	CLI-NV-W-T4-32L-1-40K7-UNV-WM-XX-XX-XX	Integrated LED, 4000K, 11,426lm, Type 4 Distribution	UNI-VAC	100	Direct mounted to building at 10'0" AFG. Finish TBD.

PLATINUM HORIZON
STREET NUMBER
CITY, ST, ZIP

ALL PLANS AND SPECIFICATIONS ARE THE PROPERTY OF COMMERCIAL LIGHTING INC. DO NOT SCALE DRAWINGS. ALL MEASUREMENTS MUST BE CHECKED ON SITE BY THE CONTRACTOR AND ANY DISCREPANCIES BROUGHT TO THE ATTENTION OF THE DESIGNER OR ARCHITECT.

FILE
LIGHTING PLAN SITE

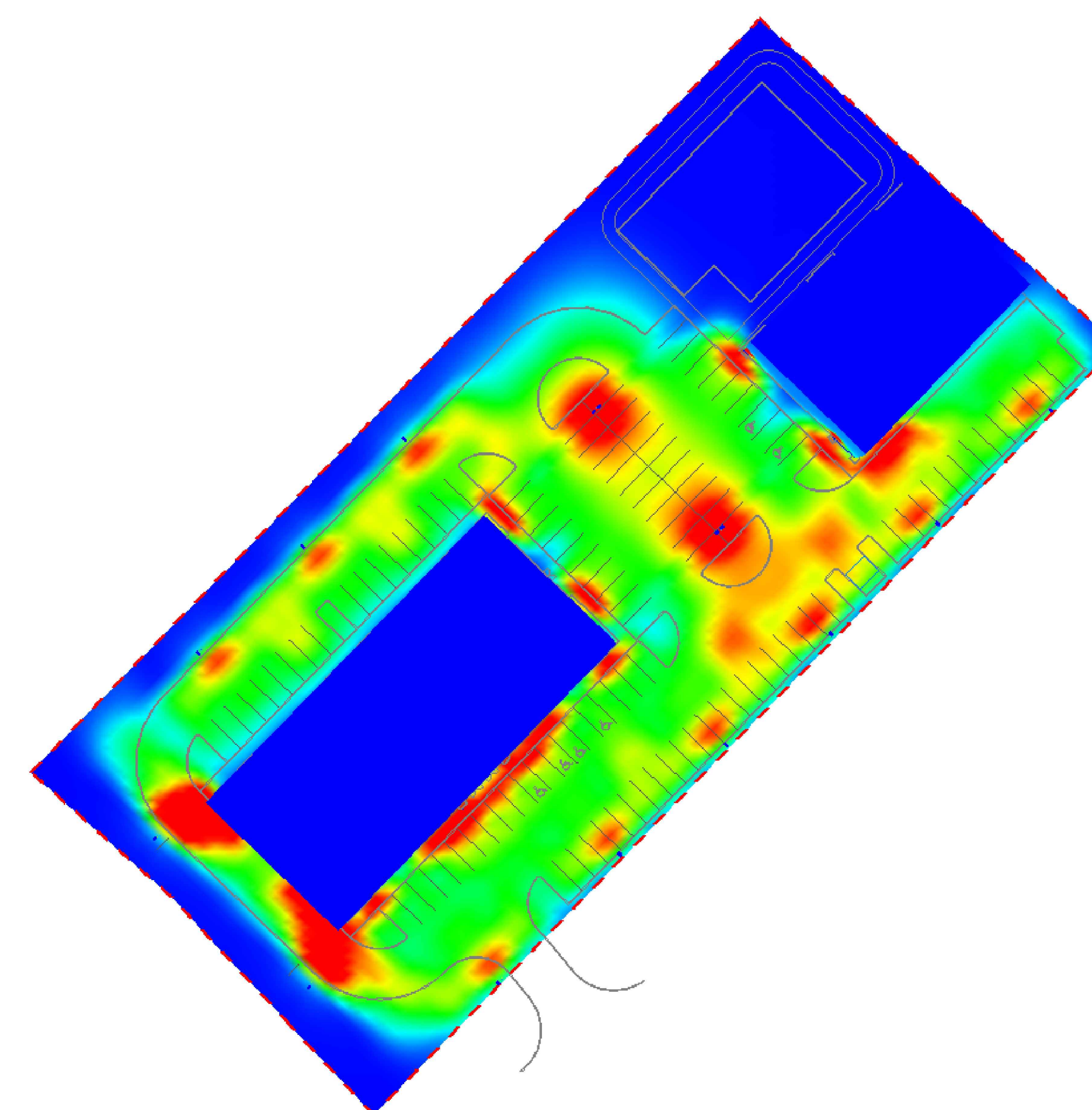
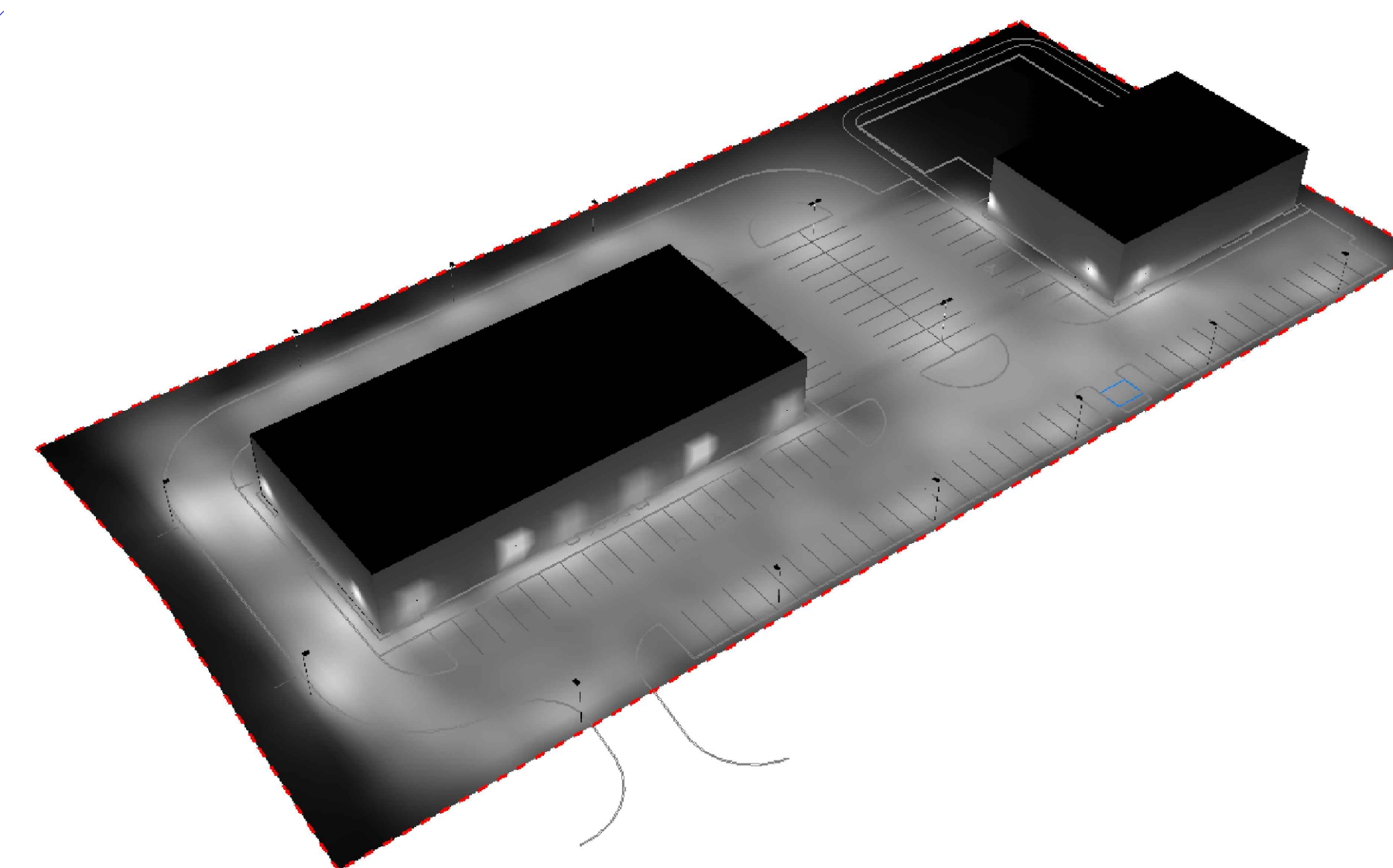
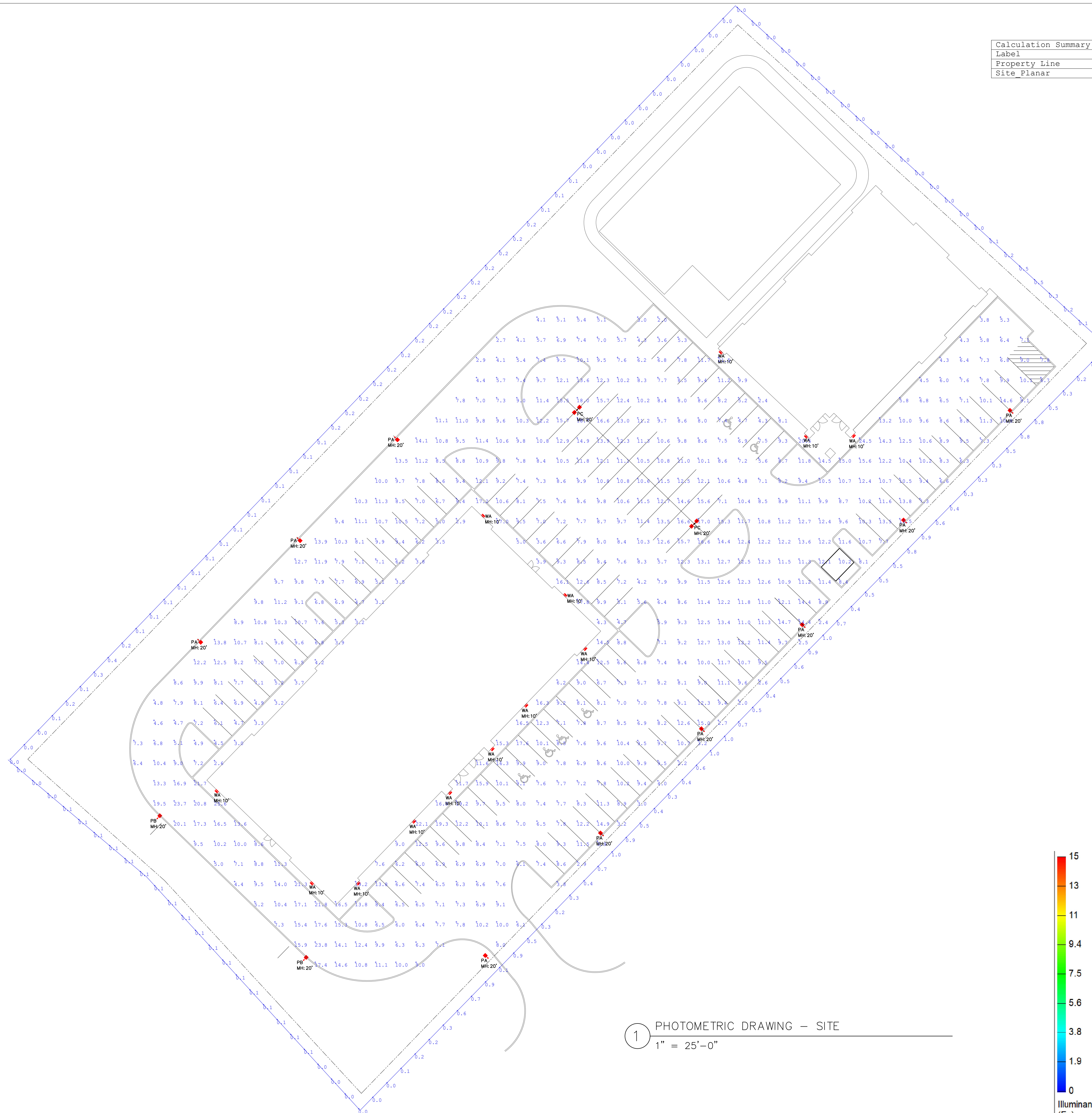
Scale: AS SHOWN Date: 08.16.2024
Drawn by: M.CH Checked by: I.D.
Job No:
Sheet No:
LDE-1.1



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Tel: 800-755-0155 | Fax: 760-262-3940

No.	Issue	Date
0.		08.16.2024

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Property Line	Illuminance	Fc	0.23	1.0	0.0	N.A.
Site Planar	Illuminance	Fc	9.53	25.6	2.0	4.77



PLATINUM HORIZON

STREET NUMBER CITY, ST ZIP

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Title

PHOTOMETRIC DRAWING SITE

Scale	Date
AS SHOWN	08.16.2024
Drawn by M.CH	Checked by I.D.
Job No.	
Sheet No.	

LDE-1.2

Contact Farren Halcovich with Commercial Lighting Industries, 760-831-9815, Farren@Commercial-Lighting.net for pricing
 Contact Istvan Derzsi with Commercial Lighting Industries, 760.999.0089, IDerzsi@Commercial-Lighting.net for design related inquires

Fixture Type	Reference Image	Description	Dimming Interface	Product Registration ID	Lamps, CCT, Lumen, Optics, CRI	Input Voltage	Fixture Wattage	Mounting, Finishes, Remarks & Other Notes
EXTERIOR FIXTURE TYPES								
PA		Single-Head Area New Pole, Type IV Distribution with House Side Shield	N/A	CLI-NV-2-T4-128L-1-40K7-UNV-XX-XX-XX-HSS	Integrated LED Module, 4000k, 32,950lm, Type IV Distribution, w/Backlite Control, 70CRI	UNI-VAC	409	Single-head Mounted to 20'-0" Existing pole. Engineer to determine required base/pole size/height. Finish TBD.
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WA		Wall pack	TBD	CLI-NV-W-T4-32L-1-40K7-UNV-WM-XX-XX-XX	Integrated LED, 4000K, 11,426Lm, Type 4 Distribution	UNI-VAC	100	Direct mounted to building at 10'0" AFG. Finish TBD.
			SUBSTITUTIONS ARE NOT ALLOWED AND VALUE ENGINEERING WILL NOT BE CONSIDERED WITHOUT EXPRESSED WRITTEN APPROVAL FROM THE ARCHITECT OR OWNER. NO EXCEPTIONS.					

CNTRL Controls Package - TBD

Notes, Exceptions, Clarifications

PURCHASING: All Lighting is supplied by _____. Consult with the above listed Mfgs for pricing at pre-established customer pricing. The complete package is approved and available at established discounted pricing from Commercial Lighting Industries, 81161 Indio Blvd, Indio, CA 92201, 800-755-0155 / 760-831-9815. Contact Farren Halcovich, Farren@Commercial-Lighting.net, for purchase order placement, and coordinating delivery of the package.

LTG SPEC VERIFICATION: Purchaser assumes responsibility for, and must verify with CLI the following prior to purchasing: Voltage, specific mounting details (including recessed downlight hanger bars if non-standard from the Mfg), NYC or Chicago codes, IC Rating, wind/gust pole factors, integral luminaire wiring gauge, custom reflector reflectances, Kelvin temperature, distribution, emergency use and dimming method. The above catalog #s may not be completely solidified at time of drawing issuance for construction.

PHOTOMETRIC COMPLIANCE: A complete Photometric drawing for this project as currently drawn and specified, has been submitted to approving authorities a applicable. Any substitutions or changes nullify the report and compliance and are strictly forbid without writtten approval from the owner, architect or lighting designer - **NO SUBSTITUTIONS ARE ALLOWED.**

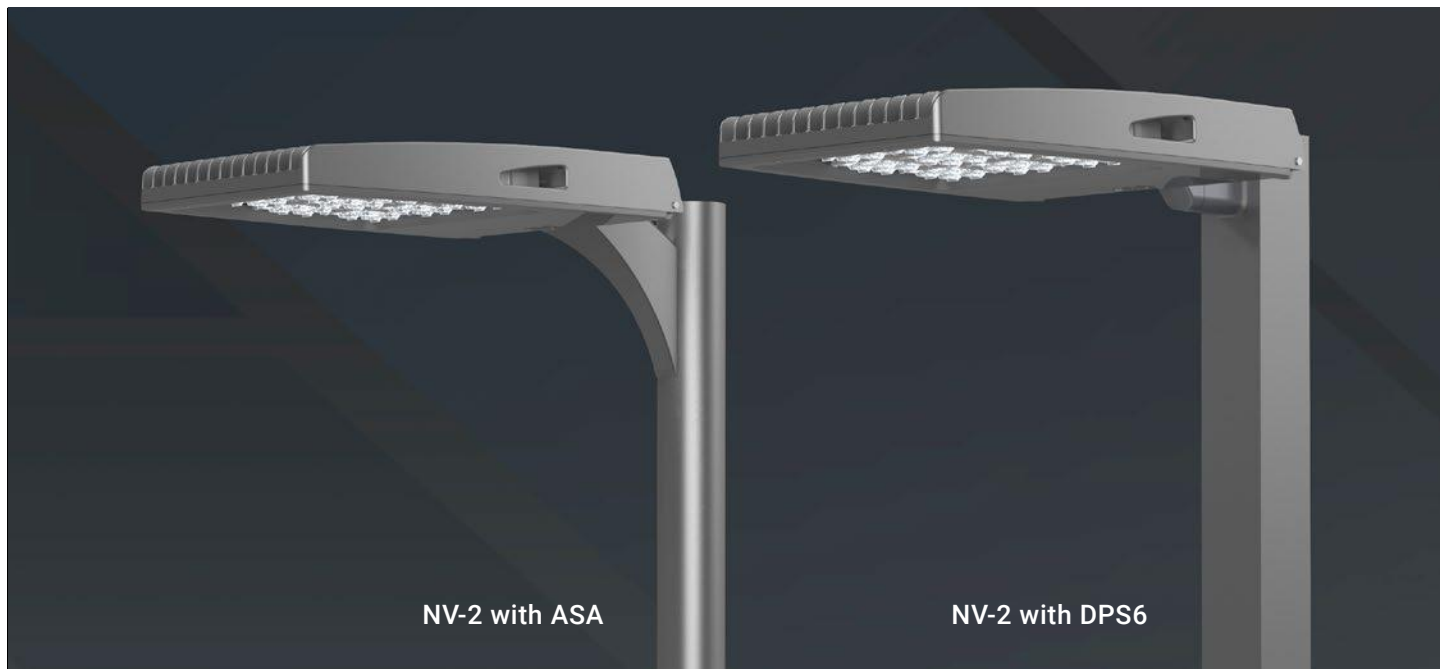
ENERGY COMPLIANCE: The purchasing party is responsible for solidifying the lighting package in compliance with the State Energy Code, both with respect to Lighting Power Density (LPD) and the use of mandated controls (dimmers, photocells, occupancy sensors, etc.). Consult with Istvan Derzsi, Sr. Lighting Designer of Commercial Lighting Industries 323-905-2220 to ensure compliance prior to ordering.

CONTROLS: The control system being implemented has been designed per meetings with the owner and architect, determining the complete requirements of the control system, and engineered to the exact specifications of the luminaires in this schedule, and in compliance with the State Energy Code. Any changes to the above would affect the Controls engineering and thus would require re-submission to all parties: Owner, Architect, Lighting Designer, Controls Manufacturer and the State Energy Compliance Department.

DIMMING: The method of dimming each fixture type (generally either Non-Dim, ELV/MLV, 0-10v or DALI/Ecosystem) may not have been known at the time the of preliminary specifications submission. Some luminaires may be available with different dimming than is indicated - see the catalog cuts. When requesting a quotation, and ordering, the purchaser must verify the dimming method desired (to match the wiring and type of dimming that will get installed) of each type and request the quotation accordingly. Once product is on site, the dimming installed will have to be compatible with the luminaires. Note: the default dimming specifications are: For CA, US - all 0-10V wherever possible if using central Control System - same. Otherwise, any luminaire that is not 0-10V or combo ELV/120V, is specified as ELV because it cannot be assumed that LV wiring will be run.

WIRING: 120V Leading Edge dimmers (old technology for mostly incandescent fixtures) aka Triac/120V dimming, and 120V Trailing Edge dimmers aka ELV dimming (utilizing standard 3 wire White/Black/Green) are not interchangeable with 0-10V dimming which has two additional low voltage wires (Grey/Violet) for analog control signal, using one volt increments from 0 to 10, thus dimming the LED fixtures down to 10% or even 1%. Each fixture much be ordered with the appropriate 120V or the 0-10V driver depending on which will dim it, they are NOT interchangeable. Do Not assume a fixture with 0-10V is "standard" and will thus dim correctly if only 120V dimming is available.

VOLTAGE: Voltage to be verified. See Volt column: DV means Dual-Volt - fixtures come compatible for either 120 or 277V. MV means Multi-Volt - fixtures come compatible for either 120/208/240/277/347 volts. TBD means the fixture comes in 120 or 277 but not both and thus the voltage for these fixtures must be verified prior to ordering.



LED WATTAGE CHART

	80L	96L	112L	128L
700 milliamps	168w	200w	243w	265w
1050 milliamps	263w	316w	366w	409w
1200 milliamps				467w

KEY FEATURES

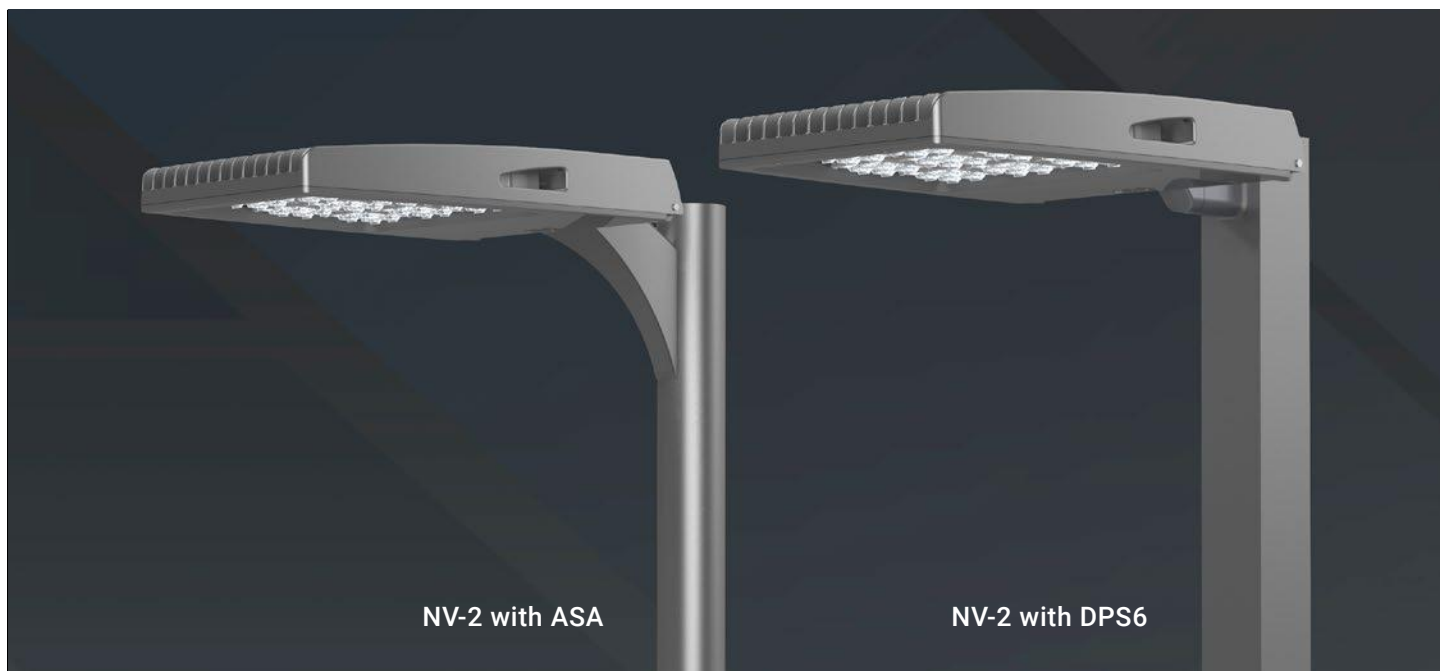
- Ideal High Lumen Output for Area, Site, Roadway, and Large Parking Venues such as: Corporate Parks, Shopping Malls, Event & Sports Stadiums, Roadways, and Airports
- Sleek Robust Design of the NV-2 (Weight: 42 lbs., EPA: 0.61)
- IES Distributions T2, T3, T4, and T5
- 80L, 96L, 112, and 128L LED Configurations, 168 to 467 Watts
- Amber, 2700K, 3000K, 3500K, 4000K, 5000K CCT Multichip High Power 70 & 80 CRI LEDs
- IP65 Rated Against Dust & Water Ingress, IK10 Rated for Tamper/Vandalism/Impact Protection
- Mountings available have a 1.5G to 3G Vibration Rating: Architectural Sweep Arm, Direct Pole 6" and 11" Arm, Knuckle Mount, Wall Mount, Trunnion Mount, Mast Arm Mount, and Tennis Arm
- 20kA Surge Protection (120V - 480V), 0 - 10V Programmable, Dimming LED Drivers
- LED Drivers Ambient Temp. Min (°C) is -40°C and Ambient Temp. Max (°C) ranges from 50°C to 55°C

- Silicone Micro Optics providing 96% Clarity and Heat Resistant up to 150°C
- 9 Standard Finishes, Marine Grade Finish and Custom Finish Available
- Controls Agnostic, Compatible with Most Control Systems and Sensors
- Environmentally Friendly Product Which Reduces Energy Consumption, L70 > 100,000 hours
- Easy to Install Mounting
- Cost Competitive and Short Shipping Lead Times in Days & Weeks

BUY AMERICAN

To ensure the latest BAA/TAA/BABA Standards are being met, please select BAA, TAA, or BABA in the options section. Please contact the factory before placing an order for any NLS products requesting BAA (Buy American Act), TAA (Trade American Act), or BABA (Build America, Buy America).





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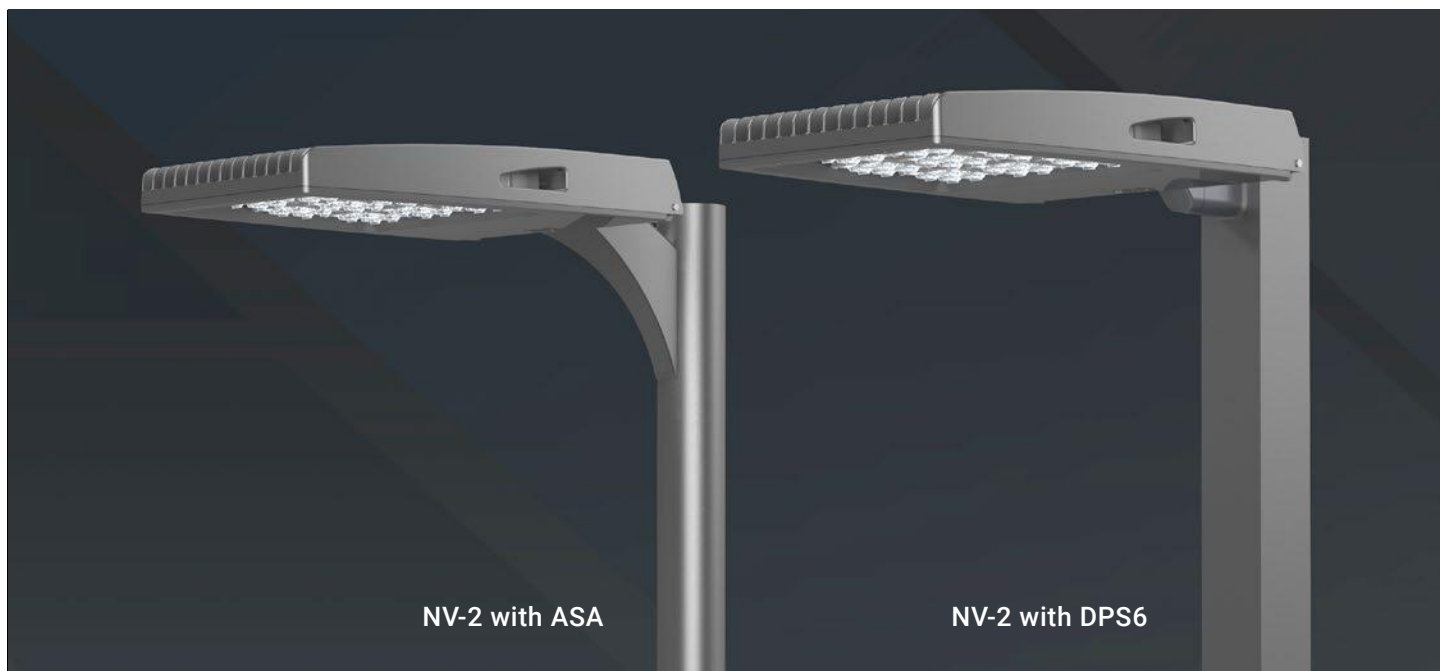
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Project Name:

Type:

NV-2 ORDERING GUIDE

Cat#	Light Dist.	# of LEDs	Miliamps	Kelvin	Volts
NV-2 (NV-2)	Type 2 (T2)	80 (80L)	700 (7)	Amber 586-600nM (AMBER) ^{10, 12, 15}	120-277 (UNV)
	Type 3 (T3)	96 (96L)	1050 (1)	2700K, 70 CRI (27K7) ⁶	347-480 (HV)
	Type 4 (T4)	112 (112L)	1200 (12) ¹³	2700K, 80 CRI (27K8) ^{1, 6}	
	Type 5 (T5)	128 (128L)		3000K, 70 CRI (30K7) ⁶	
	Nema 3 30o Narrow Beam (N3)			3000K, 80 CRI (30K8) ^{1, 6}	
				3500K, 80 CRI (35K8) ¹	
				4000K, 70 CRI (40K7)	
				4000K, 80 CRI (40K8) ¹	
				5000K, 70 CRI (50K7)	
				5000K, 80 CRI (50K8) ¹	
Mounting	Color	Controls Options	Options	Lens Options	
Architectural Sweep Arm (ASA)	Bronze Textured (BRZ)	Nema 7-Pin Receptacle (PE7)	Bird Spikes (BS)	Glass Lens (GL) ^{7, 14, 16}	
Direct Pole 6" Arm Single D180 (DPS6) ³	White Textured (WHT)	Photocell + Receptacle (PCR)	Marine Grade Finish (MGF)	HAL Lens (HAL) ^{8, 16}	
Direct Pole 11" Arm D90, T90, T120, Quad (DPS11) ³	Smooth White Gloss (SWT)	Receptacle + Shorting Cap (PER)	Optic Plate Painted to Match Fixture (OPP)		
Knuckle Mount (KM)	Silver Metallic (SVR)	FSP-211 with Motion Sensor 9'-20' Heights (FSP-20) ⁴	Quick Mount Bracket (QMB)		
Wall Mount (WM)	Black Textured (BLK)	21'-40' Heights (FSP-40) ⁴	Retrofit Mount Bracket (RQMB)		
Trunnion Mount (TM) ²	Smooth Black Gloss (SBK)	Custom Controls Integration (CCI) ⁹	Round Pole Adaptor 3"-4" Pole (RPA4)		
Tennis Arm Mount (TA)	Graphite Textured (GPH)	Button Type Photocell (PC) ⁴	Round Pole Adaptor 5"-6" Pole (RPA5)		
Mast Arm Mount (MA)	Grey Textured (GRY)		Rotated Optic Left (ROL)		
	Green Textured (GRN)		Rotated Optic Right (ROR)		
	Hunter Green Textured (HGN)		Automotive House Side Shield (AHS)		
	Custom (CS)		House Side Shield (HSS) ⁵		
			Black Hardware (BH)		
			Black Optic Frame (BOF)		
			Buy American Act (BAA) ¹¹		
			Trade Agreement Act (TAA) ¹¹		
			Build America Buy American (BABA) ¹¹		

NOTES:

- Consult Factory for Lead Time. Consult Factory for 90 CRI Requests.
- Standard finish is stainless steel. Can be painted to match fixture.
- For Round Pole Specify RPA4 or RPA5
- Universal Voltage 120-277
- HSS not applicable with Nema 2.
- 3000K or lower, with fixed mounting options only, must be selected to meet International Dark-Sky Association certification.
- Glass Lens: Low iron glass, fully tempered per ANSI C1047 (QCH-2201-37)
- HAL Lens: Yellow Polycarbonate Lens - less than 2% Blue Light Content
- Please contact Factory for Custom Control Integration requests (nLight, NX, WaveLinX, Crestron, DMX/RDM, Synapse, Casambi, Dali II, Avi-On, or other control systems)
- Turtle Safe
- Consult factory for all BAA/TAA/BABA requests
- Consult Factory for Lead Time
- 1200mA is only available with 128L
- 700mA is only available with Glass Lens option
- Not Available above 1000mA
- Contact Factory



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PRODUCT SPECIFICATIONS

ELECTRICAL

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- LED Drivers Ambient Temp. Min is -40°C and Ambient Temp. Max ranges from 50°C to 55°C. Consult the factory for revalidation by providing the fixture catalog string before quoting and specifying it.
- All internal wiring UL certified for 600 VAC and 105°C
- All drivers, controls, and sensors housed in enclosed IP65 compartment
- CRI 70, 80 or 90 (Contact factory for 90 CRI)
- Color temperatures: Amber, 2700K, 3000K, 3500K, 4000K, 5000K
- Surge Protection: 20KA supplied as standard.

CONSTRUCTION

- Die Cast Aluminum
- External cooling fins
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP65 seal for electronics compartment
- One-piece Optics Plate™ mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate™ standard

OPTIONS

- BIRD SPIKES (BS) - Offers a practical and humane deterrent for larger bird species and provides a cost-effective long-term solution to nuisance bird infestations and protects your property.
- MARINE GRADE FINISH (MGF) - A multi-step process creating protective finishing coat against harsh environments. Chemically washed in a 5 stage cleaning system. Pre-baked, Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. Oven Baked. Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness.
- OPTIC PLATE PAINTED TO MATCH FIXTURE (OPP) - Optic plate is clear anodized as standard. The optic plate can be powder coated to match the finish of the fixture.
- QUICK MOUNT BRACKET (QMB) - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Has a 2"x4" Drill Pattern.
- RETROFIT MOUNT BRACKET - Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Drill Pattern is adjustable from 2"x4" to 2"x6".
- ROUND POLE ADAPTER (RPA) - When using round poles, specify Round Pole Adapter (RPA). Specify RPA4 when installing on 3"-4" round poles, and RPA5 when installing on 5"-6" round poles.
- ROTATED OPTICS (ROL) (ROR) - Rotated optics are designed for perimeter lighting for auto dealerships.
- SHIELDS (HSS, AHS) - House Side Shield (HSS) is designed for full property line cut-off. Automotive House Side Shield (AHS) is a single-sided shield allowing partial cut-off on either side or front of luminaire.
- Black Hardware (BH) - Optional black, zinc coated steel hardware.
- Black Optic Frame (BOF) - Optional black optic frame. Standard is white.
- GLASS LENS (GL) - Low Iron Glass, fully tempered.
- High performance amber lens (hal)

CONTROL OPTIONS

- FSP-211 (FSP-X) - Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.
- All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.
- FSP-20 mounting heights 9-20 feet
- FSP-40 mounting heights 21-40 feet.
- Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field.
- FSIR-100 commissioning remote is required to change sensor settings. Please contact factory for ordering.
- Controls Agnostic: Please contact factory for your preferred controls option. (nLight, NX, WaveLinX, Crestron, DMX/RDM, Synapse, Casambi, Dali II, or other control systems)
- NEMA 7-PIN RECEPTACLE (PE7) - An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.
- PHOTOCELL + RECEPTACLE (PCR) - 7-Pin Receptacle and Electronic Twist Lock Photocell for dusk to dawn operation.
- RECEPTACLE + SHORTING CAP (PER) - 7-Pin Receptacle and Shorting Cap.

FINISH

- 3-5 mils electrostatic powder coat.
- NLS Light's standard high-quality finishes prevent corrosion protects against and extreme environmental conditions.

WARRANTY

Five-year limited warranty for drivers and LEDs.

OPTICS

Silicone optics high thermal stability and light output provide higher powered LEDs with minimized lumen depreciation. UV stability with scratch resistance increases exterior application durability. Silicone optics do not yellow, crack or brittle over time

LISTINGS

- Certified to UL 1598
- UL 8750
- CSA C22.2 No. 250.0
- DesignLights Consortium® (DLC)
- DesignLights Consortium Premium® (DLCP)
- IP65/ IP67 Rated
- 3G Vibration Rated per ANSI C136.31-2010
- IDA Dark Sky Approved
- IK10 Rated

BUY AMERICAN OPTION

While all of the NLS Lighting products listed in this document qualify for the Buy America(n) Act of 1933, we reserve the right to change our listings without notice.

The information provided above is for general informational purposes only. We encourage you to consult legal professionals for advice particular to your projects concerning BAA, TAA, BABA or Buy America.

Additional NLS Products that meet BAA, TAA standards can be found at the following link:

<https://nslighting.com/buy-american/>



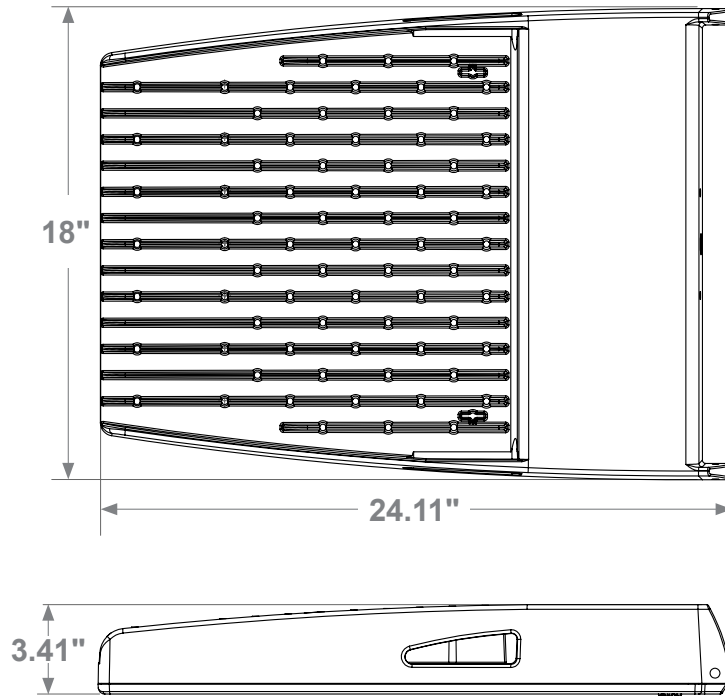
The information and specifications on this document are subject to change without any notification. All values are design, nominal, typical or prorated values when measured under internal and external laboratory conditions.



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PRODUCT SPECIFICATIONS



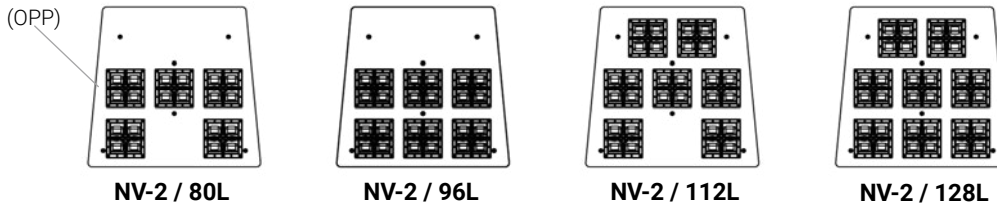
Weight: 42 lbs

EPA: .61

OPTICAL CONFIGURATIONS

Rotatable Optics (ROR) Rotated Right, (ROL) Rotated Left options available. Optics field and factory rotatable.

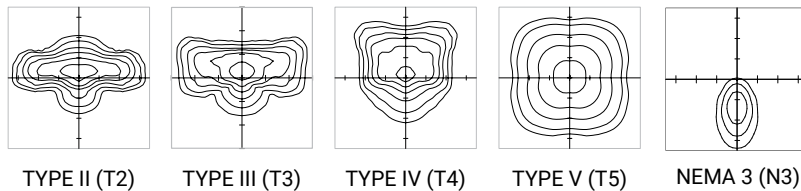
* OPTIC PLATE PAINTED TO MATCH FIXTURE FINISH (OPP)– Optic Plate standard clear anodized, Grade 2. When (OPP) specified, Optic Plate finish will match fixture finish.



OPTICS

Silicone optics high photothermal stability and light output provides higher powered LEDs with minimized lumen depreciation LED life. UV and thermal stability with scratch resistance increases exterior application durability.

IES Types



LUMENS

PART NUMBER	N3	LM/W	T2	LM/W	T3	LM/W	T4	LM/W	T4 AHS	LM/W	T5	LM/W	W
NV-2-80L-7-30K7	18816	112	19744	116	19218	113	18992	112	12096	72	19713	117	168
NV-2-80L-7-40K7	19488	116	21000	125	20328	121	20160	120	12768	76	21168	126	168
NV-2-80L-7-50K7	20160	120	21672	129	21168	126	21000	125	13440	80	21840	130	168
NV-2-80L-1-30K7	29456	112	28141	107	27352	104	30245	115	18936	72	29193	111	263
NV-2-80L-1-40K7	30508	116	30245	115	29456	112	32086	122	19988	76	31297	119	263
NV-2-80L-1-50K7	31560	120	31297	119	30508	116	33664	128	21040	80	33138	126	263
NV-2-96L-7-30K7	22400	112	23200	116	22600	113	22400	112	14400	72	23400	117	200
NV-2-96L-7-40K7	23200	116	25000	125	24200	121	24000	120	15200	76	25200	126	200
NV-2-96L-7-50K7	24000	120	25800	129	25200	126	25000	125	16000	80	26000	130	200
NV-2-96L-1-30K7	35392	112	33812	107	32864	104	36340	115	22752	72	35076	111	316
NV-2-96L-1-40K7	36656	116	36340	115	35392	112	38552	122	24016	76	37604	119	316
NV-2-96L-1-50K7	37920	120	37604	119	36656	116	40448	128	25280	80	39816	126	316
NV-2-112L-7-30K7	27216	112	28188	116	27459	113	27216	112	17496	72	28431	117	243
NV-2-112L-7-40K7	28188	116	30375	125	29403	121	29160	120	18468	76	30618	126	243
NV-2-112L-7-50K7	29160	120	31347	129	30618	126	30375	125	19440	80	31590	130	243
NV-2-112L-1-30K7	40992	112	39162	107	38064	104	42090	115	26352	72	40626	111	366
NV-2-112L-1-40K7	42456	116	42090	115	40992	112	44652	122	27816	76	43554	119	366
NV-2-112L-1-50K7	43920	120	43554	119	42456	116	46848	128	29280	80	46116	126	366
NV-2-128L-7-30K7	29680	112	30740	116	29945	113	29680	112	19080	72	31005	117	265
NV-2-128L-7-40K7	30740	116	33125	125	32065	121	31800	120	20140	76	33390	126	265
NV-2-128L-7-50K7	31800	120	34185	129	33390	126	33125	125	21200	80	34450	130	265
NV-2-128L-1-30K7	45808	112	43763	107	42536	104	47035	115	29448	72	45399	111	409
NV-2-128L-1-40K7	47444	116	47035	115	45808	112	49898	122	31084	76	48671	119	409
NV-2-128L-1-50K7	49080	120	48671	119	47445	116	52352	128	33129	81	51534	126	409
NV-2-128L-12-30K7	52352	112	50015	107	48613	104	48144	103			50483	108	467
NV-2-128L-12-40K7	54222	116	53754	115	52353	112	51884	111			54222	116	467
NV-2-128L-12-50K7	56091	120	55624	119	54222	116	55157	118			56092	120	467

3000k or warmer must be selected to meet International Dark-Sky Association certification.

BUG RATINGS

PART NUMBER	T2	T3	T4	T5
NV-2-80L-7-30K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B5-U0-G3
NV-2-80L-7-40K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B5-U0-G3
NV-2-80L-7-50K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B5-U0-G3
NV-2-80L-1-30K7	B3-U0-G3	B3-U0-G4	B3-U0-G4	B5-U0-G3
NV-2-80L-1-40K7	B3-U0-G3	B3-U0-G4	B3-U0-G4	B5-U0-G3
NV-2-80L-1-50K7	B3-U0-G4	B3-U0-G4	B3-U0-G4	B5-U0-G4
NV-2-96L-7-30K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B5-U0-G3
NV-2-96L-7-40K7	B3-U0-G3	B3-U0-G3	B3-U0-G3	B5-U0-G3
NV-2-96L-7-50K7	B3-U0-G3	B3-U0-G3	B3-U0-G4	B5-U0-G3
NV-2-96L-1-30K7	B3-U0-G4	B4-U0-G4	B3-U0-G4	B5-U0-G4
NV-2-96L-1-40K7	B3-U0-G4	B4-U0-G4	B3-U0-G4	B5-U0-G4
NV-2-96L-1-50K7	B3-U0-G4	B4-U0-G4	B3-U0-G4	B5-U0-G4
NV-2-112L-7-30K7	B3-U0-G3	B3-U0-G4	B3-U0-G4	B5-U0-G3
NV-2-112L-7-40K7	B3-U0-G3	B3-U0-G4	B3-U0-G4	B5-U0-G3
NV-2-112L-7-50K7	B3-U0-G4	B3-U0-G4	B3-U0-G4	B5-U0-G4
NV-2-112L-1-30K7	B4-U0-G4	B4-U0-G4	B4-U0-G5	B5-U0-G4
NV-2-112L-1-40K7	B4-U0-G4	B4-U0-G4	B4-U0-G5	B5-U0-G4
NV-2-112L-1-50K7	B4-U0-G4	B4-U0-G4	B4-U0-G5	B5-U0-G4
NV-2-128L-7-30K7	B3-U0-G3	B3-U0-G4	B3-U0-G4	B5-U0-G4
NV-2-128L-7-40K7	B3-U0-G3	B3-U0-G4	B3-U0-G4	B5-U0-G4
NV-2-128L-7-50K7	B3-U0-G4	B4-U0-G4	B3-U0-G4	B5-U0-G4
NV-2-128L-1-30K7	B4-U0-G4	B4-U0-G4	B4-U0-G5	B5-U0-G4
NV-2-128L-1-40K7	B4-U0-G4	B4-U0-G4	B4-U0-G5	B5-U0-G4
NV-2-128L-1-50K7	B4-U0-G4	B4-U0-G5	B4-U0-G5	B5-U0-G5
NV-2-128L-12-30K7	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5
NV-2-128L-12-40K7	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5
NV-2-128L-12-50K7	B4-U0-G5	B4-U0-G5	B4-U0-G5	B5-U0-G5

EPA

EPA	SGL	D90	D180	T90	T120	QD
NV-2-DP	0.89	1.22	1.78	1.96	1.91	1.96
NV-2-KM	0.69	1.18	1.38	1.85	2.68	1.85
NV-2-ASA	0.98	1.96	1.75	2.66	2.62	2.66

DPX ARM LENGTH

DPX ARM LENGTH	SGL	D90	D180	T90	T120	QD
NV-2	6.25"	11.25"	6.25"	11.25"	11.25"	11.25"



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LUMENS HSS

PART NUMBER	T2 HSS	LM/W	T3 HSS	LM/W	T4 HSS	LM/W	W
NV-2-80L-700-27K7	12131	72	11692	70	11752	70	168
NV-2-80L-700-27K8	11359	68	10948	65	11004	65	168
NV-2-80L-700-30K8	12178	72	11738	70	11798	70	168
NV-2-80L-700-30K7	13116	78	12642	75	12706	76	168
NV-2-80L-700-35K8	12178	72	11738	70	11798	70	168
NV-2-80L-700-40K8	13116	78	12642	75	12706	76	168
NV-2-80L-700-40K7	14172	84	13659	81	13729	82	168
NV-2-80L-700-50K8	13116	78	12642	75	12706	76	168
NV-2-80L-700-50K7	14172	84	13659	81	13729	82	168
NV-2-80L-1050-27K7	18197	69	17538	67	17628	67	263
NV-2-80L-1050-27K8	17038	65	16422	62	16506	63	263
NV-2-80L-1050-30K8	18268	69	17607	67	17697	67	263
NV-2-80L-1050-30K7	19674	75	18962	72	19060	72	263
NV-2-80L-1050-35K8	18268	69	17607	67	17697	67	263
NV-2-80L-1050-40K8	19674	75	18962	72	19060	72	263
NV-2-80L-1050-40K7	21258	81	20489	78	20594	78	263
NV-2-80L-1050-50K8	19674	75	18962	72	19060	72	263
NV-2-80L-1050-50K7	21258	81	20489	78	20594	78	263
NV-2-96L-700-27K7	14557	73	14031	70	14103	71	200
NV-2-96L-700-27K8	13631	68	13137	66	13205	66	200
NV-2-96L-700-30K8	14614	73	14085	70	14157	71	200
NV-2-96L-700-30K7	15740	79	15170	76	15248	76	200
NV-2-96L-700-35K8	14614	73	14085	70	14157	71	200
NV-2-96L-700-40K8	15740	79	15170	76	15248	76	200
NV-2-96L-700-40K7	17007	85	16391	82	16475	82	200
NV-2-96L-700-50K8	15740	79	15170	76	15248	76	200
NV-2-96L-700-50K7	17007	85	16391	82	16475	82	200
NV-2-96L-1050-27K7	21836	69	21046	67	21154	67	316
NV-2-96L-1050-27K8	20446	65	19706	62	19807	63	316
NV-2-96L-1050-30K8	21921	69	21128	67	21236	67	316
NV-2-96L-1050-30K7	23609	75	22755	72	22871	72	316
NV-2-96L-1050-35K8	21921	69	21128	67	21236	67	316
NV-2-96L-1050-40K8	23609	75	22755	72	22871	72	316
NV-2-96L-1050-40K7	25510	81	24587	78	24713	78	316
NV-2-96L-1050-50K8	23609	75	22755	72	22871	72	316
NV-2-96L-1050-50K7	25510	81	24587	78	24713	78	316
NV-2-112L-700-27K7	16984	70	16369	67	16453	68	243
NV-2-112L-700-27K8	15902	65	15327	63	15405	63	243
NV-2-112L-700-30K8	17050	70	16433	68	16517	68	243
NV-2-112L-700-30K7	18363	76	17698	73	17789	73	243
NV-2-112L-700-35K8	17050	70	16433	68	16517	68	243
NV-2-112L-700-40K8	18363	76	17698	73	17789	73	243
NV-2-112L-700-40K7	19841	82	19123	79	19221	79	243
NV-2-112L-700-50K8	18363	76	17698	73	17789	73	243
NV-2-112L-700-50K7	19841	82	19123	79	19221	79	243
NV-2-112L-1050-27K7	25476	70	24554	67	24679	67	366
NV-2-112L-1050-27K8	23854	65	22990	63	23108	63	366
NV-2-112L-1050-30K8	25575	70	24649	67	24775	68	366
NV-2-112L-1050-30K7	27544	75	26547	73	26683	73	366
NV-2-112L-1050-35K8	25575	70	24649	67	24775	68	366
NV-2-112L-1050-40K8	27544	75	26547	73	26683	73	366
NV-2-112L-1050-40K7	29761	81	28684	78	28831	79	366
NV-2-112L-1050-50K8	27544	75	26547	73	26683	73	366
NV-2-112L-1050-50K7	29761	81	28684	78	28831	79	366
NV-2-128L-700-27K7	19410	73	18707	71	18803	71	265
NV-2-128L-700-27K8	18174	69	17516	66	17606	66	265
NV-2-128L-700-30K8	19486	74	18780	71	18877	71	265
NV-2-128L-700-30K7	20986	79	20226	76	20330	77	265
NV-2-128L-700-35K8	19486	74	18780	71	18877	71	265
NV-2-128L-700-40K8	20986	79	20226	76	20330	77	265
NV-2-128L-700-40K7	22675	86	21855	82	21967	83	265
NV-2-128L-700-50K8	20986	79	20226	76	20330	77	265
NV-2-128L-700-50K7	22675	86	21855	82	21967	83	265
NV-2-128L-1050-27K7	29115	71	28061	69	28205	69	409
NV-2-128L-1050-27K8	27261	67	26275	64	26409	65	409
NV-2-128L-1050-30K8	29228	71	28170	69	28315	69	409
NV-2-128L-1050-30K7	31479	77	30340	74	30495	75	409
NV-2-128L-1050-35K8	29228	71	28170	69	28315	69	409
NV-2-128L-1050-40K8	31479	77	30340	74	30495	75	409
NV-2-128L-1050-40K7	34013	83	32782	80	32950	81	409
NV-2-128L-1050-50K8	31479	77	30340	74	30495	75	409
NV-2-128L-1050-50K7	34013	83	32782	80	32950	81	409

3000K or lower, with fixed mounting options only, must be selected to meet International Dark-Sky Association certification.



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B.U.G RATING HSS

PART NUMBER	T2 HSS B.U.G.	T3 HSS B.U.G.	T4 HSS B.U.G.	W
NV-2-80L-700-27K7	B1-U0-G2	B1-U0-G2	B1-U0-G2	168
NV-2-80L-700-27K8	B1-U0-G2	B1-U0-G2	B1-U0-G2	168
NV-2-80L-700-30K8	B1-U0-G2	B1-U0-G2	B1-U0-G2	168
NV-2-80L-700-30K7	B1-U0-G3	B1-U0-G3	B1-U0-G3	168
NV-2-80L-700-35K8	B1-U0-G2	B1-U0-G2	B1-U0-G2	168
NV-2-80L-700-40K8	B1-U0-G2	B1-U0-G2	B1-U0-G3	168
NV-2-80L-700-40K7	B1-U0-G2	B1-U0-G2	B1-U0-G3	168
NV-2-80L-700-50K8	B1-U0-G2	B1-U0-G2	B1-U0-G3	168
NV-2-80L-700-50K7	B1-U0-G2	B1-U0-G2	B1-U0-G3	168
NV-2-80L-1050-27K7	B2-U0-G3	B1-U0-G3	B1-U0-G3	263
NV-2-80L-1050-27K8	B2-U0-G2	B1-U0-G3	B1-U0-G3	263
NV-2-80L-1050-30K8	B2-U0-G3	B1-U0-G3	B1-U0-G3	263
NV-2-80L-1050-30K7	B2-U0-G3	B1-U0-G3	B1-U0-G4	263
NV-2-80L-1050-35K8	B2-U0-G3	B1-U0-G3	B1-U0-G3	263
NV-2-80L-1050-40K8	B2-U0-G3	B1-U0-G3	B1-U0-G4	263
NV-2-80L-1050-40K7	B2-U0-G3	B1-U0-G3	B1-U0-G4	263
NV-2-80L-1050-50K8	B2-U0-G3	B1-U0-G3	B1-U0-G4	263
NV-2-80L-1050-50K7	B2-U0-G3	B1-U0-G3	B1-U0-G4	263
NV-2-96L-700-27K7	B1-U0-G2	B1-U0-G2	B1-U0-G3	200
NV-2-96L-700-27K8	B1-U0-G2	B1-U0-G2	B1-U0-G3	200
NV-2-96L-700-30K8	B1-U0-G2	B1-U0-G2	B1-U0-G3	200
NV-2-96L-700-30K7	B1-U0-G2	B1-U0-G3	B1-U0-G3	200
NV-2-96L-700-35K8	B1-U0-G2	B1-U0-G2	B1-U0-G3	200
NV-2-96L-700-40K8	B1-U0-G2	B1-U0-G3	B1-U0-G3	200
NV-2-96L-700-40K7	B2-U0-G2	B1-U0-G3	B1-U0-G3	200
NV-2-96L-700-50K8	B1-U0-G2	B1-U0-G3	B1-U0-G3	200
NV-2-96L-700-50K7	B2-U0-G2	B1-U0-G3	B1-U0-G3	200
NV-2-96L-1050-27K7	B2-U0-G3	B1-U0-G3	B1-U0-G4	316
NV-2-96L-1050-27K8	B2-U0-G3	B1-U0-G3	B1-U0-G4	316
NV-2-96L-1050-30K8	B2-U0-G3	B1-U0-G3	B1-U0-G4	316
NV-2-96L-1050-30K7	B2-U0-G3	B1-U0-G4	B2-U0-G4	316
NV-2-96L-1050-35K8	B2-U0-G3	B1-U0-G3	B1-U0-G4	316
NV-2-96L-1050-40K8	B2-U0-G3	B1-U0-G4	B2-U0-G4	316
NV-2-96L-1050-40K7	B2-U0-G3	B1-U0-G4	B2-U0-G4	316
NV-2-96L-1050-50K8	B2-U0-G3	B1-U0-G4	B2-U0-G4	316
NV-2-96L-1050-50K7	B2-U0-G3	B1-U0-G4	B2-U0-G4	316
NV-2-112L-700-27K7	B2-U0-G2	B1-U0-G3	B1-U0-G3	243
NV-2-112L-700-27K8	B2-U0-G2	B1-U0-G3	B1-U0-G3	243
NV-2-112L-700-30K8	B2-U0-G2	B1-U0-G3	B1-U0-G3	243
NV-2-112L-700-30K7	B2-U0-G3	B1-U0-G3	B1-U0-G3	243
NV-2-112L-700-35K8	B2-U0-G2	B1-U0-G3	B1-U0-G3	243
NV-2-112L-700-40K8	B2-U0-G3	B1-U0-G3	B1-U0-G3	243
NV-2-112L-700-40K7	B2-U0-G3	B1-U0-G3	B1-U0-G4	243
NV-2-112L-700-50K8	B2-U0-G3	B1-U0-G3	B1-U0-G3	243
NV-2-112L-700-50K7	B2-U0-G3	B1-U0-G3	B1-U0-G4	243
NV-2-112L-1050-27K7	B2-U0-G3	B1-U0-G4	B2-U0-G4	366
NV-2-112L-1050-27K8	B2-U0-G3	B1-U0-G4	B2-U0-G4	366
NV-2-112L-1050-30K8	B2-U0-G3	B1-U0-G4	B2-U0-G4	366
NV-2-112L-1050-30K7	B2-U0-G4	B1-U0-G4	B2-U0-G4	366
NV-2-112L-1050-35K8	B2-U0-G3	B1-U0-G4	B2-U0-G4	366
NV-2-112L-1050-40K8	B2-U0-G4	B1-U0-G4	B2-U0-G4	366
NV-2-112L-1050-40K7	B2-U0-G4	B2-U0-G4	B2-U0-G4	366
NV-2-112L-1050-50K8	B2-U0-G4	B1-U0-G4	B2-U0-G4	366
NV-2-112L-1050-50K7	B2-U0-G4	B2-U0-G4	B2-U0-G4	366
NV-2-128L-700-27K7	B2-U0-G3	B1-U0-G3	B1-U0-G3	265
NV-2-128L-700-27K8	B2-U0-G3	B1-U0-G3	B1-U0-G3	265
NV-2-128L-700-30K8	B2-U0-G3	B1-U0-G3	B1-U0-G3	265
NV-2-128L-700-30K7	B2-U0-G3	B1-U0-G3	B1-U0-G4	265
NV-2-128L-700-35K8	B2-U0-G3	B1-U0-G3	B1-U0-G3	265
NV-2-128L-700-40K8	B2-U0-G3	B1-U0-G3	B1-U0-G4	265
NV-2-128L-700-40K7	B2-U0-G3	B1-U0-G3	B2-U0-G4	265
NV-2-128L-700-50K8	B2-U0-G3	B1-U0-G3	B1-U0-G4	265
NV-2-128L-700-50K7	B2-U0-G3	B1-U0-G3	B2-U0-G4	265
NV-2-128L-1050-27K7	B2-U0-G4	B1-U0-G4	B2-U0-G4	409
NV-2-128L-1050-27K8	B2-U0-G4	B1-U0-G4	B2-U0-G4	409
NV-2-128L-1050-30K8	B2-U0-G4	B1-U0-G4	B2-U0-G4	409
NV-2-128L-1050-30K7	B2-U0-G4	B2-U0-G4	B2-U0-G5	409
NV-2-128L-1050-35K8	B2-U0-G4	B1-U0-G4	B2-U0-G4	409
NV-2-128L-1050-40K8	B2-U0-G4	B2-U0-G4	B2-U0-G5	409
NV-2-128L-1050-40K7	B3-U0-G4	B2-U0-G4	B2-U0-G5	409
NV-2-128L-1050-50K8	B2-U0-G4	B2-U0-G4	B2-U0-G5	409
NV-2-128L-1050-50K7	B3-U0-G4	B2-U0-G4	B2-U0-G5	409

3000K or lower, with fixed mounting options only, must be selected to meet International Dark-Sky Association certification.



701 Kingshill Place, Carson, CA 90746
Call Us Today (310) 341-2037

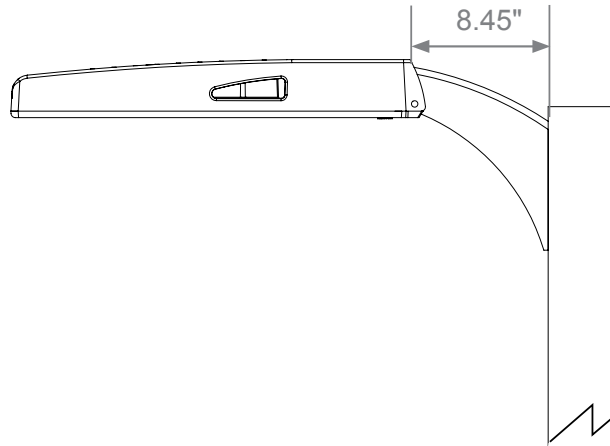
nlsighting.com

PRODUCT SPECIFICATIONS

MOUNTING OPTIONS

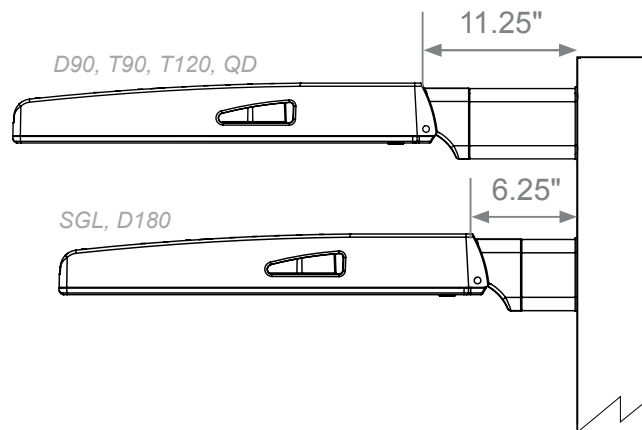
ARCHITECTURAL SWEEP ARM (ASA)

Cast Sweep Arm includes (as standard)
Internal Quick Mount Bracket.



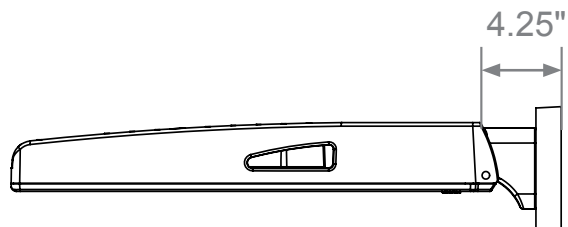
DIRECT POLE (DP)

Standard mounting arm is extruded
aluminum in lengths of 6.25" and 11.25".
**Arm lengths may vary depending on configuration*



WALL MOUNT (WM)

Cast Aluminum Plate for direct wall mount.
3" extruded aluminum arm mounts directly
to a cast wall mount box.



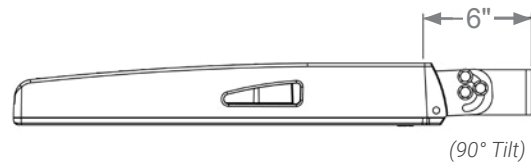
PRODUCT SPECIFICATIONS

MOUNTING OPTIONS

TRUNNION MOUNT (TM)

Steel, bolt-on-mounting for adjustable installation with a maximum uplift of 90 degrees.

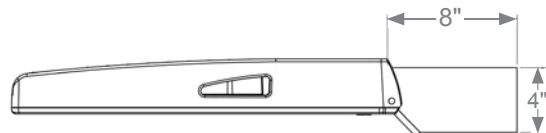
**Unpainted stainless steel is standard*



TENNIS ARM (TA)

Steel fitter slips over 3.5" x 1.5" rectangular arm.

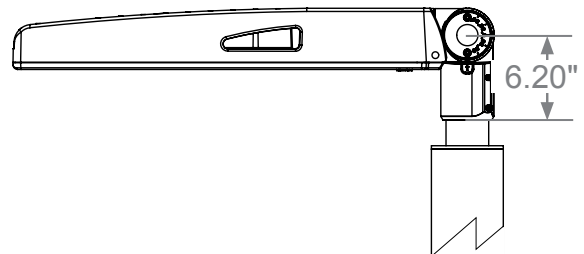
**See Tennis Arm Spec Sheet for details*



KNUCKLE MOUNT (KM)

Die Cast Knuckle great for adjustable installation on 2-3/8" OD vertical or horizontal tenon.

- Max Up-tilt of 90 degrees
- Adjustable in 6 degree increments



MAST ARM MOUNT (MA)

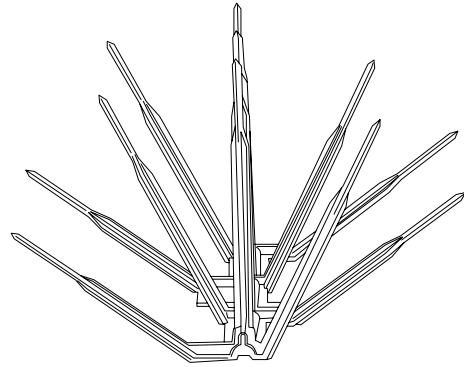
Mast Arm Fitter slips over 2-3/8" OD tenon.



PRODUCT SPECIFICATIONS

BIRD SPIKES (BS)

Bird Spikes offers effective and humane deterrent for larger bird species and provides cost-effective long-term solution to nuisance bird infestations and protect your property.



MARINE GRADE FINISH (MGF)

The **(MGF)** is a multi step process. Chemically washed in a 5 stage cleaning system. Pre-baked. Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. Oven Baked. Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness.



Powder Coat Finish

3-5 mil Powder Coat

Primer Layer

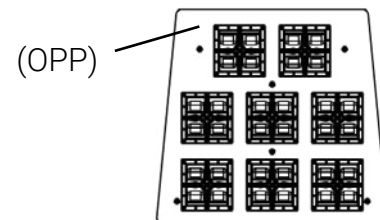
3-5 mil Zinc Rich Super Durable Polyester Primer

Prepared Casting

Chemically washed in multi Step 5 stage cleaning process

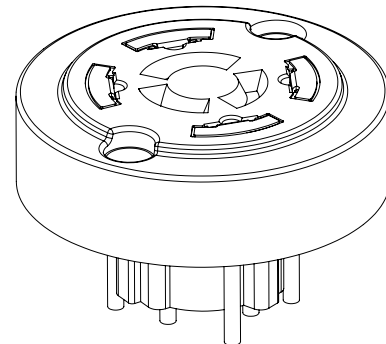
OPTIC PLATE PAINTED TO MATCH (OPP)

Optic plate is clear anodized as standard. The optic plate can be powder coated to match the finish of the fixture.



NEMA 7-PIN RECEPTACLE (PE7)

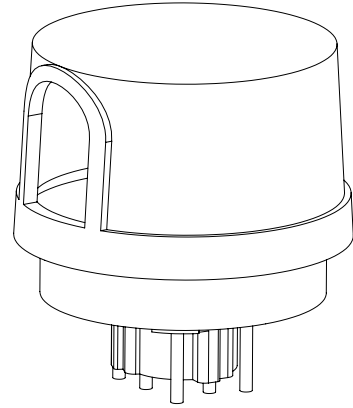
An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.



PRODUCT SPECIFICATIONS

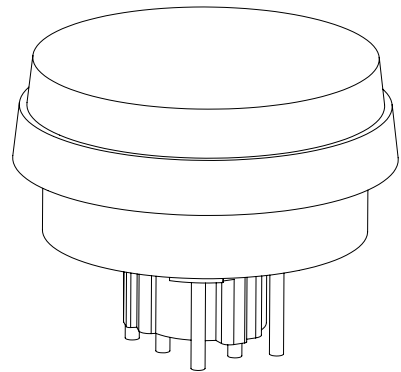
PHOTOCELL + RECEPTACLE (PCR)

7-Pin Receptacle and Electronic Twist Lock Photocell for dusk to dawn operation.



RECEPTACLE + SHORTING CAP (PER)

7-Pin Receptacle and Shorting Cap.



QUICK MOUNT BRACKET (QMB)

Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Has a 2"x4" Drill Pattern.



PRODUCT SPECIFICATIONS

RETROFIT MOUNT BRACKET (RQMB)

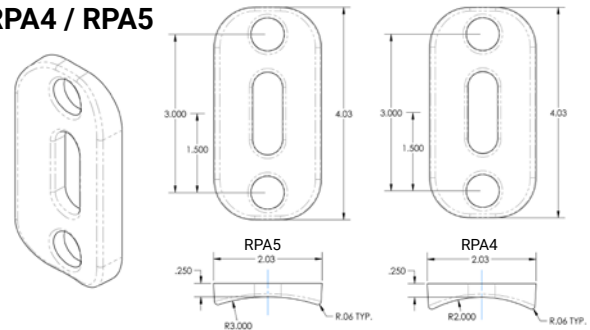
Optional Cast Aluminum Bracket designed for quick mounting on Direct Square or Round Poles. Cleat mounts directly to pole for easily hung fixtures. Drill Pattern is adjustable from 2"x4" to 2"x6".



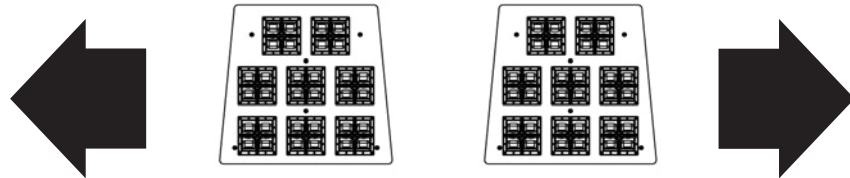
ROUND POLE ADAPTER OPTIONS (RPA4) (RPA5)

When using round poles, specify Round Pole Adapter (RPA). Specify RPA4 when installing on 3"-4" round poles, and RPA5 when installing on 5"-6" round poles.

RPA4 / RPA5



ROTATED OPTICS (ROL) (ROR)



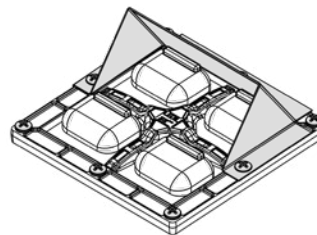
LEFT ROTATED OPTICS

RIGHT ROTATED OPTICS

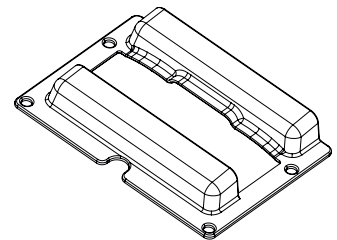
SHIELDING OPTIONS (AHS) (HSS)

SHIELDS (HSS, AHS)—House Side Shield (HSS) is designed for full property line cut-off. Automotive House Side Shield (AHS) is a single-sided shield allowing partial cut-off on either side or front of luminaire.

AUTOMOTIVE HOUSE SIDE SHIELD



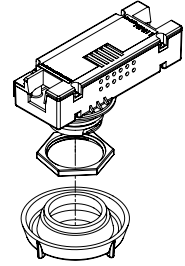
HOUSE SIDE SHIELD



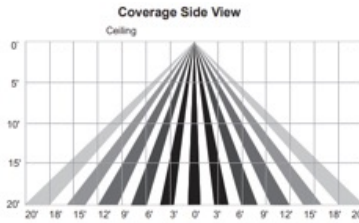
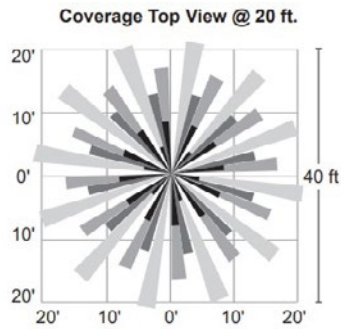
PRODUCT SPECIFICATIONS

CONTROLS

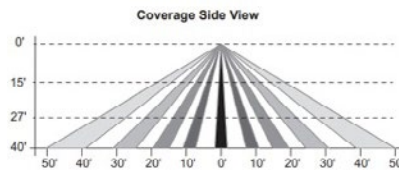
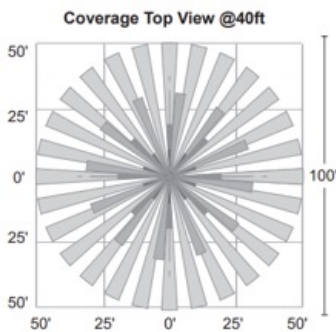
- DIMMING CONTROL (FSP)—Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.
 - All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.
 - FSP-20 mounting heights 9-20 feet
 - FSP-40 mounting heights 21-40 feet.
 - Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field.



FSP-20

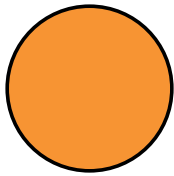


FSP-40

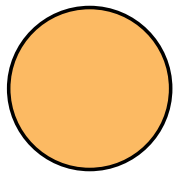


PRODUCT SPECIFICATIONS

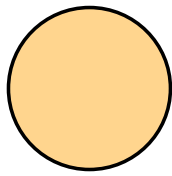
LED KELVIN RANGE



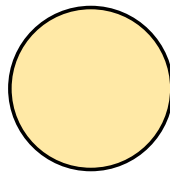
AMBER
585-600 nm



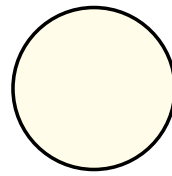
2700K 70 CRI



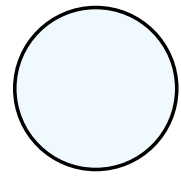
3000K 70 CRI



3500K 80 CRI



4000K 70 CRI



5000K 70 CRI

Color	Dominant or Peak Wavelength Range (nm)	
	Minimum	Maximum
Amber	585	600

BLACK HARDWARE

Optional black, zinc coated steel hardware.



BLACK OPTIC FRAME

Optional Black Optic Frame.
Standard is white.





Job Name: PLATINUM HORIZON

Catalog #: CLI-NV-W-T4-32L-1-40K7-UNV-WM-XX-XX-XX

TYPE:

WA



LED WATTAGE CHART

	16L	32L
400 milliamps	21w	-
530 milliamps	29w	-
700 milliamps	37w	71w
1000 milliamps	-	100w
1050 milliamps	56w	

KEY FEATURES

- Ideal for Exterior Walls, Entryways, Pathways, New Construction and Renovation, Warehouse and Receiving Docks, Court Yards, and School Playgrounds
- Sleek Minimalistic Design of the the NV-W (up to 11,000 Lumens, 12"W x 9"D x 5.5"H) Compliments the Design of the NV-W2 (up to 24,000 Lumens, 18"W x 9.38"D x 5"H)
- Amber, 2700K, 3000K, 3500K, 4000K, 5000K CCT Multichip High Power 70 & 80 CRI LEDs
- IP65 Rated Against Dust & Water Ingress, IK10 Rated for Tamper/ Vandalism/Impact Protection
- 20kA Surge Protection (120V - 480V) Cold Weather Integrated Battery Back-Up Safety Options
- Silicone Optics providing 96% Clarity and Heat Resistant up to 150°C
- 9 Standard Finishes, Custom Finish and Marine Grade Finish Available

- Controls Agnostic, Compatible with Most Control Systems and Sensors
- Environmentally Friendly Product Which Reduces Energy Consumption, L70 > 100,000 hours
- IDA qualified for 3000K CCT and Lower for Down-light Application, Reducing Light Pollution and Trespass
- Buy America(n) Option Available, Quick Mount for Easy Installation
- Cost Competitive and Short Shipping Lead Times in Days & Weeks

BUY AMERICAN

To ensure the latest BAA/TAA/BABA Standards are being met, please select BAA, TAA, or BABA in the options section. Please contact the factory before placing an order for any NLS products requesting BAA (Buy American Act), TAA (Trade American Act), or BABA (Build America, Buy America).



Project Name:

Type:

NV-W ORDERING GUIDE

Cat#	Light Dist.	# of LEDs	Miliamps	Kelvin	Volts
NV-W (NV-W)	Type 2 (T2)	16 (16L)	400 (40)	Amber 585-600nM (AMBER) ^{11,13,14}	120-277 (UNV)
	Type 3 (T3)	32 (32L)	530 (53)	2700K, 70 CRI (27K7) ⁷	347-480 (HV)
	Type 4 (T4)		700 (7)	2700K, 80 CRI (27K8) ^{1,7}	
			1000 (1A) ⁵	3000K, 70 CRI (30K7) ⁷	
			1050 (1) ⁶	3000K, 80 CRI (30K8) ^{1,7}	
				3500K, 80 CRI (35K8)	
				4000K, 70 CRI (40K7)	
				4000K, 80 CRI (40K8) ¹	
				5000K, 70 CRI (50K7)	
				5000K, 80 CRI (50K8) ¹	
Mounting	Color	Controls Options	Options	Lens Options	
Wall Mount (WM)	Bronze Textured (BRZ)	Nema 7-Pin Receptacle (PE7) ²	Marine Grade Finish (MGF)	Glass Lens (GL) ^{8,15}	
	White Textured (WHT)	Button Photocell (PC) ³	Vanity Plate 22"x16" (VP)	HAL Lens (HAL) ^{9,15}	
	Smooth White Gloss (SWT)	FSP-211 with Motion Sensor (UNV Voltage) *8' and Below (FSP-8) ³	Housing Extension (HE)		
	Silver Metallic (SVR)	*9'-20" Heights (FSP-20) ³	Surge Protector (20KA)		
	Black Textured (BLK)		Emergency Battery 4W (EM4) ^{2,3,4}		
	Smooth Black Gloss (SBK)		Emergency Battery 8W (EM8) ^{2,3,4}		
	Graphite Textured (GPH)		Emergency Cold Pk Battery 14W (EMCP) ^{2,3,4}		
	Grey Textured (GRY)		Black Hardware (BH)		
	Green Textured (GRN)		Black Optic Frame (BOF)		
	Hunter Green Textured (HGN)		Buy American Act (BAA) ¹²		
Custom (CS)		Trade Agreement Act (TAA) ¹²			
			Build America Buy American (BABA) ¹²		
			Custom Controls Integration (CCI) ¹⁰		

NOTES:

- Consult Factory for Lead Time. Consult Factory for 90 CRI Requests
- Requires Housing Extension
- Universal Voltage 120-27
- All Emergency Battery Options Certified CA Title 20
- (1A) 32L only
- (1) 16L only
- 3000K or lower must be selected to meet International Dark Sky Association certification
- Glass Lens: Low iron glass, fully tempered per ANSI C1047
- HAL Lens: Yellow Polycarbonate Lens – less than 2% Blue Light Content
- Please contact Factory for Custom Control Integration requests (nLight, NX, WaveLinx, Crestron, DMX/RDM, Synapse, Casambi, Dali II, Avi-On, or other control systems)
- Turtle Safe
- Consult factory for all BAA/TAA/BABA requests
- Consult Factory for Lead Time
- Not Available above 1000mA
- Contact Factory



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nlsighting.com

PRODUCT SPECIFICATIONS

ELECTRICAL

- 120-277 Volts (UNV) or 347-480 Volts (HV)
- 0-10V dimming driver
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- LED Drivers Ambient Temp. Min is -40°C and Ambient Temp. Max ranges from 50°C to 55°C and, in some cases, even higher. Consult the factory for revalidation by providing the fixture catalog string before quoting and specifying it.
- All internal wiring UL certified for 600 VAC and 105°C
- All drivers, controls, and sensors housed in enclosed IP66 compartment
- CRI 70, 80, 90
- Color temperatures: 2700K, 3000K, 3500K, 4000K, 5000K

CONSTRUCTION

- Die Cast Aluminum
- Internal cooling fins
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP65 seal for electronics compartment
- Two-piece silicone Micro Optic system ensures IP67 level seal around each PCB
- Silicone Micro Optics: Recessed, full cutoff, vandal resistant and non-yellowing
- Dark Sky Approved

OPTIONS

MARINE GRADE FINISH (MGF) - A multi-step process creating protective finishing coat against harsh environments. Chemically washed in a 5 stage cleaning system. Prebaked, Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer. Oven Baked. Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness.

VANITY PLATE (VP) - Optional Vanity Plate was designed to cover the unsightly remains on a wall where a larger HID wallpack was removed. The aluminum Vanity Plate will be painted to match the finish of the NV-W2, custom finishes are available, please consult factory. The standard Vanity Plate is 22"W x 16"H.

20KA SURGE PROTECTOR (20KA) - protects the complete system against nominal surges of up to 20KA. Protection against power surges, storms and lightning strikes.

EMERGENCY BATTERY BACKUP

EMERGENCY COLD PACK BATTERY (EMPC) - Emergency cold pack (-20°C minimum) battery system available in 14W output.

BLACK HARDWARE (BH) - Black stainless steel hardware.

BLACK OPTIC FRAME (BOF) - Black optic frame. Standard is white.

GLASS LENS (GL) - Low Iron Glass, fully tempered.

HIGH PERFORMANCE AMBER LENS (HAL) -

CONTROL OPTIONS

- FSP-211 (FSP-X)—Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.
- All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.
- FSP-8 Mounting heights 8 feet and below
- FSP-20 mounting heights 9-20 feet
- Includes 5 dimming event cycles, 0-10V dimming with motion sensing, re-programmable in the field. Programmable remote must be purchased separately.
- FSIR-100 commissioning remote is required to change sensor settings. Please contact factory for ordering.
- Controls Agnostic: Please contact factory for your preferred controls option.

NEMA 7-PIN RECEPTACLE (PE7)—An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.

BUTTON PHOTOCELL—Dusk to dawn optional Button Photocell.

FINISH

3-5 mils electrostatic powder coat. NLS Lighting's standard high-quality finishes prevent corrosion, and protects against extreme environmental conditions.

WARRANTY

Five-year limited warranty for drivers and LEDs.

OPTICS

Silicone optics high thermal stability and light output provide higher powered LEDs with minimized lumen depreciation. UV stability with scratch resistance increases exterior application durability. Silicone optics do not yellow, crack or brittle over time.

LISTINGS

- Certified to UL 1598
- UL 8750
- CSA C22.2 No. 250.0
- DesignLights Consortium® (DLC)
- DesignLights Consortium Premium® (DLCP)
- IP65 Rated Fixture / IP67 Rated Optics
- IK10 Rated
- IDA Dark Sky Approved

BUY AMERICAN OPTION

While all of the NLS Lighting products listed in this document qualify for the Buy America(n) Act of 1933, we reserve the right to change our listings without notice.

The information provided above is for general informational purposes only. We encourage you to consult legal professionals for advice particular to your projects concerning BAA, TAA, BABA or Buy America.

Additional NLS Products that meet BAA, TAA standards can be found at the following link:

<https://nslighting.com/buy-american/>



The information and specifications on this document are subject to change without any notification. All values are design, nominal, typical or prorated values when measured under internal and external laboratory conditions.



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PRODUCT SPECIFICATIONS

LUMENS

PART NUMBER	T2	LM/W	T3	LM/W	T4	LM/W	WATTS
NV-W-16L-40-27K7	2561	122	2591	123	2561	122	21
NV-W-16L-40-27K8	2398	114	2426	116	2398	114	21
NV-W-16L-40-30K8	2571	122	2601	124	2571	122	21
NV-W-16L-40-30K7	2769	132	2801	133	2769	132	21
NV-W-16L-40-35K8	2571	122	2601	124	2571	122	21
NV-W-16L-40-40K8	2769	132	2801	133	2769	132	21
NV-W-16L-40-40K7	2992	142	3027	144	2992	142	21
NV-W-16L-40-50K8	2769	132	2801	133	2769	132	21
NV-W-16L-40-50K7	2992	142	3027	144	2992	142	21
NV-W-16L-53-30K7	3544	122	3579	123	3544	122	29
NV-W-16L-53-40K7	3756	130	3794	131	3756	130	29
NV-W-16L-53-50K7	3756	130	3794	131	3756	130	29
NV-W-16L-7-30K7	4388	119	4432	120	4388	119	37
NV-W-16L-7-40K7	4651	126	4698	127	4651	126	37
NV-W-16L-7-50K7	4651	126	4698	127	4651	126	37
NV-W-16L-1-30K7	5970	107	6029	108	5970	107	56
NV-W-16L-1-40K7	6328	113	6391	114	6328	113	56
NV-W-16L-1-50K7	6328	113	6391	114	6328	113	56
NV-W-32L-53-30K7	X	X	X	X	6,821	126	54
NV-W-32L-7-30K7	9010	127	9100	128	9010	127	71
NV-W-32L-7-40K7	9550	135	9646	136	9550	135	71
NV-W-32L-7-50K7	9550	135	9646	136	9550	135	71
NV-W-32L-1A-30K7	10871	109	10983	110	10871	109	100
NV-W-32L-1A-40K7	11426	114	11544	115	11426	114	100
NV-W-32L-1A-50K7	11426	114	11544	115	11426	114	100

3000K or lower, with fixed mounting options only, must be selected to meet International Dark-Sky Association certification.

EMERGENCY BATTERY BACK-UP LUMENS

PART NUMBER	T2	LM/W	T3	LM/W	T4	LM/W	WATTS
EM4-30K7	520	130	524	131	516	129	4
EM4-40K7	544	136	548	137	540	135	4
EM4-50K7	560	140	564	141	556	139	4
EM8-30K7	1040	130	1048	131	1032	129	8
EM8-40K7	1088	136	1096	137	1080	135	8
EM8-50K7	1120	140	1128	141	1112	139	8
EM14-30K7	2080	130	2096	131	2064	129	16
EM14-40K7	2176	136	2192	137	2160	135	16
EM14-50K7	2240	140	2256	141	2224	139	16
EMCP-30K7	1820	130	1834	131	1806	129	14
EMCP-40K7	1904	136	1918	137	1890	135	14
EMCP-50K7	1960	140	1974	141	1946	139	14



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PRODUCT SPECIFICATIONS

BUG RATINGS BUG RATINGS

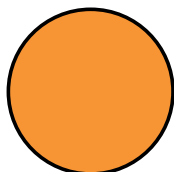
PART NUMBER	T2	T3	T4	WATTS
NV-W-16L-35-30K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	21
NV-W-16L-35-40K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	21
NV-W-16L-35-50K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	21
NV-W-16L-53-30K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	29
NV-W-16L-53-40K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	29
NV-W-16L-53-50K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	29
NV-W-16L-7-30K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	37
NV-W-16L-7-40K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	37
NV-W-16L-7-50K7	B1-U0-G1	B1-U0-G1	B1-U0-G1	37
NV-W-16L-1-30K7	B1-U0-G1	B1-U0-G2	B1-U0-G2	56
NV-W-16L-1-40K7	B1-U0-G1	B1-U0-G2	B1-U0-G2	56
NV-W-16L-1-50K7	B1-U0-G1	B1-U0-G2	B1-U0-G2	56
NV-W-32L-7-30K7	B1-U0-G2	B2-U0-G2	B2-U0-G2	71
NV-W-32L-7-40K7	B1-U0-G2	B2-U0-G2	B2-U0-G2	71
NV-W-32L-7-50K7	B1-U0-G2	B2-U0-G2	B2-U0-G2	71
NV-W-32L-1A-30K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	100
NV-W-32L-1A-40K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	100
NV-W-32L-1A-50K7	B2-U0-G2	B2-U0-G2	B2-U0-G2	100

Lumen Maintenance Data

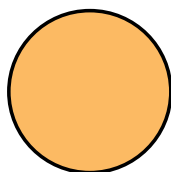
Ambient Temperature	Drive Current	L90 Hours*	L70 Hours**	30,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours**
25°C	Up to 700mA	58,000	173,000	95.7%	91.6%	89.6%	82.1%
	1050mA	48,000	143,000	94.3%	89.5%	87.2%	78.5%

*Reported extrapolations per IESNA TM-21 **Projected extrapolations per IESNA TM-21

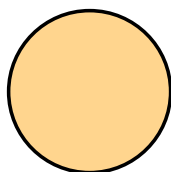
LED KELVIN RANGE



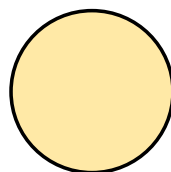
AMBER
585-600 nm



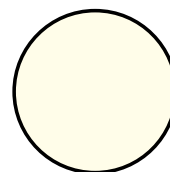
2700K 70 CRI



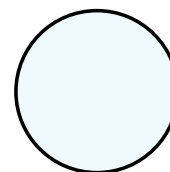
3000K 70 CRI



3500K 80 CRI



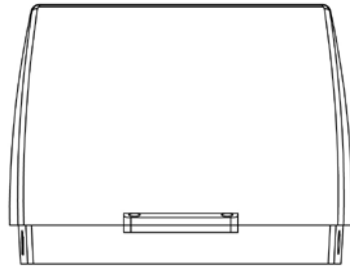
4000K 70 CRI



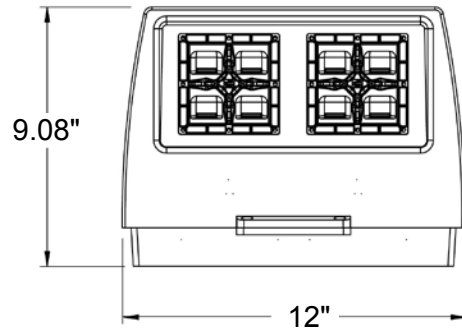
5000K 70 CRI

Color	Dominant or Peak Wavelength Range (nm)	
	Minimum	Maximum
Amber	585	600

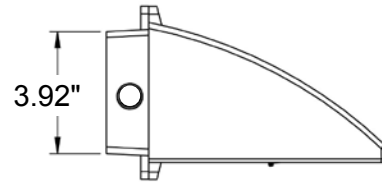
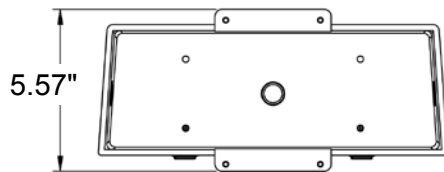
PRODUCT SPECIFICATIONS



TOP VIEW

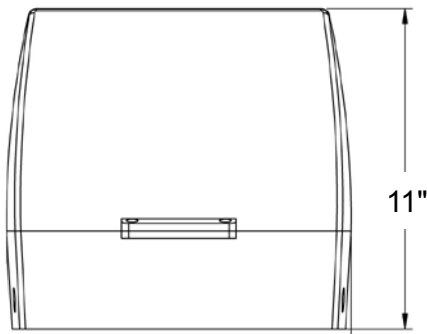


BOTTOM VIEW

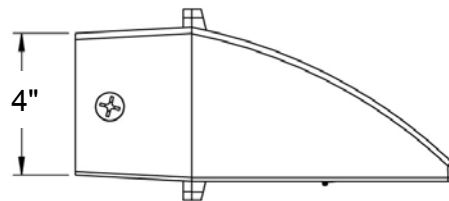


Weight: 9.1 lbs

**EMERGENCY BATTERY AND 7-PIN EXTENSION
BOX DIMENSIONS**



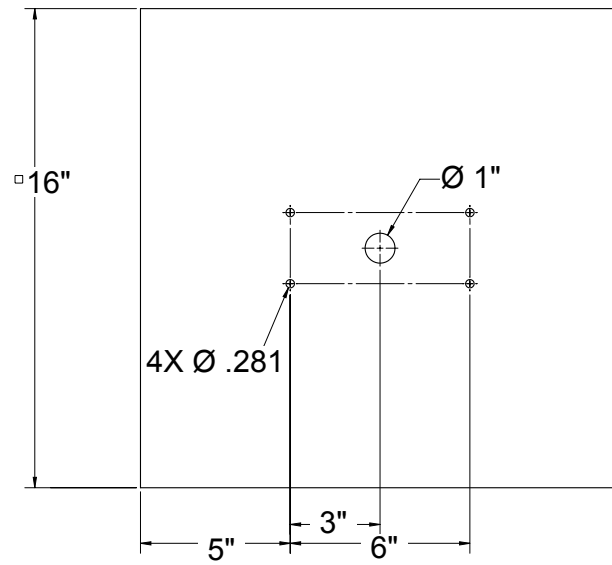
TOP VIEW



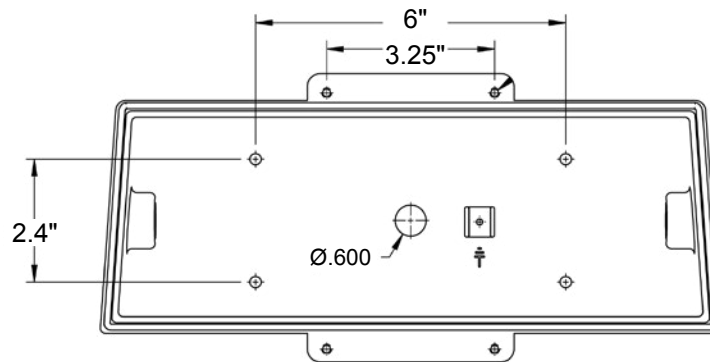
Weight: 13.3 lbs

PRODUCT SPECIFICATIONS

VANITY PLATE (VP)



MOUNTING HOLE

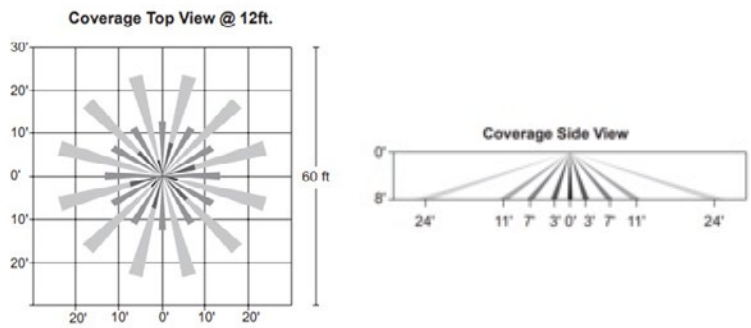


* 3 Conduit access points on either side or center back.

MOTION SENSOR PLACEMENT



FSP-8



FSP-20

